



Please reply to:
1801 Market Street, Suite 300
Camp Hill, PA 17011
Phone: 717.234.6700
Fax: 717.249.6333

Chambersburg • Carlisle • Camp Hill • Gettysburg • Hanover

April 11, 2022

VIA E-FILING

Rosemary Chiavetta, Secretary
PA Public Utility Commission
Commonwealth Keystone Bldg.
400 North Street
Harrisburg, PA 17101

In Re: Application of the Department of Transportation of the Commonwealth of Pennsylvania for approval to alter the public at-grade crossing by the installation of the new automatically operated flashing light crossing warning signal where South Third Street (T-559) crosses the single track of Norfolk Southern Railroad Company (DOT No: 535 152 B) in Guilford Township, Franklin County all in accordance with the Federal Grade Crossing Program and the Allocation of costs incident thereto. PUC Docket No. A-2015-2466693

Dear Secretary Chiavetta:

Enclosed please find Guilford Township's Petition for Rescission of Secretarial Letter Dated November 5, 2020, and Application for Abolition of a Public Rail-Highway Crossing for filing in the above-referenced matter.

If you have any questions or concerns, please feel free to contact me at the address listed above.

Very truly yours,

SALZMANN HUGHES, P.C.

/s/ Scott T. Wyland
Scott T. Wyland

STW/mam

Enclosure

cc: Certificate of Service

**BEFORE THE
PENNSYLVANIA PUBLIC UTILITY COMMISSION**

Application of the Department of Transportation	:	
of the Commonwealth of Pennsylvania	:	
for approval to alter the public at-grade crossing	:	
by the installation of the new automatically	:	
operated flashing light crossing warning signal	:	
where South Third Street (T-559) crosses the	:	A-2015-2466693
single track of Norfolk Southern Railroad	:	
Company (DOT No: 535 152 B) in Guilford	:	
Township, Franklin County all in accordance with	:	
the Federal Grade Crossing Program and the	:	
Allocation of costs incident thereto	:	

**PETITION OF GUILFORD TOWNSHIP FOR RESCISSION OF SECRETARIAL
LETTER DATED NOVEMBER 5, 2020, AND APPLICATION FOR ABOLITION OF A
PUBLIC RAIL-HIGHWAY CROSSING**

AND NOW, comes Guilford Township by and through its legal counsel, Salzmann Hughes, P.C., and files this Petition for Rescission of the Secretarial Letter dated November 5, 2020, and for Abolition of a Public Rail-Highway Crossing, and in support thereof states as follows:

I. PROCEDURAL HISTORY

1. This proceeding concerns an at-grade crossing where T-559 (South Third Street) crosses a single track of Norfolk Southern Railroad Company (DOT No: 535 152 B) in Guilford Township, Franklin County, Pennsylvania (the "Township"), referred to herein as the "Crossing."

2. On or about February 4, 2015, the Pennsylvania Department of Transportation ("PennDOT") filed an application seeking approval to alter the at-grade Crossing by the installation of new automatically operated flashing-light crossing warning signals and for the allocation of all costs incident thereto.

3. A field conference was held on September 29, 2015, and subsequent conference calls between the parties were held on October 20, 2015, and November 18, 2015.

4. During the field conference, the parties were unable to reach a mutually acceptable resolution of the issues related to the Crossing.

5. The Commission thereafter referred the proceeding to the Commission's Office of Administrative Law Judge for the scheduling of an evidentiary hearing.

6. A Prehearing Conference was held on February 4, 2016, attended by counsel for the Township, Norfolk Southern Railway Company ("Norfolk Southern"), PennDOT, and the Commission's Bureau of Investigation and Enforcement ("BI&E").

7. Following the Prehearing Conference, this matter was referred to the Commission's Mediation Unit upon agreement of the parties.

8. The parties were initially unable to resolve the issues involved through proceedings before the Commission's Mediation Unit.

9. Thereafter, the parties engaged in amicable negotiations to address the concerns raised in this matter and to achieve terms of resolution acceptable to all parties for the benefit of the public.

10. The parties agreed to settlement terms in this proceeding and submitted a Joint Petition for Settlement ("Joint Petition") on or around May 14, 2020.

11. Under the terms of the Joint Petition, the Township agreed to install certain safety enhancements at the Crossing.

12. On November 5, 2020, the Commission issued a Secretarial Letter in accordance with Section 2702 of the Public Utility Code directing the alterations and obligations with respect

to the Crossing consistent with the Joint Petition on November 5, 2020. The Secretarial Letter stated that “the parties further agree to a revised completion date of December 31, 2021.”

13. Recently, however, the Township has learned that conditions may favor the construction of a relief road for South Third Street as part of a land development plan on property adjacent to the Crossing. The relief road would allow the Crossing to be abolished.

14. The Township believes that it will be beneficial to eliminate the proposed improvements at the Crossing as originally contemplated by the parties as part of the Joint Petition in an effort to mitigate the costs to the parties where the relief road will ultimately be constructed, and the Crossing abolished in the near term.

15. As a result of these changes in circumstances, the Township filed a Petition for Extension of Time (“Petition”) to comply with the Secretarial Letter on February 16, 2022, to facilitate the review of a pending land development plan before constructing the safety enhancements at the Crossing and to schedule a field conference for all the parties to discuss the matter in detail.

16. A field conference was held on March 10, 2022, and the Commission thereafter issued a Secretarial Letter on March 16, 2022, holding the Township’s Petition in abeyance until April 12, 2022, and instructing the Township to file a Petition to Abolish the Crossing or provide written notice to all parties that the work directed by the Secretarial Letter of November 5, 2020, will be completed by July 31, 2022.

17. The March 16, 2022, Secretarial Letter also required the Township and Norfolk Southern to install certain temporary safety measures as agreed upon during the March 10, 2022 field conference.

18. Specifically, the Township was required to install STOP signs (R1-1) on the left side of both approach highways to the Crossing and STOP LINES on both approach highways to the Crossing within 30 days from the date of the Secretarial Letter in accordance with the Manual on Uniform Traffic Control Devices at their own expense.

19. As of the date of this Petition, the Township and Norfolk Southern completed the temporary safety measures required by the Secretarial Letter of March 16, 2022.

20. In addition, the Township conditionally approved the Final Land Development Plan for Alleman Road Property, LLC Guilford Township, Franklin County, Pennsylvania August 24, 2021, Last Revised: February 23, 2022 (“Land Development Plan”) that includes the developer’s construction of a relief road, Archer Drive, for South Third Street at its public meeting on March 17, 2022. A true and correct copy of the Land Development Plan is attached hereto as Exhibit “A.”

21. The Township requires the Developer to post financial security to guarantee completion of the roadway construction.

22. The Land Development Plan requires the developer to dedicate the relief road to the Township upon completion. *See* Exhibit “A” General Notes, No. 36, at page 2.

23. The conditionally approved Land Development Plan and the financial security ensure that the relief road will be constructed such that the Crossing can be abolished.

24. Accordingly, the Township respectfully requests that the Commission rescind the Secretarial Letter of November 5, 2020, and grant its Petition to Abolish the Crossing.

II. PETITION FOR RESCISSION OF A COMMISSION ORDER

25. Section 703(g) of the Public Utility Code gives the Commission power, at any time, to rescind any order made by the Commission. 66 Pa.C.S. § 703(g). Section 5.572(d) of Title 52

of the Pennsylvania Code explains that a petition for rescission may be filed at any time according to the requirements of Section 703(g) of the Code.

26. Section 703(g) provides that:

(g) Rescission and amendment of orders. – The commission may, at any time, after notice and after opportunity to be heard as provided in this chapter, rescind or amend any order made by it. Any order rescinding or amending a prior order shall, when served upon the person, corporation, or municipal corporation affected, and after notice thereof is given to the other parties to the proceedings, have the same effect as is herein provided for original orders.

66 Pa.C.S. § 703(g).

27. In *Philip Duick v. Pennsylvania Gas and Water Company*, 56 Pa. P.U.C. 553 (1982), the Commission opined that when considering a request for rescission or amendment under Section 703(g), the Commission expects to see something new or “novel,” such as considerations which were not previously addressed by the Commission.

28. Here, there are new matters and considerations not previously contemplated by the parties or reviewed by the Commission, specifically the prospect of abolishing the Crossing, that warrant rescission of the Secretarial Letter issued on November 5, 2020.

29. Petitioner submits that the terms proposed herein warrant the rescission of Secretarial Letter issued November 5, 2020.

III. APPLICATION TO ABOLISH THE CROSSING

30. The Commission has jurisdiction over the subject matter of and the parties to this proceeding. 66 Pa.C.S. §§ 2702 and 2704.

31. The Commission has the authority to order the construction, reconstruction, alteration, relocation, repair, maintenance, protection, suspension or abolition of railroad

crossings, and the authority to determine and order which concerned parties should perform such work, in order to prevent accidents and promote the safety of the public. 66 Pa.C.S. §§ 2702 and 2704.

32. The Township, Norfolk Southern, PennDOT, and BI&E are all concerned parties within the meaning of 66 Pa.C.S. §§ 2702 and 2704.

33. The Township proposes to abolish the existing at-grade crossing where T-559 (South Third Street) crosses a single track of Norfolk Southern Railroad Company (DOT No: 535 152 B) in the Township.

34. The purpose of the Crossing abolition is to enhance the public safety in that the current Crossing is no longer necessary as there is an alternate relief road that will be constructed under the terms of the Land Development Plan.

35. The Township intends to cause the vacation of portions of South Third Street to adjacent property owners consistent with the authority vested to it in the Second Class Township Code, 53 P.S. § 65101, *et seq.*

36. Abolishing the Crossing would further the public interest by enhancing protection of the public's safety beyond simply upgrading the safety enhancements at the Crossing.

37. The Application to Abolish the Crossing is in the public interest as its abolishing the Crossing would provide further protection of the public safety and public convenience by constructing a relief road.

38. Abolishing the Crossing would also further the public interest by reducing the costs associated with the previously approved alterations and obligations of the parties because a relief road will be constructed under the Land Development Plan.

39. The Township proposes that the other parties shall pay the costs associated with abolition of the Crossing in proportionate amounts as determined by the Commission.

40. Accordingly, the Township respectfully requests that the Commission rescind the Secretarial Letter of November 5, 2020, and grant its Application to Abolish the Crossing.

WHEREFORE, Guilford Township respectfully requests that the Pennsylvania Public Utility Commission grant and approve the Petition for Rescission of the Secretarial Letter issued November 5, 2020, and approve the Application to Abolish the Crossing.

Respectfully Submitted,

SALZMANN HUGHES, P.C.

Dated: April 11, 2022

By: /s/ Scott T. Wyland
Scott T. Wyland
Attorney I.D. No. 52660
Samuel E. Wiser Jr.
Attorney I.D. No. 203665
Isaac P. Wakefield
Attorney I.D. No. 311909
1801 Market Street, Suite 300
Camp Hill, PA 17011
(717) 249-6333

Exhibit

A

FINAL LAND DEVELOPMENT PLAN FOR ALLEMAN ROAD PROPERTY, LLC GUILFORD TOWNSHIP, FRANKLIN COUNTY, PENNSYLVANIA AUGUST 24, 2021 LAST REVISED: FEBRUARY 23, 2021

APPROVALS

FRANKLIN COUNTY PLANNING COMMISSION:

GUILFORD TOWNSHIP SUPERVISORS:

**CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT
OF PLAN AND OFFER OF DEDICATION**

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF _____

ON THIS _____ DAY OF _____ 20____
BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED

WHO ACKNOWLEDGED HIMSELF TO BE THE

OF ALLEMAN ROAD PROPERTY, LLC, AND THAT HE AS SUCH

THE OWNERS OR EQUITABLE OWNERS, OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT THEIR DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN, THAT THEY DESIRE THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED 'NOT FOR DEDICATION') ARE HEREBY DEDICATED TO THE PUBLIC USE. THIS PLAN IS SUBMITTED WITH FREE WILL AND CONSENT OF THOSE WHO HAVE SIGNED.

(X) _____
WITNESS MY HAND AND OFFICIAL SEAL, THE DATE ABOVE WRITTEN.

(X) _____
NOTARY PUBLIC

RECORDER OF DEEDS CERTIFICATE

RECORDED THIS _____ DAY OF _____, 20____ IN PLAN BOOK _____
VOLUME _____ PAGE _____ IN THE RECORDER OF DEEDS OFFICE IN AND FOR FRANKLIN
COUNTY, PENNSYLVANIA.

OWNERSHIP UNDERLAIN LIMESTONE CERTIFICATE

_____, CERTIFY THAT THE PROPOSED
DETENTION BASIN (CIRCLE ONE) IS/IS NOT UNDERLAIN BY LIMESTONE.

CERTIFICATE OF ACCURACY (SURVEY)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE
PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE
ACCURACY REQUIRED BY THE GUILFORD TOWNSHIP SUBDIVISION AND LAND
DEVELOPMENT ORDINANCE.

_____, 20____

CERTIFICATE OF ACCURACY (PLAN)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND
BELIEF, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND
CORRECT TO THE ACCURACY REQUIRED BY THE GUILFORD
TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

_____, 20____ SCOTT B. BERT, PE

STORMWATER MANAGEMENT PLAN CERTIFICATION

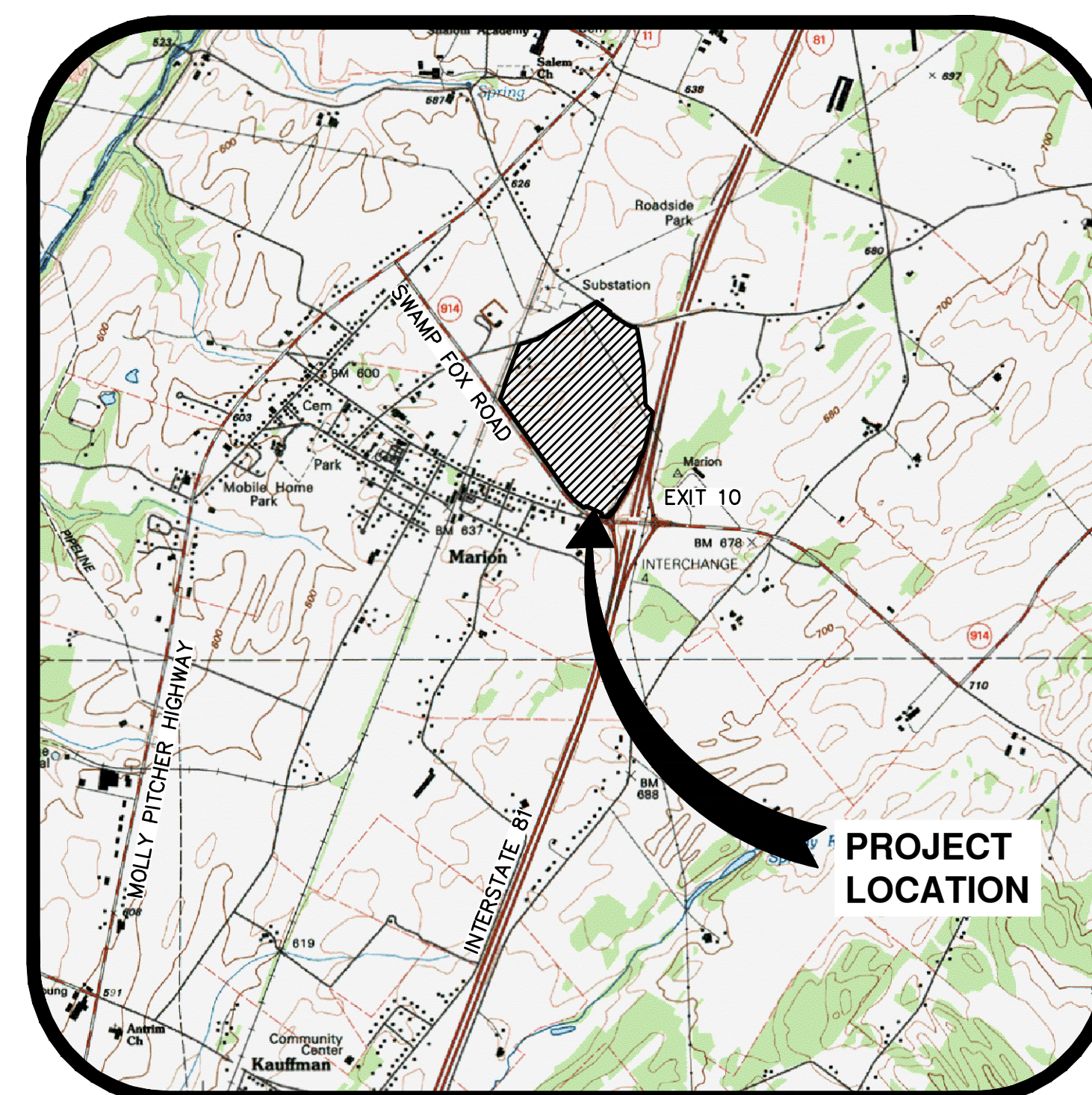
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE
STORMWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED
HEREON ARE DESIGNED IN CONFORMANCE WITH THE GUILFORD
TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

_____, 20____ SCOTT B. BERT, PE

WAIVER REQUESTS

THE FOLLOWING WAIVERS OF SPECIFIC SECTIONS OF THE GUILFORD TOWNSHIP SUBDIVISION AND LAND
DEVELOPMENT ORDINANCE AND THE STORMWATER ORDINANCE HAVE BEEN REQUESTED:

SECTION	ITEM	DATE	ACTION
401.A	PLAN SHEET SIZE	XX/XX/XXXX	XXXX
302.A	STORMWATER MANAGEMENT DISTRICT RUN-OFF RATE	XX/XX/XXXX	XXXX



**LOCATION MAP
GREENCASTLE QUADRANGLE**
SCALE: 1"=2,000'

EQUITABLE OWNER / DEVELOPER

ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807

CONTACT PERSON

JARED NEWMAN, VICE PRESIDENT - ACQUISITIONS
ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

SITE LOCATION

SWAMP FOX ROAD
CHAMBERSBURG, PA 17201



207 Grant Street
Chambersburg, PA 17201
(717) 263-2070
hrg@hrg-inc.com
www.hrg-inc.com

SHEET LIST TABLE

Sheet Number	Sheet Description	Sheet Title
1	CV	COVER SHEET
2	NT-1	PLAN NOTES
3	NT-2	PLAN NOTES
4	EC	EXISTING CONDITIONS PLAN
5	EPP	EXISTING PROPERTY PLAN
6	PPP	PROPOSED PROPERTY PLAN
7	SU-0A	OVERALL SITE AND UTILITY PLAN
8	SU-DT-1	DETAIL SITE AND UTILITY PLAN
9	SU-DT-2	DETAIL SITE AND UTILITY PLAN
10	SU-DT-3	DETAIL SITE AND UTILITY PLAN
11	SU-DT-4	DETAIL SITE AND UTILITY PLAN
12	GS-0A	OVERALL GRADING AND STORMWATER MANAGEMENT PLAN
13	GS-DT-1	DETAIL GRADING AND STORMWATER MANAGEMENT PLAN
14	GS-DT-2	DETAIL GRADING AND STORMWATER MANAGEMENT PLAN
15	GS-DT-3	DETAIL GRADING AND STORMWATER MANAGEMENT PLAN
16	GS-DT-4	DETAIL GRADING AND STORMWATER MANAGEMENT PLAN
17	LA-0A	OVERALL LANDSCAPING PLAN
18	LA-DT-1	DETAIL LANDSCAPING PLAN
19	LA-DT-2	DETAIL LANDSCAPING PLAN
20	LA-DT-3	DETAIL LANDSCAPING PLAN
21	LA-DT-4	DETAIL LANDSCAPING PLAN
22	LI-0A	OVERALL LIGHTING PLAN
23	LI-DT-1	DETAIL LIGHTING PLAN
24	LI-DT-2	DETAIL LIGHTING PLAN
25	LI-DT-3	DETAIL LIGHTING PLAN
26	LI-DT-4	DETAIL LIGHTING PLAN
27	PP-RD-1	ROADWAY PLAN & PROFILE - ARCHER DRIVE
28	PP-RD-2	ROADWAY PLAN & PROFILE - ARCHER DRIVE
29	PP-WAT-1	WATER MAIN PLAN & PROFILE
30	PP-WAT-2	WATER MAIN PLAN & PROFILE
31	PP-WAT-3	WATER MAIN PLAN & PROFILE
32	PP-WAT-4	WATER MAIN PLAN & PROFILE
33	PR-SAN-1	SANITARY SEWER PROFILES
34	PR-STM-1	STORMWATER PIPE PROFILES - BASIN A1
35	PR-STM-2	STORMWATER PIPE PROFILES - BASIN A1
36	PR-STM-3	STORMWATER PIPE PROFILES - BASIN A2
37	PR-STM-4	STORMWATER PIPE PROFILES - BASIN A2
38	PR-STM-5	STORMWATER PIPE PROFILES - BASIN B AND MISCELLANEOUS
39	PR-STM-6	STORMWATER PIPE PROFILES - BASIN A1, A2 & B SECTIONS
40	PR-STM-7	STORMWATER PROFILES - CHANNELS
41	PR-STM-8	STORMWATER PROFILES - CHANNELS
42	CD-1	CONSTRUCTION DETAILS - SITE
43	CD-2	CONSTRUCTION DETAILS - SITE
44	CD-3	CONSTRUCTION DETAILS - WATER
45	CD-4	CONSTRUCTION DETAILS - WATER
46	CD-5	CONSTRUCTION DETAILS - SANITARY SEWER
47	CD-6	CONSTRUCTION DETAILS - SANITARY SEWER
48	CD-7	CONSTRUCTION DETAILS - STORMWATER
49	CD-8	CONSTRUCTION DETAILS - STORMWATER
50	CD-9	CONSTRUCTION DETAILS - STORMWATER
51	CD-10	CONSTRUCTION DETAILS - STORMWATER

FILED: 20210824 10:53 AM AT THE RECORDER OF DEEDS OFFICE IN AND FOR FRANKLIN COUNTY, PENNSYLVANIA. BY: [Signature]

GENERAL NOTES

- 1. THE PURPOSE OF THIS LAND DEVELOPMENT PLAN IS TO SHOW THE 93.13 ACRE PROPERTY CONSTRUCTION OF A WAREHOUSE/DISTRIBUTION FACILITY ALONG WITH ASSOCIATED PARKING AND UTILITIES...
2. PA ONE CALLS WERE PERFORMED PRIOR TO FIELD SURVEYING...
3. HEREON ARE BASED ON ABOVE GROUND STRUCTURES, FIELD OBSERVATIONS/SURVEY, AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES...
4. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON...
5. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES...
6. THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES...
7. THE WETLANDS EXIST ON THIS SITE AS PER A WETLAND INVESTIGATION REPORT BY HERBERT, ROWLAND & GRUBIC, INC. NO DEVELOPMENT IS PROPOSED WITHIN WETLANDS NOR HAVE ANY PERMITS FOR THE DISTURBANCE OF WETLANDS BEEN OBTAINED FROM THE APPROPRIATE FEDERAL AND STATE REGULATING AGENCIES...
8. BASED UPON FEMA MAP NUMBER 420550C435E, DATED JANUARY 18, 2012, THE ENTIRE PROPERTY IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD...
9. A TRAFFIC IMPACT STUDY WAS PREPARED BY HERBERT, ROWLAND AND GRUBIC, INC. DATED JUNE 2021 WAS APPROVED BY THE TOWNSHIP AND PENNDOT...
10. THERE IS AN EXISTING AGREEMENT WITH GULFORD TOWNSHIP AUTHORITY (GTA) WHEREBY GTA HAS ALREADY SECURED DEP PLANNING FOR THE REQUIRED EDIS FOR THIS PROJECT...
11. NO TREES, SHRUBBERY, FENCES, STRUCTURES OR WALLS OR FILL SHALL BE PLACED WITHIN THE RIGHT-OF-WAY OF ANY STREET OR WITHIN ANY EASEMENT...
12. THE DEVELOPER IS RESPONSIBLE FOR THE MOVING OF ANY LOTS THAT HE OWNS, AND INDIVIDUAL LOT OWNERS WILL BE RESPONSIBLE FOR THE MOVING OF THEIR RESPECTIVE LAWS UPON TRANSFER BY THE DEVELOPER...
13. DRIVEWAY ENTRANCES OR ARROWS WITHIN THE STREET RIGHT-OF-WAY SHALL BE IMPROVED IN ACCORDANCE WITH APPLICABLE ROAD SPECIFICATIONS TO THEIR FULL WIDTH AND TOWARDS THE RIGHT TO THE DEDICATED RIGHT OF WAY LINE PRIOR TO OCCUPANCY OF THE STRUCTURE...
14. ALL TRAFFIC CONTROL SIGNAGE, PAVEMENT MARKINGS AND STREET LIGHTING SHOWN ON THIS PLAN SHALL BE PURCHASED AND INSTALLED BY THE OWNER/DEVELOPER...
15. ALL DRAINAGE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPER UNTIL LAND ON WHICH THE FACILITY IS LOCATED, IS DEVELOPED AND SOLD...
16. THE OWNERSHIP OF ALL STORM DRAINAGE CHANNELS LOCATED WITHIN DRAINAGE EASEMENTS OCCUPYING ANY LOT OR TRACT WILL BE TRANSFERRED WITH THE LOT OR TRACT...
17. THE RESPONSIBILITY FOR NORMAL OPERATION AND MAINTENANCE OF THE CHANNEL SURFACE WILL BE THAT OF THE RESPECTIVE LOT OR TRACT OWNER, THEIR HEIRS, AND ASSIGNS...
18. ALL SUCH DRAINAGE FACILITIES SHALL REMAIN UNOBTSTRUCTED AND SHALL BE MAINTAINED BY THE LOT OR TRACT OWNER RELATIVE TO SHAPE, ALIGNMENT, GRADIENT, COVER, AND HYDRAULIC CAPACITY AS CONSTRUCTED BY THE DEVELOPER...
19. GULFORD TOWNSHIP SUPERVISORS, THEIR EMPLOYEES, AND COUNTY OFFICIALS, SHALL HAVE ACCESS TO ANY AND ALL DRAINAGE EASEMENTS AND/OR DRAINAGE FACILITIES AND SHALL HAVE THE RIGHT AT THEIR DISCRETION TO MAINTAIN OR REPAIR THE FACILITIES AS NECESSARY TO UPHOLD THEM TO THE DESIGN CONDITIONS AT THE COST INCURRED BY THE TOWNSHIP TO MAINTAIN OR REPAIR THE FACILITIES ARE TO BE PAID BY THE PROPERTY OWNER...
20. NO BUILDING OR OBSTRUCTION HIGHER THAN THIRTY (30) INCHES ABOVE THE GRADE OF THE CENTERLINE OF THE STREETS SHALL BE PERMITTED IN THE CLEAR SIGHT TRIANGLE STREET INTERSECTIONS AND DRIVEWAYS...
21. GULFORD TOWNSHIP ORDINANCES THAT THE STORM WATER MANAGEMENT PLAN HEREIN MEETS AND IS CONSISTENT WITH AND CONSISTENT WITH THE TOWNSHIP'S ORDINANCES RELATING TO STORM WATER MANAGEMENT...
22. THE DEVELOPER/PLANNING AND TOWNSHIP'S ENGINEER FOR REVIEW AND APPROVAL...
23. IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW...
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES...
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED...
26. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PENNDOT STANDARDS...
27. ALL CONSTRUCTION SHALL BE SUBJECT TO THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY AND ADA REQUIREMENTS...
28. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS AND CODES AND OSHA STANDARDS NOTED...
29. ALL CONSTRUCTION WITHIN PENNDOT RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS...
30. A COMPLETE SET OF THIS SUBDIVISION & LAND DEVELOPMENT PLAN, THE APPROVED STORMWATER MANAGEMENT PLAN AND THE APPROVED EROSION AND SEDIMENT CONTROL PLAN BOOKLET MUST BE AVAILABLE ON THE JOB SITE DURING ANY AND ALL CONSTRUCTION ACTIVITIES...
31. ANY GATE THAT IS NOT MONITORED OR CAN BE IMMEDIATELY OPENED SHOULD HAVE A LOCK THAT IS ACCESSIBLE FOR FIRE DEPARTMENT TO CUT WITH BOLT CUTTERS...
32. THE SHOWN LOCATION OF PROPOSED BUILDING, PARKING AND DRIVEWAYS ARE ANTICIPATED LOCATIONS WHICH COULD BE ALTERED WITHIN THE PARAMETERS OF THE APPLICABLE LAWS AND REGULATIONS IN EFFECT AT THE TIME OF INSTALLATION...
33. A SINGLE PERMANENT REFUSE COLLECTION AREA WILL NOT BE PROVIDED ON THIS SITE AS THE REFUSE COLLECTION DUMPSTERS WILL BE LOCATED AT VARIOUS LOCATIONS ALONG THE BUILDING IN VACANT LOADING DOCKS...
34. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 400 OF THE ACT OF JUNE 1, 1945, P.L. 1242, NO. 428 KNOWN AS THE "STATE HIGHWAY LAW"...
35. ARCHER DRIVE WILL BE CONSTRUCTED BY THE OWNER / DEVELOPER AND WILL BE CONSTRUCTED TO GULFORD TOWNSHIP ROAD SPECIFICATIONS...
36. ARCHER DRIVE WILL BE DEDICATED TO GULFORD TOWNSHIP FOR OWNERSHIP AND MAINTENANCE...
37. THE STORMWATER CONVEYANCE FACILITIES UNDER ARCHER DRIVE WILL BE OWNED AND MAINTAINED BY GULFORD TOWNSHIP...
38. SPEED LIMIT SIGNS, STREET SIGN LOCATIONS AND DETAILS HAVE BEEN ADDED TO THE PLANS...
39. THE DIMENSIONS OF THE LOT SHOWN HEREON MEET THE MINIMUM CLOSURE ERROR OF ONE (1) PART IN FIVE THOUSAND (5,000).

SURVEY NOTES

- 1. PROPERTY BOUNDARY INFORMATION DEPICED ON THIS PLAN IS BASED UPON "FINAL PLAT, SUBDIVISION OF LANDS OF DENNIS JOE MILLER & MILLER MARION ENTERPRISES" AS PREPARED BY SHELLY, WITTE & FOX, DATED MARCH 31, 2021 LAST REVISED ON JANUARY 5, 2022 AND FROM RECORDED DEEDS...
2. TOPOGRAPHY SHOWN HEREON WAS PREPARED FROM LAS MICRODRONE PHOTOGRAMMETRY PERFORMED BY SHELLY, WITTE & FOX ON MARCH 2 & 10, 2021...
3. BENCHMARK DATA: GPS BASE POINT - 5/8" REBAR W/CAP AT THE INTERSECTION OF THIRD STREET AND SWAMP FOX ROAD BEING A DISTANCE OF 25' S.E. FROM THE CENTER OF THIRD STREET...
4. HORIZONTAL DATUM IS BASED ON AN NGS OPUS SOLUTION FROM DATA COLLECTED ON FEBRUARY 16, 2021...
5. ROAD AND RAILROAD RIGHT-OF-WAY INFORMATION AS FOLLOWS FOR SUBJECT PROPERTY: SWAMP FOX - RIGHT OF WAY LINES AS PER PENNDOT HIGHWAY PLANS RECORDED AT INSTRUMENT NO. 196690320...
6. THE DIMENSIONS OF THE LOT SHOWN HEREON MEET THE MINIMUM CLOSURE ERROR OF ONE (1) PART IN FIVE THOUSAND (5,000).

BMP PERFORMANCE TESTING REQUIREMENTS

Table with 3 columns: BMP NAME, MINIMUM REQUIRED INFILTRATION RATE (IN/HR), MINIMUM REQUIRED NUMBER OF TESTS PER BMP. Row 1: INFILTRATION BASIN A, 0.50, 3.

CHAPTER 93 STREAM CLASSIFICATION

RECEIVING WATERCOURSE: UNT TO CONOCOCHEAQUE CREEK
CHAPTER 93 CLASSIFICATION: WWF, MF

UTILITY NOTES

- 1. CONTRACTOR TO CONTACT UTILITY COMPANIES AND COORDINATE UTILITY CONNECTIONS...
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN IN THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES...
3. NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT...
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION...
5. ALL UTILITY WORK BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY...
6. THE CONTRACTOR TO ENSURE CONTRACTORS TO ENROUTE CONTRACTORS TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES...
7. THE SHOWN LOCATIONS OF WATER LATERALS, SEWER LATERALS AND GAS LATERALS ARE ANTICIPATED LOCATIONS WHICH COULD BE ALTERED WITHIN THE PARAMETERS OF THE APPLICABLE LAWS AND REGULATIONS IN EFFECT AT THE TIME OF INSTALLATION...
8. MECHANICAL ROOM LOCATION IS SHOWN FOR SCHEMATIC PURPOSES ONLY...
9. ALL REQUIRED UNDERGROUND UTILITY LINES, SERVICE LATERALS AND LEADS WHICH ARE LOCATED WITHIN THE PAVEMENT...
10. ALL REQUIRED UNDERGROUND UTILITY LINES, SERVICE LATERALS AND LEADS WHICH ARE LOCATED WITHIN THE PAVEMENT...
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MOVING OF ANY LOTS THAT HE OWNS, AND INDIVIDUAL LOT OWNERS WILL BE RESPONSIBLE FOR THE MOVING OF THEIR RESPECTIVE LAWS UPON TRANSFER BY THE DEVELOPER...
12. DRIVEWAY ENTRANCES OR ARROWS WITHIN THE STREET RIGHT-OF-WAY SHALL BE IMPROVED IN ACCORDANCE WITH APPLICABLE ROAD SPECIFICATIONS TO THEIR FULL WIDTH AND TOWARDS THE RIGHT TO THE DEDICATED RIGHT OF WAY LINE PRIOR TO OCCUPANCY OF THE STRUCTURE...
13. ALL TRAFFIC CONTROL SIGNAGE, PAVEMENT MARKINGS AND STREET LIGHTING SHOWN ON THIS PLAN SHALL BE PURCHASED AND INSTALLED BY THE OWNER/DEVELOPER...
14. ALL DRAINAGE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPER UNTIL LAND ON WHICH THE FACILITY IS LOCATED, IS DEVELOPED AND SOLD...
15. THE OWNERSHIP OF ALL STORM DRAINAGE CHANNELS LOCATED WITHIN DRAINAGE EASEMENTS OCCUPYING ANY LOT OR TRACT WILL BE TRANSFERRED WITH THE LOT OR TRACT...
16. THE RESPONSIBILITY FOR NORMAL OPERATION AND MAINTENANCE OF THE CHANNEL SURFACE WILL BE THAT OF THE RESPECTIVE LOT OR TRACT OWNER, THEIR HEIRS, AND ASSIGNS...
17. ALL SUCH DRAINAGE FACILITIES SHALL REMAIN UNOBTSTRUCTED AND SHALL BE MAINTAINED BY THE LOT OR TRACT OWNER RELATIVE TO SHAPE, ALIGNMENT, GRADIENT, COVER, AND HYDRAULIC CAPACITY AS CONSTRUCTED BY THE DEVELOPER...
18. GULFORD TOWNSHIP SUPERVISORS, THEIR EMPLOYEES, AND COUNTY OFFICIALS, SHALL HAVE ACCESS TO ANY AND ALL DRAINAGE EASEMENTS AND/OR DRAINAGE FACILITIES AND SHALL HAVE THE RIGHT AT THEIR DISCRETION TO MAINTAIN OR REPAIR THE FACILITIES AS NECESSARY TO UPHOLD THEM TO THE DESIGN CONDITIONS AT THE COST INCURRED BY THE TOWNSHIP TO MAINTAIN OR REPAIR THE FACILITIES ARE TO BE PAID BY THE PROPERTY OWNER...
19. NO BUILDING OR OBSTRUCTION HIGHER THAN THIRTY (30) INCHES ABOVE THE GRADE OF THE CENTERLINE OF THE STREETS SHALL BE PERMITTED IN THE CLEAR SIGHT TRIANGLE STREET INTERSECTIONS AND DRIVEWAYS...
20. GULFORD TOWNSHIP ORDINANCES THAT THE STORM WATER MANAGEMENT PLAN HEREIN MEETS AND IS CONSISTENT WITH AND CONSISTENT WITH THE TOWNSHIP'S ORDINANCES RELATING TO STORM WATER MANAGEMENT...
21. THE DEVELOPER/PLANNING AND TOWNSHIP'S ENGINEER FOR REVIEW AND APPROVAL...
22. IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW...
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES...
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED...
25. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PENNDOT STANDARDS...
26. ALL CONSTRUCTION SHALL BE SUBJECT TO THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY AND ADA REQUIREMENTS...
27. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS AND CODES AND OSHA STANDARDS NOTED...
28. ALL CONSTRUCTION WITHIN PENNDOT RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS...
29. A COMPLETE SET OF THIS SUBDIVISION & LAND DEVELOPMENT PLAN, THE APPROVED STORMWATER MANAGEMENT PLAN AND THE APPROVED EROSION AND SEDIMENT CONTROL PLAN BOOKLET MUST BE AVAILABLE ON THE JOB SITE DURING ANY AND ALL CONSTRUCTION ACTIVITIES...
30. ANY GATE THAT IS NOT MONITORED OR CAN BE IMMEDIATELY OPENED SHOULD HAVE A LOCK THAT IS ACCESSIBLE FOR FIRE DEPARTMENT TO CUT WITH BOLT CUTTERS...
31. THE SHOWN LOCATION OF PROPOSED BUILDING, PARKING AND DRIVEWAYS ARE ANTICIPATED LOCATIONS WHICH COULD BE ALTERED WITHIN THE PARAMETERS OF THE APPLICABLE LAWS AND REGULATIONS IN EFFECT AT THE TIME OF INSTALLATION...
32. A SINGLE PERMANENT REFUSE COLLECTION AREA WILL NOT BE PROVIDED ON THIS SITE AS THE REFUSE COLLECTION DUMPSTERS WILL BE LOCATED AT VARIOUS LOCATIONS ALONG THE BUILDING IN VACANT LOADING DOCKS...
33. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 400 OF THE ACT OF JUNE 1, 1945, P.L. 1242, NO. 428 KNOWN AS THE "STATE HIGHWAY LAW"...
34. ARCHER DRIVE WILL BE CONSTRUCTED BY THE OWNER / DEVELOPER AND WILL BE CONSTRUCTED TO GULFORD TOWNSHIP ROAD SPECIFICATIONS...
35. ARCHER DRIVE WILL BE DEDICATED TO GULFORD TOWNSHIP FOR OWNERSHIP AND MAINTENANCE...
36. THE STORMWATER CONVEYANCE FACILITIES UNDER ARCHER DRIVE WILL BE OWNED AND MAINTAINED BY GULFORD TOWNSHIP...
37. THE STORMWATER EASEMENTS SHOWN ALONG ARCHER DRIVE WILL BE DEDICATED TO GULFORD TOWNSHIP...
38. SPEED LIMIT SIGNS, STREET SIGN LOCATIONS AND DETAILS HAVE BEEN ADDED TO THE PLANS...
39. THE DIMENSIONS OF THE LOT SHOWN HEREON MEET THE MINIMUM CLOSURE ERROR OF ONE (1) PART IN FIVE THOUSAND (5,000).

- 1. CONTRACTOR TO CONTACT UTILITY COMPANIES AND COORDINATE UTILITY CONNECTIONS...
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN IN THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES...
3. NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT...
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION...
5. ALL UTILITY WORK BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY...
6. THE CONTRACTOR TO ENSURE CONTRACTORS TO ENROUTE CONTRACTORS TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES...
7. THE SHOWN LOCATIONS OF WATER LATERALS, SEWER LATERALS AND GAS LATERALS ARE ANTICIPATED LOCATIONS WHICH COULD BE ALTERED WITHIN THE PARAMETERS OF THE APPLICABLE LAWS AND REGULATIONS IN EFFECT AT THE TIME OF INSTALLATION...
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13. ALL TRAFFIC CONTROL SIGNAGE, PAVEMENT MARKINGS AND STREET LIGHTING SHOWN ON THIS PLAN SHALL BE PURCHASED AND INSTALLED BY THE OWNER/DEVELOPER...
14. ALL DRAINAGE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPER UNTIL LAND ON WHICH THE FACILITY IS LOCATED, IS DEVELOPED AND SOLD...
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19. NO BUILDING OR OBSTRUCTION HIGHER THAN THIRTY (30) INCHES ABOVE THE GRADE OF THE CENTERLINE OF THE STREETS SHALL BE PERMITTED IN THE CLEAR SIGHT TRIANGLE STREET INTERSECTIONS AND DRIVEWAYS...
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21. THE DEVELOPER/PLANNING AND TOWNSHIP'S ENGINEER FOR REVIEW AND APPROVAL...
22. IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW...
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25. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PENNDOT STANDARDS...
26. ALL CONSTRUCTION SHALL BE SUBJECT TO THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY AND ADA REQUIREMENTS...
27. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS AND CODES AND OSHA STANDARDS NOTED...
28. ALL CONSTRUCTION WITHIN PENNDOT RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS...
29. A COMPLETE SET OF THIS SUBDIVISION & LAND DEVELOPMENT PLAN, THE APPROVED STORMWATER MANAGEMENT PLAN AND THE APPROVED EROSION AND SEDIMENT CONTROL PLAN BOOKLET MUST BE AVAILABLE ON THE JOB SITE DURING ANY AND ALL CONSTRUCTION ACTIVITIES...
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32. A SINGLE PERMANENT REFUSE COLLECTION AREA WILL NOT BE PROVIDED ON THIS SITE AS THE REFUSE COLLECTION DUMPSTERS WILL BE LOCATED AT VARIOUS LOCATIONS ALONG THE BUILDING IN VACANT LOADING DOCKS...
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38. SPEED LIMIT SIGNS, STREET SIGN LOCATIONS AND DETAILS HAVE BEEN ADDED TO THE PLANS...
39. THE DIMENSIONS OF THE LOT SHOWN HEREON MEET THE MINIMUM CLOSURE ERROR OF ONE (1) PART IN FIVE THOUSAND (5,000).

GRADING AND STORMWATER NOTES

- 1. ALL ELEVATIONS SHOWN ARE REFERENCED TO BENCHMARKS AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO GROUND BREAKING...
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF PENNSYLVANIA ACT 287 (1974) AS AMENDED BY ACT 181 (2006)...
3. THE STORMWATER MANAGEMENT AND SOIL EROSION AND SEDIMENTATION CONTROL REPORTS SHALL BE REFERENCED FOR ADDITIONAL NARRATIVE, CALCULATIONS AND DETAILS REGARDING STORMWATER AND SOIL EROSION CONTROL...
4. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS...
5. THE CONTRACTOR SHALL APPLY A STABILIZATION FABRIC, OR EQUIVALENT, TO ALL SLOPES STEEPER THAN 3:1 FOR ANY TEMPORARY OR PERMANENT CUTS OR FILLS...
6. ALL STORMWATER PIPING ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURES IS WATER TIGHT...
7. ALL STORM WATER PIPES, INLETS, END-SECTIONS, END WALLS, ETC. WILL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT REVISION OF PENNDOT PUBLICATION 408 - "SPECIFICATIONS", PUBLICATION 72M - "STANDARDS FOR ROADWAY CONSTRUCTION" AND AS SHOWN ON THESE PLANS...
8. THE CONTRACTOR SHALL CONDUIT AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH AND CONTINUOUS GRADE...
9. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE INDIVIDUAL NPDES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES...
10. THE CONTRACTOR SHALL APPLY A STABILIZATION FABRIC, OR EQUIVALENT, TO ALL SLOPES STEEPER THAN 3:1 FOR ANY TEMPORARY OR PERMANENT CUTS OR FILLS...
11. ALL STORMWATER PIPING ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURES IS WATER TIGHT...
12. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FLOW CHANNEL FROM INVERT IN TO INVERT OUT...
13. ALL STORM WATER PIPES, INLETS, END-SECTIONS, END WALLS, ETC. WILL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT REVISION OF PENNDOT PUBLICATION 408 - "SPECIFICATIONS", PUBLICATION 72M - "STANDARDS FOR ROADWAY CONSTRUCTION" AND AS SHOWN ON THESE PLANS...
14. ALL STORM PIPING SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED: TYPE 1: HIGH DENSITY POLYETHYLENE PIPE (SLPP) SMOOTH INTERIOR, AASHTO DESIGNATION M252 AND M294...
15. ALL PROPOSED STORM DRAINAGE INLETS SHALL BE EQUIPPED WITH BICYCLE SAFE GRATES...
16. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES...
17. THE CONTRACTOR SHALL COORDINATE WITH THE VARIOUS UTILITY COMPANIES TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION...
18. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT AND HAVE TRAFFIC BEARING RING AND COVER...
19. APPROVAL OF THIS PLAN INCLUDING STORM WATER MANAGEMENT PLAN AS PROPOSED, THE TOWNSHIP TAKES NO POSITION ON THE LEGALITY OF THE EFFECT OF THE STORM WATER MANAGEMENT PLAN REGARDING ADJACENT PROPERTY OWNERS.

CRITICAL STAGES OF IMPLEMENTATION OF PCSM PLAN

- CRITICAL STAGES OF IMPLEMENTATION OF PCSM PLAN
THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE DESIGN ENGINEER AND THE TOWNSHIP PRIOR TO INITIATING THE CONSTRUCTION OF THESE STAGES SO THAT ADEQUATE INSPECTION CAN OCCUR IN ORDER TO PROVIDE THE FINAL CERTIFICATIONS...
1. DURING CONSTRUCTION OF THE INFILTRATION BMPS.
A. INFILTRATION BASIN WITH UNDERDRAINS
B. VEGETATED SWALES
2. UPON FINAL COMPLETION TO VERIFY ALL PCSM MEASURES ARE INSTALLED AND FUNCTIONING AS DESIGNED.

POST CONSTRUCTION STORMWATER MANAGEMENT STANDARD NOTES:

- PERMIT TERMINATION
UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH §§ 102.4 AND 102.5 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS), THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT...
THE NOTICE OF TERMINATION MUST INCLUDE:
(1) THE FACILITY NAME, ADDRESS AND LOCATION.
(2) THE OPERATOR NAME AND ADDRESS.
(3) THE PERMIT NUMBER.
(4) THE REASON FOR PERMIT TERMINATION.
(5) IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs IN ACCORDANCE WITH § 102.8(M) AND PROOF OF COMPLIANCE WITH § 102.8(M)(2).

- PCSM REQUIREMENTS
REPORTING AND RECORDKEEPING: THE PCSM PLAN, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT...
LICENSED PROFESSIONAL OVERSIGHT OF CRITICAL STAGES: A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ON-SITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN...
FINAL CERTIFICATION: THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:
"I (NAME) DO HEREBY CERTIFY PURSUANT TO THE PROVISIONS OF 18 P.A.C.S.A. § 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 17 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN...
(1) THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.
(2) THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs.

- PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS
UNLESS THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM BMPs ON THE PROJECT SITE...
FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY...
THE PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs.

- THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSM BMPs OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT...
A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs.

- DEVELOPER IS RESPONSIBLE FOR IMPLEMENTATION OF THE EROSION AND SEDIMENTATION CONTROL/STORMWATER MANAGEMENT PLAN...
THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE INDIVIDUAL NPDES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES...
THE CONTRACTOR SHALL APPLY A STABILIZATION FABRIC, OR EQUIVALENT, TO ALL SLOPES STEEPER THAN 3:1 FOR ANY TEMPORARY OR PERMANENT CUTS OR FILLS...
ALL STORMWATER PIPING ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURES IS WATER TIGHT...
ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FLOW CHANNEL FROM INVERT IN TO INVERT OUT...
ALL STORM WATER PIPES, INLETS, END-SECTIONS, END WALLS, ETC. WILL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT REVISION OF PENNDOT PUBLICATION 408 - "SPECIFICATIONS", PUBLICATION 72M - "STANDARDS FOR ROADWAY CONSTRUCTION" AND AS SHOWN ON THESE PLANS...
ALL PROPOSED STORM DRAINAGE INLETS SHALL BE EQUIPPED WITH BICYCLE SAFE GRATES...
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES...
THE CONTRACTOR SHALL COORDINATE WITH THE VARIOUS UTILITY COMPANIES TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION...
ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT AND HAVE TRAFFIC BEARING RING AND COVER...
RAILROAD - RIGHT OF WAY LINES FOR NORFOLK SOUTHERN RAILROAD TAKEN FROM CONRAL AND PENNSYLVANIA RAILROAD VALUATION MAPS V32/V37 & 56.

- THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSM BMPs OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT...
A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs.

- DEVELOPER IS RESPONSIBLE FOR IMPLEMENTATION OF THE EROSION AND SEDIMENTATION CONTROL/STORMWATER MANAGEMENT PLAN...
THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE INDIVIDUAL NPDES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES...
THE CONTRACTOR SHALL APPLY A STABILIZATION FABRIC, OR EQUIVALENT, TO ALL SLOPES STEEPER THAN 3:1 FOR ANY TEMPORARY OR PERMANENT CUTS OR FILLS...
ALL STORMWATER PIPING ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURES IS WATER TIGHT...
ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FLOW CHANNEL FROM INVERT IN TO INVERT OUT...
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ALL PROPOSED STORM DRAINAGE INLETS SHALL BE EQUIPPED WITH BICYCLE SAFE GRATES...
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES...
THE CONTRACTOR SHALL COORDINATE WITH THE VARIOUS UTILITY COMPANIES TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION...
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RAILROAD - RIGHT OF WAY LINES FOR NORFOLK SOUTHERN RAILROAD TAKEN FROM CONRAL AND PENNSYLVANIA RAILROAD VALUATION MAPS V32/V37 & 56.

DEMOLITION NOTES

- 1. ALL MANMADE STRUCTURES WITHIN THE LIMITS OF THE PROJECT SHALL BE DEMOLISHED BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS...
2. ALL UTILITIES SHALL BE TERMINATED AND SECURED PRIOR TO DEMOLITION ACTIVITIES...
3. UTILITY SERVICE TO ADJACENT PROPERTIES MUST REMAIN CONTINUOUSLY OPERABLE UNLESS SERVICE DISTRIBUTION IS AGREED TO IN ADVANCE BY THOSE AFFECTED...
4. ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF IN A LEGAL MANNER...
5. ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES...
6. ALL EXISTING ITEMS SHOWN ON THE EXISTING CONDITIONS PLAN THAT ARE MARKED TO BE DEMOLISHED SHALL BE COMPLETELY REMOVED...
7. EXISTING SEPTIC SYSTEMS, INCLUDING TANKS, BEDS AND LINES, SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS...
8. ANY EXISTING WELLS, SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS...
9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK PRIOR TO THE START OF WORK...
10. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS...
11. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN AN APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS...
12. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES...
13. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR...
14. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED...
15. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES...
16. WHEN EXISTING PAVING AND CONCRETE IS TO REMAIN, THE CONTRACTOR SHALL NEATLY SAWCUT THE PAVING PRIOR TO REMOVAL OF PAVING/CONCRETE SCHEDULED FOR DEMOLITION.

SITE NOTES

- 1. EXISTING PROPERTY BOUNDARIES:
A. UPL: 10-0020-016-00000 DEED REF 1154-0342
B. UPL: 10-0020-016-00000 DEED REF 1137-0283
C. UPL: 10-0020-046-00000 DEED REF 2347-0059
D. UPL: 10-00278-014-00000 DEED REF 2347-0059
E. UPL: 10-00278-015-00000 DEED REF 2347-0059
F. UPL: 10-00278-016-00000 DEED REF 2347-0059

- 2. ZONING: GULFORD TWP: COMMERCIAL / INDUSTRIAL DISTRICT (C), WITH TALL SIGN OVERLAY ZONE
3. PROPOSED USE: WAREHOUSE / DISTRIBUTION CENTER
4. MINIMUM LOT AREAS: NONE
5. TOTAL LOT AREA (EXISTING): 93.131 ACRES
PROPOSED LOT AREA: ARCHER DRIVE RIGHT-OF-WAY: 215,913,914.5 SF OR 4.9567 ACRES
16,906,899.5 SF OR 0.3882 ACRES
RESERVED ALLEMAN ROAD RIGHT-OF-WAY: 6,096,151.3 SF OR 0.1389 ACRES
NET LOT AREA (PROPOSED LOT AREA): 3,817,851.69 SF OR 87.6458 ACRES

- 6. MINIMUM LOT WIDTH: NONE
7. MINIMUM BUILDING SETBACKS: PERIMETER STREET (FRONT): 75 FEET (BUILDING SETBACK IS PROVIDED AT 90' TO ACCOMMODATE THE PROPOSED BUILDING HEIGHT) INCLUDING THROUGH SWALES.
8. MAXIMUM BUILDING HEIGHT: 50 FEET FOR EACH FOOT THAT A BUILDING EXCEEDS A HEIGHT OF THIRTY-FIVE (35) FEET THE SETBACK REQUIREMENTS SET FORTH IN SECTION 3.5.B.1 SHALL BE INCREASED ONE (1) FOOT.
9. PROPOSED BUILDING HEIGHT: 50 FEET MAXIMUM, SUBJECT TO TENANT REQUIREMENTS
10. MAXIMUM IMPERVIOUS COVERAGE: 70%
11. PROPOSED IMPERVIOUS COVERAGE: 56% (49.32 ACRES)

- 12. PROPOSED WATER SUPPLY: PUBLIC
13. PROPOSED SEWER SUPPLY: PUBLIC
14. PARKING REQUIRED: 1 SPACE FOR EACH 1000 SQ. FT. OF FLOOR AREA, PLUS 1 SPACE FOR EACH 2 EMPLOYEES IN THE MAXIMUM WORKING SHIFT. THE TOTAL PARKING AREA SHALL NOT BE LESS THAN 25% OF THE FLOOR AREA. THE WAREHOUSE PORTION OF A PERMITTED USE SHALL PROVIDE A MINIMUM OF 1 SPACE PER 5,000 SQ. FT. OF WAREHOUSE FLOOR AREA.
TOTAL PARKING REQUIRED: 268 SPACES
TOTAL HANDICAP SPACES: 14 SPACES

- 15. PARKING PROVIDED: 375 SPACES (AS SHOWN)(86 POTENTIAL FUTURE)
EMPLOYEE SPACES: 198 SPACES
TRAILER STORAGE: 213 SPACES (AS SHOWN)(90 POTENTIAL FUTURE)
LOADING DOCKS: 189 DOCKS (AS SHOWN)

THE PARKING SPACES SHOWN HEREON ARE BASED ON INDUSTRY STANDARDS TO BE ABLE TO MEET THE NEEDS OF A PROSPECTIVE TENANT. THE ULTIMATE TENANT IS CURRENTLY UNKNOWN. THEREFORE, DETAILS REGARDING THE NUMBER OF EMPLOYEES AND WORKING SHIFTS SHALL BE PROVIDED TO THE TOWNSHIP PRIOR TO OCCUPANCY TO DETERMINE THE ADEQUACY OF THE PARKING FACILITIES.

SUPPORTING DOCUMENTS

- 1. POST CONSTRUCTION STORMWATER MANAGEMENT PLAN PREPARED BY HRG.
2. EROSION AND SEDIMENT POLLUTION CONTROL PLAN PREPARED BY HRG.
3. POST CONSTRUCTION STORMWATER MANAGEMENT REPORT PREPARED BY HRG.
4. GEOTECHNICAL REPORT PREPARED BY GTA.
5. OFF-SITE SEWER EXTENSION PLAN PREPARED BY BUCHART HORN, INC.
6. SURVEY FOR ABANDONMENT OF PORTION OF THIRD STREET PREPARED BY SHELLEY, WITTE & FOX.

PA ONE CALL

ACT 199 OF 2004



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY ACT 199 (2004) REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE AND AVOIDANCE BY THE COMMUNITY.

PA ONE-CALL SERIAL NO. 20210470488-000 HAS BEEN ASSIGNED TO THIS PROJECT ON 02-16-21. * ADDED BY HRG, NOT BY PA ONE CALL LOT.

PA ONE CALL - UTILITY RESPONSE LIST

- WINDSTREAM (4H)
CENTURYLINK LEVEL 3 (LKC)
SPRINT NEXTEL (US)
COMCAST CABLE COMMUNICATIONS INC. (RS)
GULFORD TOWNSHIP (GUL)
GULFORD WATER AUTHORITY (GTW)
WEST PENN POWER (KK)
CHAMBERSBURG BOROUGH AUTHORITY (OM)

PLAN NOTES

CONSTRUCTION SEQUENCE

- GENERAL MAINTENANCE OF CONSTRUCTION
1. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES...
2. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES...
3. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE PLAN DRAWINGS...
4. CLEAR AND GRUB EXISTING VEGETATION AND STRIP TOPSOIL ONLY AS NEEDED AS WORK PROGRESSES...
5. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY...
6. CRITICAL STAGE: AS CONSTRUCTION OF THE STORM SEWER SYSTEM PROGRESSES...
7. PLACE STONE SUBBASE FOR ALL PAVED AREAS, SIDEWALKS AND BUILDING PAD AS AREAS REACH SUBGRADE AND/OR WHEN THE UTILITIES HAVE BEEN INSTALLED IN THESE AREAS...
8. SLOPES, CHANNELS, DITCHES, AND ALL OTHER DISTURBED AREAS REACHING FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS...
9. THE DISTURBED AREA TRIBUTARY TO EACH BMP SHALL BE COMPLETED AND STABILIZED PRIOR TO REMOVAL OR CONVERSION OF TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL BMPs...
10. PROVIDE A CONCRETE WASHOUT FACILITY FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE...
11. AREAS THAT ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES -- 6 TO 12 INCHES TO COMPACTED SOLS -- PRIOR TO PLACEMENT OF TOPSOIL...

STAGE 1 CRITICAL STAGES REQUIRE LICENSED PROFESSIONAL OBSERVATION

- 1. DELINEATE THE LIMITS OF DISTURBANCE FOR STAGES 1 THROUGH 3.
2. DELINEATE THE LIMITS OF MINIMIZE COMPACTION AREAS AND PLACE ORANGE CONSTRUCTION FENCE.
3. INSTALL COMPOST FILTER SOCKS 1 THROUGH 12.
4. DEMOLISH EXISTING STRUCTURES AND REMOVE ANY CONSTRUCTION WASTE FROM SITE.
5. INSTALL ROCK CONSTRUCTION ENTRANCE OFF OF ALLEMAN ROAD.
6. CONSTRUCT BYPASS SWALE C-1 WORKING DOWNSTREAM TO UPSTREAM (CRITICAL STAGE).
7. CONSTRUCT SEDIMENT BASIN SB-1 (CRITICAL STAGE) AND INSTALL SKIMMER, OUTLET STRUCTURE OS-A, AND STORM PIPE FROM OS-A TO CM-A.
8. INSTALL CONCRETE WASHOUT FACILITY.
9. ONCE EROSION CONTROL BLANKET ON THE OUTSIDE BERM OF SEDIMENT BASIN SB-1.
10. ONCE SEDIMENT BASIN 1 INSTALLATION IS COMPLETE, EXCAVATION OF BORROW PIT FOR MATERIAL MAY BEGIN.
11. EXCAVATION AREA OF BORROW PIT MAY CONTINUE TO APPROXIMATE LIMITS SHOWN AS NEEDED AS SITE GRADING PROGRESSES.
12. POSITIVE DRAINAGE TO TEMPORARY PIPE-1 SHALL BE MAINTAINED AT ALL TIMES DURING BORROW PIT EXCAVATION.
13. IF POSITIVE DRAINAGE CANNOT BE MAINTAINED, WATER PONDING AREAS ACCORDING TO STANDARD DETAIL #3-16.
14. INSTALL CONVEYANCE FROM EW-1 TO OS-B, INSTALL DOWNSTREAM TO UPSTREAM.
15. CONSTRUCT INFILTRATION BASIN IB-B (CRITICAL STAGE), INSTALL OUTLET STRUCTURE.
16. MINIMIZE COMPACTION DURING CONSTRUCTION OF INFILTRATION BASIN IB-B.
17. MINIMIZE COMPACTION DURING CONSTRUCTION OF INFILTRATION BASIN IB-B.
18. ONCE SEDIMENT BASIN 1 INSTALLATION IS COMPLETE, EXCAVATION OF BORROW PIT FOR MATERIAL MAY BEGIN.
19. EXCAVATION AREA OF BORROW PIT MAY CONTINUE TO APPROXIMATE LIMITS SHOWN AS NEEDED AS SITE GRADING PROGRESSES.
20. POSITIVE DRAINAGE TO TEMPORARY PIPE-1 SHALL BE MAINTAINED AT ALL TIMES DURING BORROW PIT EXCAVATION.
21. IF POSITIVE DRAINAGE CANNOT BE MAINTAINED, WATER PONDING AREAS ACCORDING TO STANDARD DETAIL #3-16.
22. INSTALL CONVEYANCE FROM EW-1 TO OS-B, INSTALL DOWNSTREAM TO UPSTREAM.
23. MAY BEGIN INSTALLATION OF SWALE A-7 AND SWALE A-6 WORKING DOWNSTREAM TO UPSTREAM (CRITICAL STAGE).
24. MAY BEGIN GRADING BUILDING PAD AREA.
25. DURING SITE GRADING DISTURBED AREAS MUST HAVE POSITIVE DRAINAGE TOWARDS SEDIMENT BASIN 1.
26. IMMEDIATELY STABILIZE ALL GRADED AREAS WITH TEMPORARY SEEDING.

STAGE 2 CRITICAL STAGES REQUIRE LICENSED PROFESSIONAL OBSERVATION

- 1. INSTALL COMPOST FILTER SOCKS 14-34 AND ROCK CONSTRUCTION ENTRANCE AT EXISTING DRIVEWAY ALONG THE EASTBOUND LANE OF SWAMP FOX ROAD.
2. CLEAR AND GRUB EXISTING VEGETATION AND STRIP TOPSOIL ONLY AS NEEDED AS WORK PROGRESSES.
3. IMMEDIATELY STABILIZE ALL GRADED AREAS WITH TEMPORARY SEEDING.
4. INSTALL CONCRETE WASHOUT FACILITIES.
5. ONCE CULVERT UNDER ARCHER DRIVE OFF OF SWAMP FOX ROAD.
6. ONCE CULVERT IS INSTALLED, INSTALL ROCK CONSTRUCTION ENTRANCE OFF OF SWAMP FOX ROAD.
7. INSTALL COMPOST FILTER SOCKS 35-40.
8. BEGAIN ROUGH/FINAL GRADING OF THE SITE, EXCEPT FOR RAIN GARDENS AND RESPECTIVE UPSTREAM SWALES.
9. INSTALLATION OF ALL REMAINING CONVEYANCES AND SWALES TO SEDIMENT BASIN 1 / PERMANENT INFILTRATION BASIN A-1 AND A-2 MAY BEGIN.
10. CONTINUE MASS GRADING OF WAREHOUSE PAD, ARCHER DRIVE AND WAREHOUSE PARKING AREAS.
11. ONCE WAREHOUSE IS BEING CONSTRUCTION, INSTALL ROOF DRAIN SYSTEM.
12. STABILIZE AND SEED NON-GRADED AGRICULTURAL AREAS.
13. INSTALL LOW PRESSURE SANITARY SEWER, GRAVITY SANITARY SEWER, WATER LINES AND OTHER UTILITIES.
14. INSTALL STONE BASE FOR ACCESS DRIVES, PARKING AREAS AND TRUCK DOCKS FOR WAREHOUSE BUILDING.
15. AS INSTALLATION OF UTILITIES AND STORM SEWERS ARE COMPLETED AND GRADING REACHES FINAL SUBGRADE, STABILIZE REMAINING ROADS AND PARKING LOTS WITH STONE.
16. PERMANENTLY STABILIZE ALL REMAINING AREAS BROUGHT TO FINAL GRADE.
17. UPON 70% STABILIZATION UPSTREAM AREAS OF RAIN GARDEN 5, CONSTRUCTION OF RAIN GARDEN 5 MAY BEGIN.
18. ONCE RAIN GARDEN 5 IS INSTALLED, NO SEDIMENT LADEN WATER MAY ENTER BMP.
19. UPON 70% STABILIZATION UPSTREAM AREAS OF RAIN GARDEN 4, CONSTRUCTION OF RAIN GARDEN 4 MAY BEGIN.
20. ONCE RAIN GARDEN 4 IS INSTALLED, NO SEDIMENT LADEN WATER MAY ENTER BMP.
21. INSTALL ALL UPSTREAM CONVEYANCES TO RAIN GARDEN 3, WORKING DOWNSTREAM TO UPSTREAM.
22. UPON 70% STABILIZATION UPSTREAM AREAS OF RAIN GARDEN 3, CONSTRUCTION OF RAIN GARDEN 3 MAY BEGIN.
23. INSTALL ALL UPSTREAM CONVEYANCES TO RAIN GARDEN 1, WORKING DOWNSTREAM TO UPSTREAM.
24. UPON 70% STABILIZATION UPSTREAM AREAS OF RAIN GARDEN 2, CONSTRUCTION OF RAIN GARDEN 2 MAY BEGIN.
25. ONCE RAIN GARDEN 2 IS INSTALLED, NO SEDIMENT LADEN WATER MAY ENTER BMP.

- SEEDING, PERFORM INFILTRATION TEST IN BOTTOM OF RAIN GARDEN TO ENSURE RATES MEET DESIGN REQUIREMENTS.
1.1. ONCE RAIN GARDEN IS INSTALLED, NO SEDIMENT LADEN WATER MAY ENTER BMP.
22. INSTALL ALL UPSTREAM CONVEYANCES TO RAIN GARDEN 1, WORKING DOWNSTREAM TO UPSTREAM.
STAGE 3: CRITICAL STAGES REQUIRE LICENSED PROFESSIONAL OBSERVATION
1. FILL THE BORROW PIT WITH TOPSOIL FROM SITE AND BRING TO FINAL GRADE AS SHOWN ON STAGE 3 PLANS AND STABILIZE DISTURBED AREAS.
2. CONSTRUCT RETENTIVE GRADING AREA (CRITICAL STAGE).
3. INSTALL CURBING AND PAVE ALL REMAINING TRUCK COURTS, ROADS, CONCRETE PADS AND PARKING AREAS.
4. UPON 70% STABILIZATION OF RESPECTIVE UPSTREAM AREAS, CONVERT SEDIMENT BASIN 1 PERMANENT INFILTRATION BASIN A1 AND A2.
4.1. REMOVE ACCUMULATED SEDIMENT FROM THE CONTRIBUTING STORM SEWER SYSTEM INTO THE SEDIMENT BASIN.
4.2. DEWATER THE SEDIMENT BASIN IN ACCORDANCE WITH STANDARD CONSTRUCTION DETAIL #7-18 AS SHOWN ON THIS PLAN.
4.3. REMOVE ACCUMULATED SEDIMENT AND EXCAVATE SEDIMENT BASIN TO THE BOTTOM OF THE PROPOSED SOIL MIX DEPTH.
4.4. REMOVE ACCUMULATED SEDIMENT AND EXCAVATE SEDIMENT BASIN TO THE BOTTOM OF THE PROPOSED SOIL MIX DEPTH.
4.5. SCARIFY IN-SITU SOLS.
4.6. INSTALL THE PERMANENT OUTLET STRUCTURE AND UNDERDRAINS AS SHOWN ON PLANS.
4.7. CONDUCT BMP PERFORMANCE TESTING.
4.8. BACKFILL THE INFILTRATION BASIN WITH SPECIFIED SOIL MIX TO THE PROPOSED ELEVATION ON PLANS.
5. BRING ANY REMAINING AREAS TO FINAL GRADE.
6. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
7. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, ALL TEMPORARY EROSION AND SEDIMENT CONTROLS MAY BE REMOVED.

SEQUENCE OF CONSTRUCTION FOR INDIVIDUAL BMP INSTALLATION

- INFILTRATION BASINS (CRITICAL STAGE):
1. PROTECT INFILTRATION BASIN AREA FROM COMPACTION PRIOR TO INSTALLATION.
2. PREVENT SEDIMENTATION AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY.
3. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
4. EXCAVATE THE SEDIMENT BASIN TO THE PERMANENT INFILTRATION BASIN AFTER STABILIZATION OF THE TRIBUTARY DRAINAGE AREA HAS BEEN ACHIEVED.
4.1. FLUSH ACCUMULATED SEDIMENT FROM THE CONTRIBUTING STORM SEWER SYSTEM INTO THE SEDIMENT BASIN.
4.2. DEWATER THE SEDIMENT BASIN IN ACCORDANCE WITH STANDARD CONSTRUCTION DETAIL #7-18 AS SHOWN ON THIS PLAN.
4.3. REMOVE ACCUMULATED SEDIMENT FROM THE BASIN AND RETURN IT TO UPLAND AREAS TO BE INCORPORATED INTO THE GRADING.
4.4. REMOVE BATTERIES, CLEANOUT STAKES, AND WAREHOUSING FACILITIES.
4.5. REMOVE THE SKIMMER AND CONVERT THE TEMPORARY OUTLET STRUCTURE TO THE PERMANENT OUTLET STRUCTURE CONFIGURATION.
4.6. PROTECT PERMANENT ORIFICE FROM SEDIMENT UNTIL THE INTERIOR OF THE PERMANENT FACILITY IS STABILIZED.
4.7. EXCAVATE THE INFILTRATION BASIN TO THE BASIN BOTTOM OR TO THE DEPTH OF THE INFILTRATION MEDIA, AS REQUIRED, TO AN UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS.
4.8. PERFORM BMP PERFORMANCE TESTING.
4.9. STABILIZE THE INTERIOR OF THE BASIN.
5. AFTER INSTALLATION, PREVENT SEDIMENT-LADEN WATER FROM ENTERING INLETS AND PIPES.
UNDERDRAINS:
1. PROTECT UNDERDRAIN AREA FROM COMPACTION PRIOR TO INSTALLATION.
2. INSTALL UNDERDRAIN DURING LATER PHASES OF SITE CONSTRUCTION.
3. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
4. EXCAVATE UNDERDRAIN TRENCH BOTTOM TO A UNIFORM, LEVEL UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS.
5. PLACE NON-WOVEN GEOTEXTILE ALONG AROUND PIPE AND CLEAN STONE.
6. INSTALL PERFORATED PIPE WITH UNIFORM GRADING.
7. PLACE UNIFORMLY GRADE, CLEAN-WASHED AGGREGATE IN 8-INCH LIFTS, LIGHTLY COMPACTING BETWEEN LIFTS.
8. FOLD AND SECURE NON-WOVEN GEOTEXTILE OVER UNDERDRAIN, WITH MINIMUM OVERLAP OF 16-INCHES.
9. FOLD AND SECURE NON-WOVEN GEOTEXTILE OVER UNDERDRAIN, WITH UNIFORM OVERLAP OF 16-INCHES.
10. PLACE 6-INCH WICK MIX OVER UNDERDRAIN, AS INDICATED ON THE PLANS.
11. SEED AND STABILIZE TOPSOIL.
12. DO NOT REMOVE INFILTRATION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.
13. ANY SEDIMENT THAT ENTERS INLETS DURING CONSTRUCTION IS TO BE REMOVED WITHIN 24 HOURS.

- SOIL RESTORATION (CRITICAL STAGE):
TREATING COMPACTION BY RIPPING / SUBSOILING / TILLING / SCARIFICATION
1. SUBSOILING IS ONLY EFFECTIVE WHEN PERFORMED ON DRY SOILS.
2. RIPPING, SUBSOILING, OR SCARIFICATION OF THE SUBSOIL SHOULD BE PERFORMED WHERE SUBSOIL HAS BECOME COMPACTED BY EQUIPMENT OPERATION, DRIED OUT AND CRUSTED, OR WHERE NECESSARY TO OBLITERATE EROSION RILLS.
3. RIPPING (SUBSOILING) SHOULD BE PERFORMED USING A SOLID-SHANK RIPPER AND TO A DEPTH OF 20 INCHES (8 INCHES FOR MINOR COMPACTION).
4. SHOULD BE PERFORMED BEFORE COMPOST IS PLACED AND AFTER EACH RIPPER AND IS COMPLETED.
5. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
6. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
7. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
8. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
9. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
10. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
11. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
12. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
13. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.

- BE-VEGETATE DISTURBED AREAS USING NATIVE SPECIES MEADOWS:
1. IF THE PLANTING AREA WAS PREVIOUSLY A LAWN OR CROP FIELD TO WHICH HERBICIDES WERE APPLIED, IT IS IMPORTANT THAT YOU ALLOW THE APPROPRIATE INTERVAL FOR THE RESIDUES OF THOSE HERBICIDES TO BREAK DOWN PRIOR TO PLANTING YOUR MEADOW.
2. PRIOR TO PLANTING, INVASIVE OR UNDESIRABLE VEGETATION MUST BE FULLY CONTROLLED.
3. WHEN USING THE TILLAGE STRATEGY, A SITE IS DISC HARBORED EVERY 2-4 WEEKS FOR ONE TO TWO MONTH PERIOD.
4. PREPARATION OF THE TILLAGE STRATEGY MUST BE COMPLETED PRIOR TO PLANTING.
5. USE OF AN APPROVED HERBICIDE, SUCH AS GLYPHOSATE (ROUNDUP® OR ROODEO®), IS THE MOST COMMON AND LEAST TIME-INTENSIVE PROTOCOL.
6. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
7. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
8. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
9. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
10. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
11. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
12. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.
13. SUBSOILING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES.

- VEGETATED CHANNELS:
1. VEGETATED CHANNELS SHALL BE CONSTRUCTED FREE OF ROCKS, TREE ROOTS, STUMPS, OR OTHER PROJECTIONS THAT WILL IMPED NORMAL CHANNEL FLOW.
2. PREVENT GOOD LINING TO SOIL CONTACT.
3. ALL CHANNELS MUST BE IMMEDIATELY STABILIZED WITH TEMPORARY OR PERMANENT EROSION MATTING, ROCK LINING, OR OTHER SUITABLE STABILIZATION AS SHOWN ON PLANS.
4. RUGH GRADE THE CHANNEL.
5. EXCAVATE RAIN GARDEN TO PROPOSED DEPTH AND SCARIFY EXISTING SOIL SURFACES.
6. ONCE ALL TRIBUTARY AREAS ARE SUFFICIENTLY STABILIZED, REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS.
7. REGRADE AND RESEED IMMEDIATELY AFTER CONSTRUCTION AND STABILIZATION HAS OCCURRED.
RAIN GARDEN (CRITICAL STAGE):
1. PROTECT RAIN GARDEN AREA FROM COMPACTION PRIOR TO INSTALLATION.
2. PREVENT SEDIMENTATION AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY.
3. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
4. EXCAVATE RAIN GARDEN TO PROPOSED DEPTH AND SCARIFY EXISTING SOIL SURFACES.
5. INSTALL UNDERDRAIN (WHERE PROPOSED) (SEE UNDERDRAIN INSTALLATION SEQUENCE ABOVE).
6. PRESOAK SOIL PRIOR TO PLANTING AND OR SEEDING OF THE VEGETATION IN RAIN GARDEN.
7. COMPLETE THE FINAL GRADING TO ACHIEVE PROPOSED DESIGN ELEVATIONS.
RETENTIVE GRADING AREA (CRITICAL STAGE):
1. EXISTING BYPASS CHANNEL TO BE PROTECTED TO MAXIMUM EXTENT POSSIBLE.
2. EXCAVATE RETENTIVE GRADING AREA TO PROPOSED DEPTH.
3. INSTALL UNDERDRAIN AND VALVE BOX (WHERE PROPOSED) (SEE UNDERDRAIN INSTALLATION SEQUENCE ABOVE).
4. COMPLETE THE FINAL GRADING TO ACHIEVE PROPOSED DESIGN ELEVATIONS.
5. SEED, VEGETATE, AND INSTALL PROTECTIVE LINING AS PER APPROVED PLANS AND ACCORDING TO THE SEEDING SCHEDULE.

- HANDLING OF MATERIALS WITH POTENTIAL TO CAUSE POLLUTION:
1. ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED AND DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL OR MANMADE SOLS DETERMINED TO BE UNSUITABLE FOR USE ON THE SITE.
3. IMMEDIATELY UPON DISCOVERING ANY UNFORESEEN CIRCUMSTANCES INCREASING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND CONTACT THE LOCAL COUNTY CONSERVATION DISTRICT TO ENSURE THAT THE BMP'S INSTALLED IS SUFFICIENT FOR THE SITUATION.
4. IF THE TEST RESULTS DO NOT MEET THE MINIMUM REQUIRED INFILTRATION RATE, THE CONTRACTOR SHALL BE REQUIRED TO MAKE FURTHER IMPROVEMENTS AS DIRECTED BY THE ENGINEER.
BMP PERFORMANCE TESTING:
1. BMP PERFORMANCE TESTING IS A CRITICAL STAGE OF CONSTRUCTION.
2. TESTING SHOULD OCCUR AS INDICATED IN THE SCHEDULE FOR INDIVIDUAL BMP CONSTRUCTION.
3. THE ENGINEER SHALL PERFORM THE REQUIRED NUMBER OF TESTS AT EACH BMP AS SHOWN BELOW AND ENSURE THE AVERAGE OF THE TEST RESULTS MEET THE REQUIRED INFILTRATION RATES WITH A SAFETY FACTOR OF TWO.
4. IF THE TEST RESULTS DO NOT MEET THE MINIMUM REQUIRED INFILTRATION RATE, THE CONTRACTOR SHALL BE REQUIRED TO MAKE FURTHER IMPROVEMENTS AS DIRECTED BY THE ENGINEER.

STORMWATER BMP OWNERSHIP, OPERATION AND MAINTENANCE PROCEDURES

- GENERAL MAINTENANCE PROCEDURES:
1. ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS, AND SPECIFICATIONS IDENTIFIED ON THE PLANS.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION.
3. MAINTENANCE SHALL INCLUDE PERIODIC INSPECTIONS TO VERIFY THE MAINTENANCE OF DAMAGED FACILITIES.
4. INSPECT STORMWATER CONVEYANCE FACILITIES (INLETS, STORM SEWERS, SWALES, ETC.) BI-ANNUALLY OR AFTER EACH STORM EVENT THAT PRODUCES GREATER THAN 0.25 INCHES OF RAINFALL.
5. INSPECT STORMWATER CONVEYANCE FACILITIES (INLETS, STORM SEWERS, SWALES, ETC.) BI-ANNUALLY OR AFTER EACH STORM EVENT THAT PRODUCES GREATER THAN 0.25 INCHES OF RAINFALL.
6. CRASS SHALL BE MOVED AT LEAST ONCE A MONTH TO A HEIGHT OF 4-6 INCHES DURING GROWING SEASON.
7. REPLACE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED.
8. RESTORATION WITHIN THE INFILTRATION BASINS.
9. BMP FAILURE: IF A SINKHOLE OPENS UP IN THE BOTTOM OF THE BASIN, CONTACT THE GEOTECHNICAL ENGINEER IMMEDIATELY AND REPAIR PER THE SINKHOLE DETAIL ON THE PLANS AND THE GEOTECHNICAL ENGINEER RECOMMENDATION.
10. UNDERDRAINS:
a. ROTILL AND REPLANT SWALE IF DRAW DOWN TIME IS MORE THAN 48 HOURS.
b. INSPECT AND CORRECT CHECK DAMS WHEN SIGNS OF ALTERED WATER FLOW (CHANNELIZATION, OBSTRUCTIONS, EROSION, ETC.) ARE IDENTIFIED.
c. WATER DURING DRY PERIODS, FERTILIZE, AND APPLY PESTICIDE ONLY WHEN ABSOLUTELY NECESSARY.
d. MAINTENANCE ACTIVITIES DURING WINTER CONDITIONS.
e. INSPECT SWALE IMMEDIATELY AFTER THE SPRING MELT, REMOVE RESIDUALS (E.G. SAND) AND REPLACE DAMAGED VEGETATION WITHOUT DISTURBING REMAINING VEGETATION.
f. IF ROADSIDE OR PARKING LOT INFILTRATION IS DIRECTED TO THE SWALE, MULCHING AND/OR SOIL AERATION/MANIPULATION MAY BE REQUIRED IN THE SPRING TO RESTORE SOIL STRUCTURE AND MOISTURE CAPACITY AND TO REDUCE THE IMPACTS OF DEICING AGENTS.
g. USE NONTOXIC, ORGANIC DEICING AGENTS, APPLIED EITHER AS BLENDED, MAGNESIUM CHLORIDE-BASED LIQUID PRODUCTS OR AS PRETREATED SALT.
h. USE SALT-TOLERANT VEGETATION IN SWALES.
i. SOIL RESTORATION PROCESS MAY NEED TO BE REPEATED OVER TIME, DUE TO COMPACTION BY USE OR SETTLING.
j. MOW AND TRIM VEGETATION TO ENSURE SAFETY, AESTHETICS, PROPER RUNOFF, AND TO SUPPRESS WEEDS AND INVASIVE VEGETATION.
k. DISPOSE OF CUTTINGS AT A LOCAL COMPOST FACILITY.
l. BMP FAILURE: IF THE BMP FAILS TO DEWATER IN 72 HOURS FROM THE END OF A STORM, THE SYSTEM MUST BE REHABILITATED OR REPLACED, CONTACT THE ENGINEER / GEOTECHNICAL ENGINEER FOR DIRECTION.
11. RIPRAP APRON:
a. ALL APRONS SHALL BE INSPECTED TWICE PER YEAR AND AFTER EACH RUNOFF EVENT.
12. RAIN GARDEN:
a. WHILE VEGETATION IS BEING ESTABLISHED, PRUNING AND WEEDING MAY BE REQUIRED.
b. DEBRIS MAY ALSO NEED TO BE REMOVED EVERY YEAR.
c. MULCH SHOULD BE RE-SPREAD WHEN EROSION IS EVIDENT AND REPLENISHED AS NEEDED.
d. BIOTENTATION AREA SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR FOR SEDIMENT BUILDUP, EROSION, VEGETATIVE CONDITIONS, ETC.
e. DURING PERIODS OF DRAUGHT, BIOTENTATION AREAS MAY REQUIRE WATERING.
f. TREES AND SHRUBS SHOULD BE INSPECTED TWICE PER YEAR TO EVALUATE HEALTH.
g. BMP FAILURE: IF THE BMP FAILS TO DEWATER THE SYSTEM MUST BE REHABILITATED OR MANUALLY DEWATERED USING THE UNDERDRAINS.
h. BMP FAILURE: IF A SINKHOLE OPENS UP IN THE BOTTOM OF THE BMP, CONTACT THE GEOTECHNICAL ENGINEER IMMEDIATELY AND REPAIR PER THE SINKHOLE DETAIL ON THE PLANS AND PER GEOTECHNICAL ENGINEER RECOMMENDATIONS.
13. RETENTIVE GRADING AREA:
a. THE VEGETATION ALONG THE SURFACE OF THE GRADING AREA SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
b. UNDERDRAIN VALVE SHALL REMAIN OPEN UNDER NORMAL OPERATING CONDITIONS.
c. REMOVE ANY ACCUMULATED SEDIMENT FROM GRADING AREA AS REQUIRED.
d. BMP FAILURE: IF A SINKHOLE OPENS UP IN THE BOTTOM OF THE BASIN, CONTACT THE GEOTECHNICAL ENGINEER IMMEDIATELY AND REPAIR PER THE SINKHOLE DETAIL ON THE PLANS AND PER THE GEOTECHNICAL ENGINEER RECOMMENDATION.

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN GOALS

- IT SHALL BE INCIDENT UPON THE OWNER/OPERATOR OF THIS PROJECT TO IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) TO SATISFY THE FOLLOWING POST-CONSTRUCTION MANAGEMENT PLAN GOALS:
1. PRESERVE THE INTEGRITY OF STREAM CHANNELS.
2. MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE RECEIVING STREAM.
3. PREVENT AN INCREASE IN THE RATE OF STORMWATER RUN-OFF.
4. MINIMIZE ANY INCREASE IN STORMWATER RUN-OFF VOLUME.
5. MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION.
6. MINIMIZE LAND CLEARANCE AND GRADING.
7. CONSTRUCTION.
8. UTILIZE STRUCTURAL OR NON-STRUCTURAL BMPs THAT PREVENT OR MINIMIZE CHANGES IN STORMWATER RUN-OFF.

SEEDING SCHEDULE

Table with columns: APPLICATION, TOPSOIL PLACEMENT DEPTH, SPECIES - % - (% GERM.), SEEDING APPLICATION RATE (LBS./AC.), FERTILIZER TYPE, FERTILIZER APPLICATION RATE (LBS./AC.), LIMING RATE (TONS./AC.), MULCH TYPE, MULCHING RATE (TONS./AC.), SEEDING DATES

NOTE: CONTRACTOR SHALL ADJUST SEED APPLICATION RATES TO GUARANTEE P.L.S./ACRE WHEN GERMINATION RATES FAIL TO MEET THE SEEDING SCHEDULE.

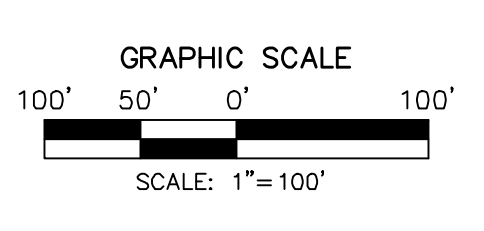
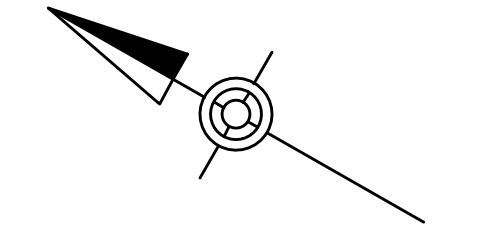
Table with columns: NO., REVISION, DATE, BY

Logo for Hrg Inc. (Herbert, Rowland & Grubic, Inc. Engineering & Related Services) with address 207 Grant Street Chambersburg, PA 17201 and website www.hrg-inc.com

ALLEMAN ROAD PROPERTY, LLC 4 RADNOR CORPORATE CENTER SUITE 105 RADNOR, PA 19807 484-320-7808 OFFICE

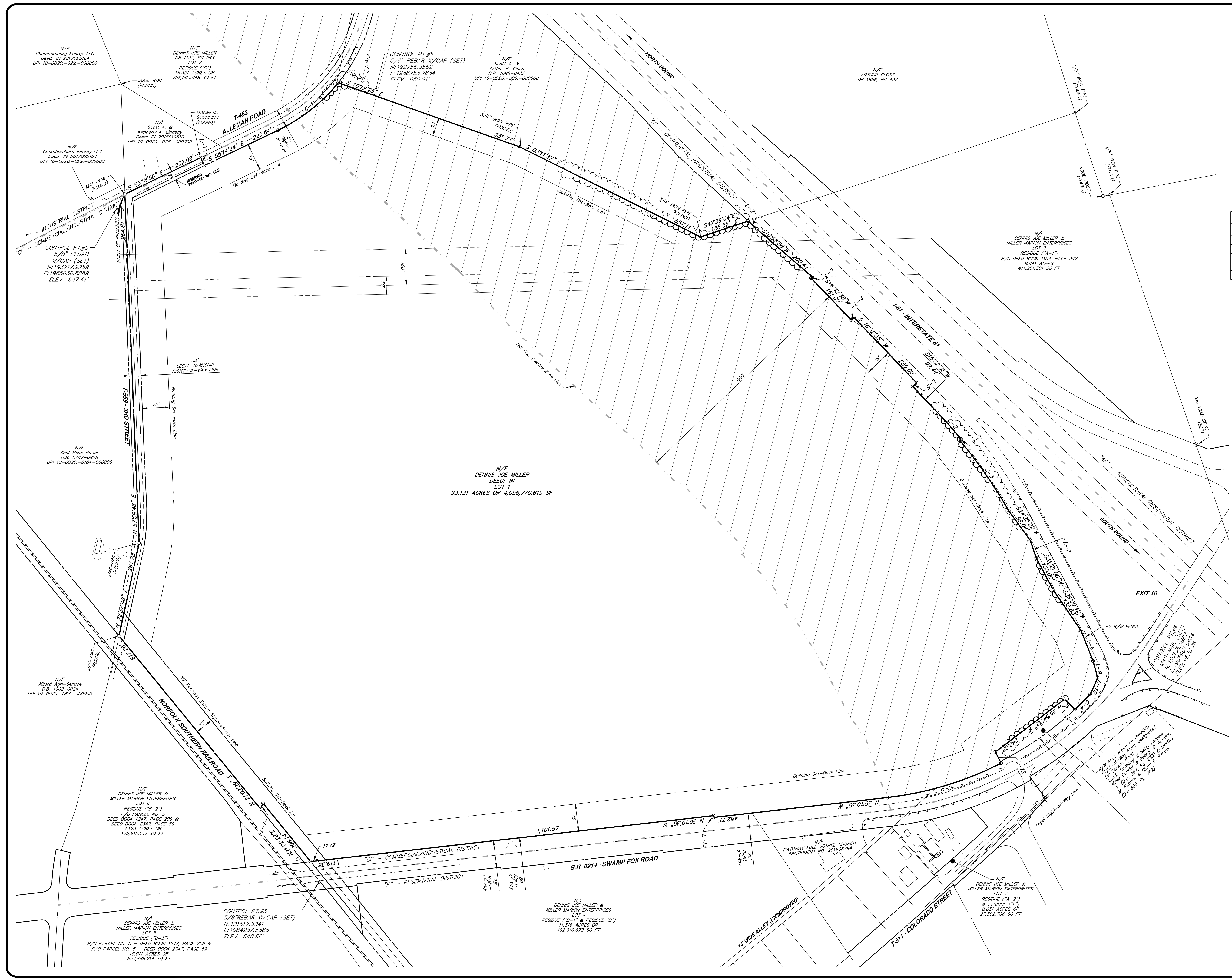
PLAN NOTES FOR ALLEMAN ROAD PROPERTY, LLC FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB DESIGN- HED/CAC CADD- TLB CHECKED-SBB SCALE- AS SHOWN DATE- 2021.08.24 DRAWING NO. NT-2 SHEET NO. 3 OF 51 PROJECT R008499.0425

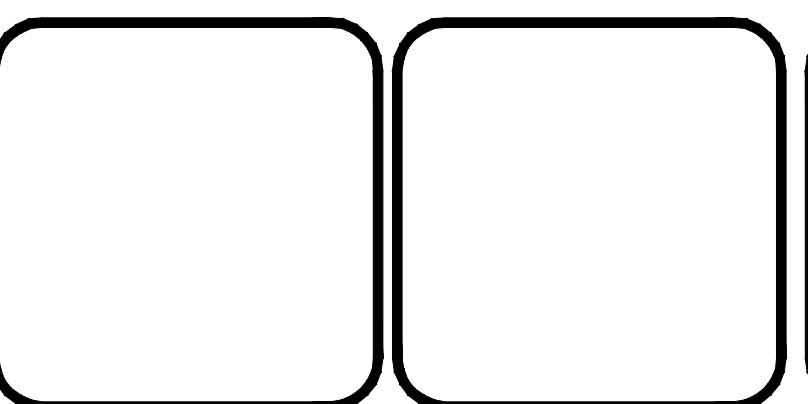


CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C-1	484.28'	213.37'	25°14'38"	211.65'	S 67°51'43" E
C-2	1,382.69'	97.27'	4°01'50"	97.25'	S 18°33'33" W
C-3	1,377.69'	240.45'	10°00'00"	240.15'	S 25°34'28" W
C-4	915.37'	59.64'	3°43'58"	59.63'	N 74°21'37" W
C-5	920.37'	329.90'	20°32'14"	328.14'	N 46°26'43" W

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	S 34°45'36" W	24.05'
L-2	S 13°16'24" W	34.25'
L-3	N 73°27'22" W	4.75'
L-4	S 73°27'22" E	10.00'
L-5	N 73°27'22" W	15.00'
L-6	N 69°25'32" W	5.00'
L-7	S 41°26'31" W	50.64'
L-8	S 38°41'31" W	90.55'
L-9	S 45°13'23" W	47.98'
L-10	S 84°42'00" W	49.65'
L-11	N 14°52'55" E	40.04'
L-12	S 33°17'10" W	35.00'
L-13	N 53°49'24" E	5.00'
L-14	S 83°44'19" W	16.88'



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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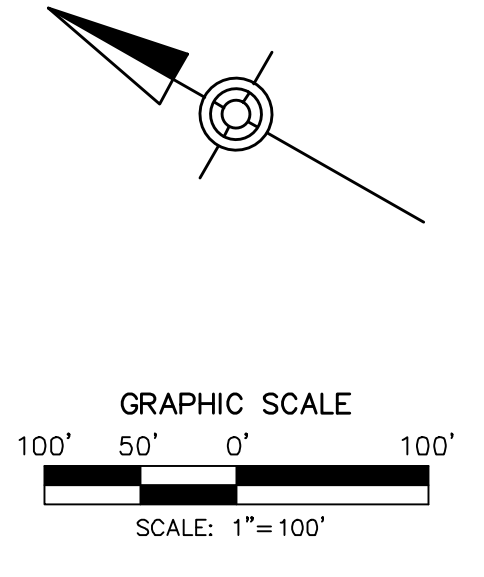
ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

EXISTING PROPERTY PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
EPP
SHEET NO.
5 OF 51
PROJECT R008499.0425

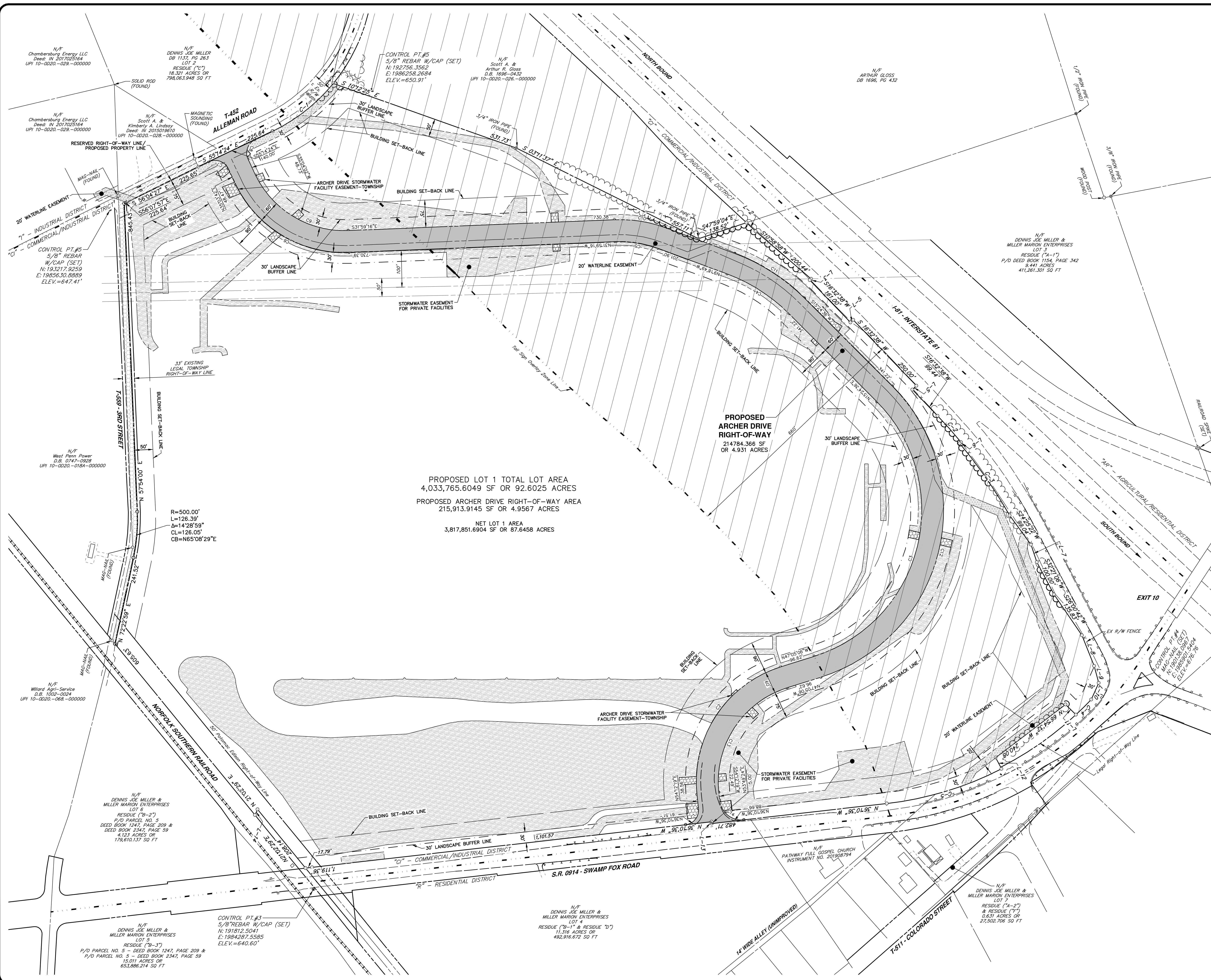


CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	DISTANCE
C1	40.00'	62.57'	39.73'	89°37'05"	S80°59'08"E	56.38'
C2	330.00'	453.34'	270.63'	78°42'35"	S86°26'23"E	418.52'
C3	420.00'	861.36'	692.21'	117°30'18"	N74°09'45"E	718.14'
C4	470.00'	202.81'	103.01'	24°43'26"	N3°02'53"E	201.24'
C5	300.00'	118.78'	60.18'	22°41'07"	N20°39'23"W	118.01'
C6	330.00'	382.68'	216.12'	66°26'35"	N11°4'02"E	361.60'
C7	40.00'	63.04'	40.21'	90°18'06"	N10°05'21"W	56.72'
C8	40.00'	62.62'	39.79'	89°41'35"	S79°54'49"W	56.42'
C9	270.00'	312.95'	176.72'	66°24'39"	S11°3'04"W	295.73'
C10	360.00'	142.54'	72.21'	21°41'07"	S20°39'23"E	141.61'
C11	530.00'	228.70'	116.16'	24°43'26"	S3°02'53"W	226.93'
C12	480.00'	984.41'	791.09'	117°30'18"	S74°09'45"W	820.74'
C13	270.00'	370.91'	221.42'	78°42'35"	N86°26'23"W	342.43'
C14	60.00'	94.65'	60.40'	90°22'55"	S9°00'52"W	85.14'

LEGEND

- PROPOSED PROPERTY LINE
- - - PROPOSED EASEMENT
- - - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- ZONING LINE
- 20' WATERLINE EASEMENT TO BE DEDICATED TO GUILFORD WATER AUTHORITY
- ARCHER DRIVE RIGHT-OF-WAY
- STORMWATER EASEMENT FOR PRIVATE FACILITIES
- STORMWATER EASEMENT FOR ARCHER DRIVE-GUILFORD TOWNSHIP
- RESERVED ALLEMAN ROAD RIGHT-OF-WAY TO BE DEDICATED TO GUILFORD TWP.
- EXISTING THIRD STREET RIGHT-OF-WAY TO BE DEDICATED TO GUILFORD TWP.
- 8' PERMANENT GRADING EASEMENT

- NOTES**
- SEE EXISTING PROPERTY PLAN (EPP) FOR EXISTING PROPERTY BOUNDARY CURVE, BEARING AND DISTANCE TAG DATA.
 - A "SURVEY FOR ABANDONMENT OF PORTION OF THIRD STREET" HAS BEEN PREPARED BY SIELLY WITTE & FOX. THE PROPOSED PROPERTY IS BASED ON THIS ABANDONMENT PLAN. THE TIMING OF THE ABANDONMENT OF THIRD WILL HAPPEN AT THE TOWNSHIP'S DISCRETION.
 - THE BEARINGS AND DISTANCES SHOWN ON THIS PLAN ARE TO DEPICT THE RESULTING LOT AFTER GUILFORD TOWNSHIP ACTS ON THE ABANDONMENT OF THIRD STREET. THESE BEARINGS AND DISTANCES ARE NOT INTENDED TO BE A SUBDIVISION PLAN. A CONSOLIDATION PLAN WILL BE PREPARED BY OTHERS AT A LATER DATE AND WILL BE THE PLAN OF RECORD FOR THIS LOT.

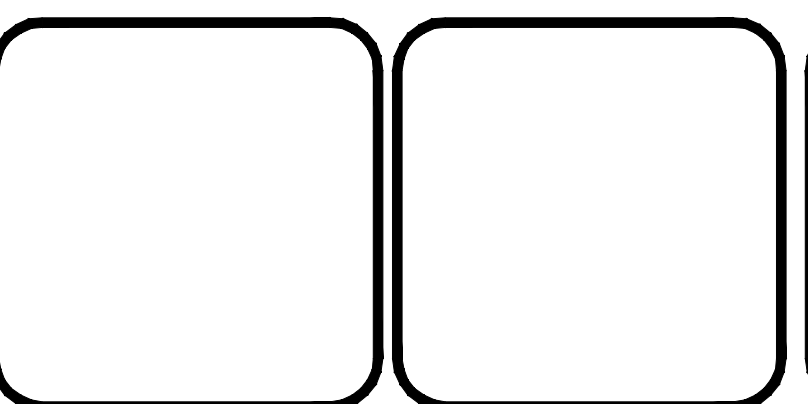


PROPOSED LOT 1 TOTAL LOT AREA
4,033,765.6049 SF OR 92.6025 ACRES

PROPOSED ARCHER DRIVE RIGHT-OF-WAY AREA
215,913.9145 SF OR 4.9567 ACRES

NET LOT 1 AREA
3,817,851.6904 SF OR 87.6458 ACRES

NO.	REVISION	DATE	BY
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PROPOSED PROPERTY PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

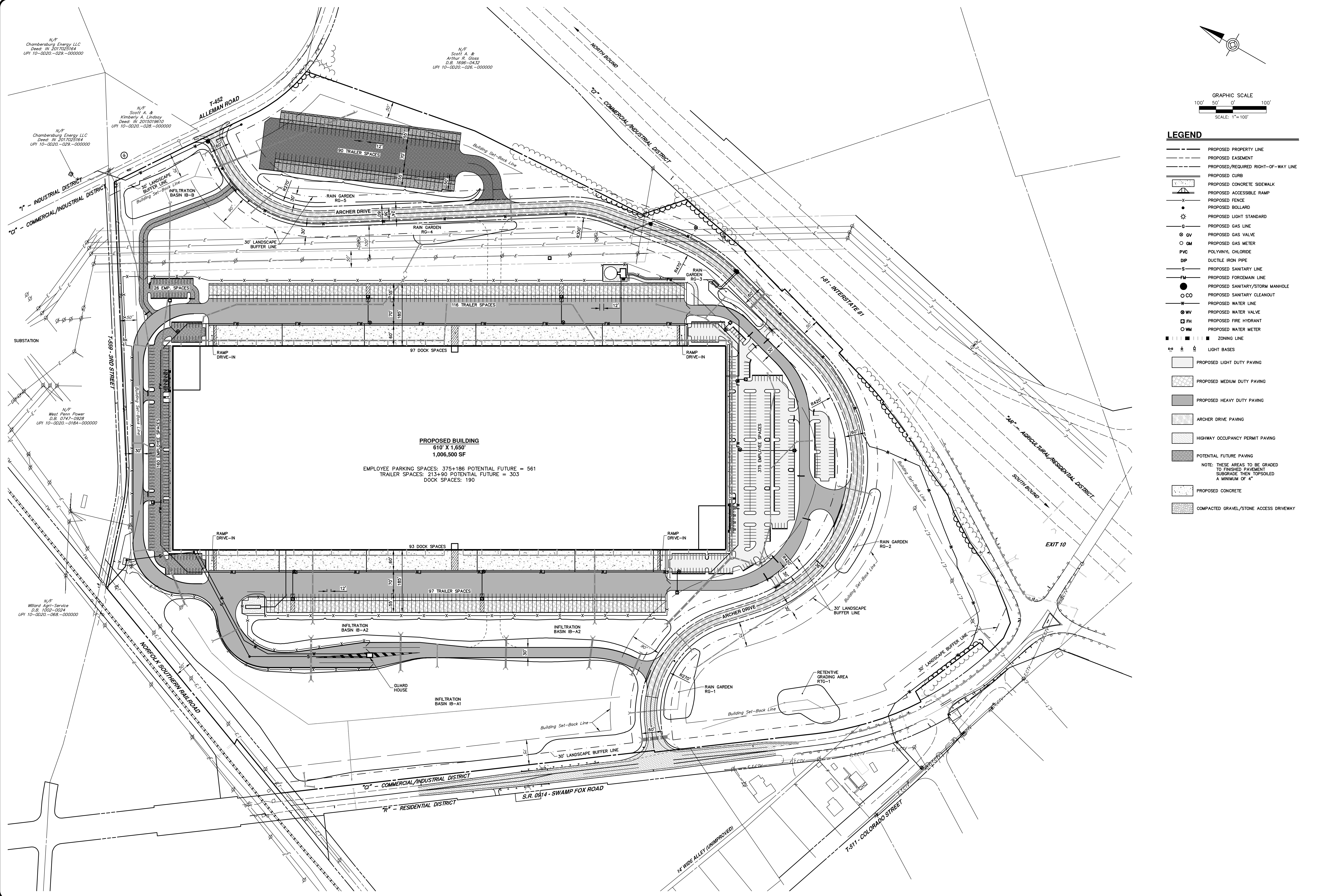
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
PPP

SHEET NO.
6 OF 51

PROJECT R008499.0425



N/F
Chambersburg Energy LLC
Deed: IN 2017021564
UPI 10-0020-028-000000

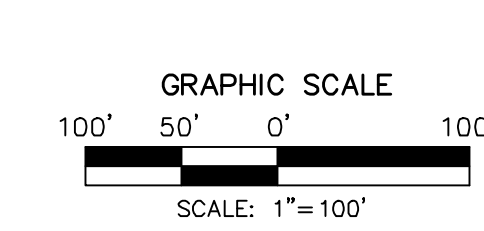
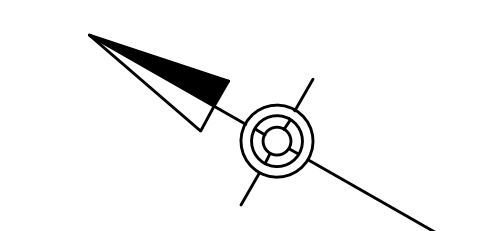
N/F
Scott A. &
Arthur R. Glass
D.B. 1096-2432
UPI 10-0020-026-000000

N/F
Scott A. &
Kimberly A. Lindsay
Deed: IN 2019019610
UPI 10-0020-028-000000

N/F
Chambersburg Energy LLC
Deed: IN 2017021564
UPI 10-0020-028-000000

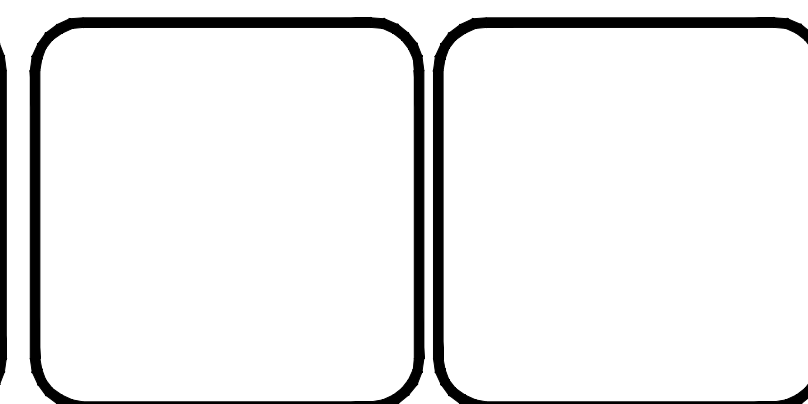
N/F
West Penn Power
D.B. 0747-0928
UPI 10-0020-018A-000000

N/F
Willard Agri-Service
D.B. 1002-0024
UPI 10-0020-068-000000



- LEGEND**
- PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT
 - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
 - PROPOSED CURB
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED ACCESSIBLE RAMP
 - PROPOSED FENCE
 - PROPOSED BOLLARD
 - ☼ PROPOSED LIGHT STANDARD
 - PROPOSED GAS LINE
 - GV PROPOSED GAS VALVE
 - GM PROPOSED GAS METER
 - PVC POLYVINYL CHLORIDE
 - DIP DUCTILE IRON PIPE
 - PROPOSED SANITARY LINE
 - PROPOSED FORCEMAIN LINE
 - PROPOSED SANITARY/STORM MANHOLE
 - CO PROPOSED SANITARY CLEANOUT
 - PROPOSED WATER LINE
 - WV PROPOSED WATER VALVE
 - FH PROPOSED FIRE HYDRANT
 - WM PROPOSED WATER METER
 - ZONING LINE
 - ☼ LIGHT BASES
 - PROPOSED LIGHT DUTY PAVING
 - PROPOSED MEDIUM DUTY PAVING
 - PROPOSED HEAVY DUTY PAVING
 - ARCHER DRIVE PAVING
 - HIGHWAY OCCUPANCY PERMIT PAVING
 - POTENTIAL FUTURE PAVING
 - NOTE: THESE AREAS TO BE GRADED TO FINISHED PAVEMENT SUBGRADE THEN TOPSOILED A MINIMUM OF 4"
 - PROPOSED CONCRETE
 - COMPACTED GRAVEL/STONE ACCESS DRIVEWAY

NO.	REVISION	DATE	BY
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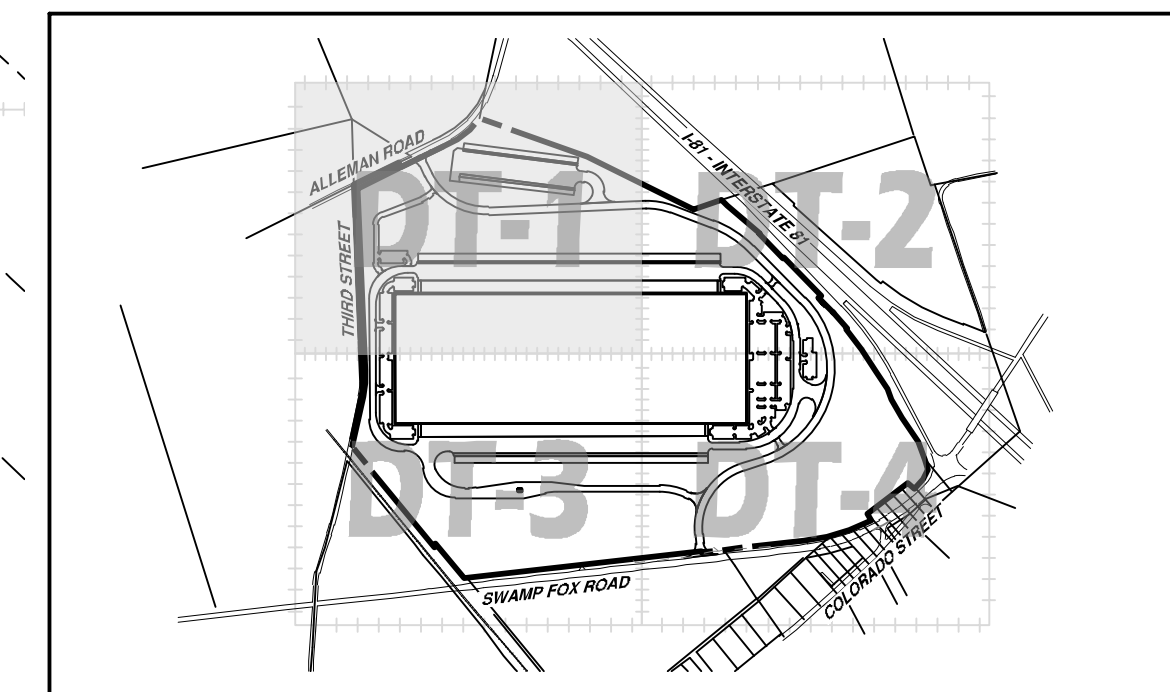
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SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

OVERALL SITE AND UTILITY PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

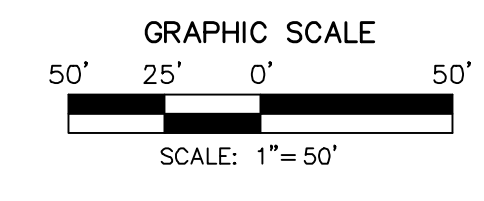
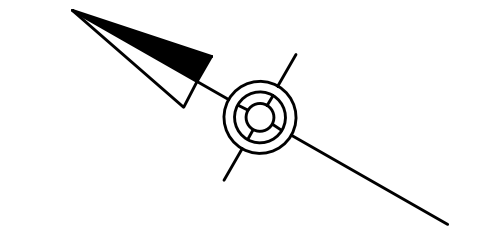
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. -- SBB
DESIGN-- HED/CAC
CADD-- TLB
CHECKED-- SBB
SCALE-- AS SHOWN
DATE-- 2021.08.24

DRAWING NO.
SU-OA
SHEET NO.
7 OF 51
PROJECT R008499.0425

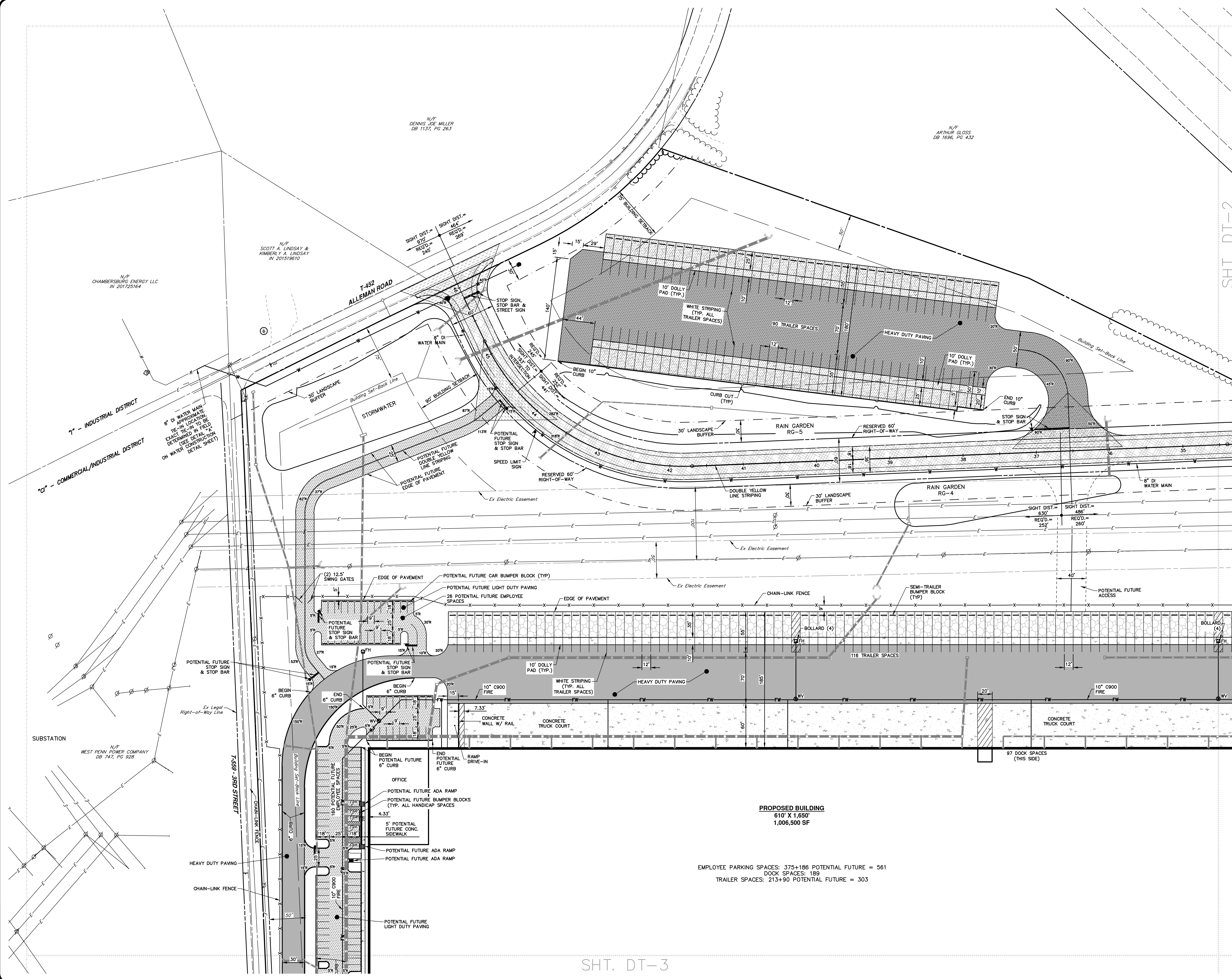


DETAIL SHEET KEY
SCALE: 1" = 90'



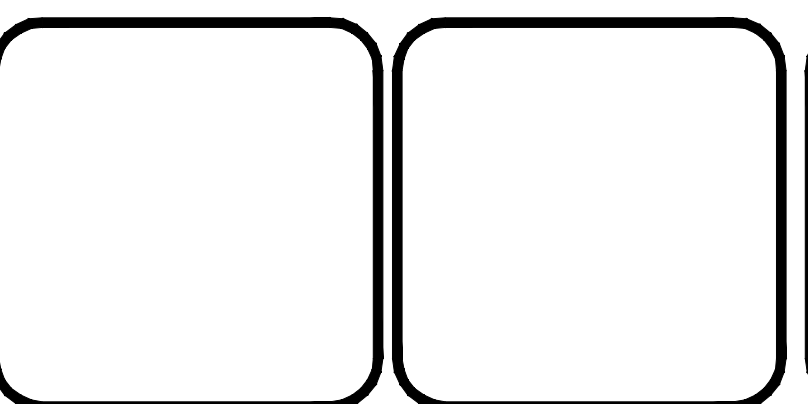
LEGEND

- PROPOSED PROPERTY LINE
- - - PROPOSED EASEMENT
- - - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- ▬ PROPOSED CURB
- ▬ PROPOSED CONCRETE SIDEWALK
- ▬ PROPOSED ACCESSIBLE RAMP
- ▬ PROPOSED FENCE
- PROPOSED BOLLARD
- ⊙ PROPOSED LIGHT STANDARD
- ⊙ PROPOSED GAS LINE
- ⊙ GV PROPOSED GAS VALVE
- ⊙ GM PROPOSED GAS METER
- PVC POLYVINYL CHLORIDE
- DIP DUCTILE IRON PIPE
- S PROPOSED SANITARY LINE
- FM PROPOSED FORCEMAIN LINE
- PROPOSED SANITARY/STORM MANHOLE
- ⊙ CO PROPOSED SANITARY CLEANOUT
- W PROPOSED WATER LINE
- ⊙ WV PROPOSED WATER VALVE
- ⊙ FH PROPOSED FIRE HYDRANT
- ⊙ WM PROPOSED WATER METER
- ▬ ZONING LINE
- ⊙ LIGHT BASES
- ▬ PROPOSED LIGHT DUTY PAVING
- ▬ PROPOSED MEDIUM DUTY PAVING
- ▬ PROPOSED HEAVY DUTY PAVING
- ▬ ARCHER DRIVE PAVING
- ▬ HIGHWAY OCCUPANCY PERMIT PAVING
- ▬ POTENTIAL FUTURE PAVING
- NOTE: THESE AREAS TO BE GRADED TO FINISHED PAVEMENT SUBGRADE THEN TOPSOILED A MINIMUM OF 4"
- ▬ PROPOSED CONCRETE
- ▬ COMPACTED GRAVEL/STONE ACCESS DRIVEWAY



SHT. DT-3

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB

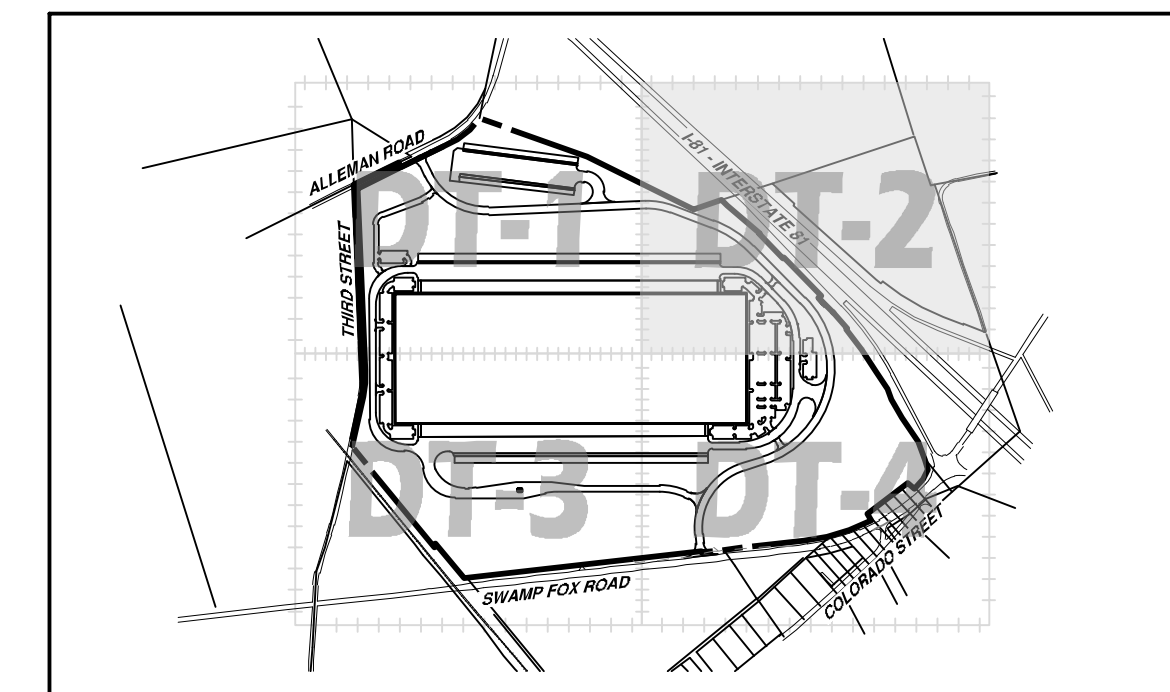


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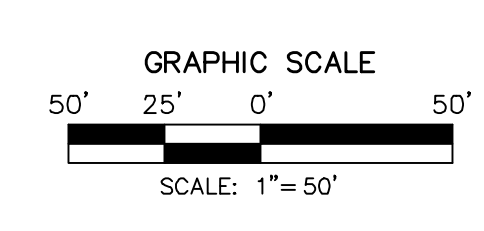
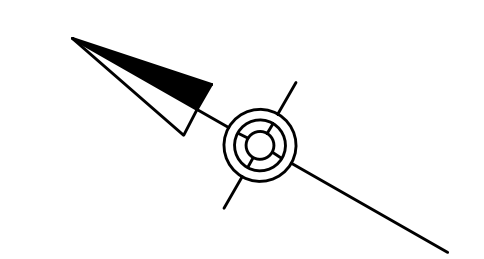
DETAIL SITE AND UTILITY PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
SU-DT-1
SHEET NO.
8 OF 51
PROJECT R008499.0425

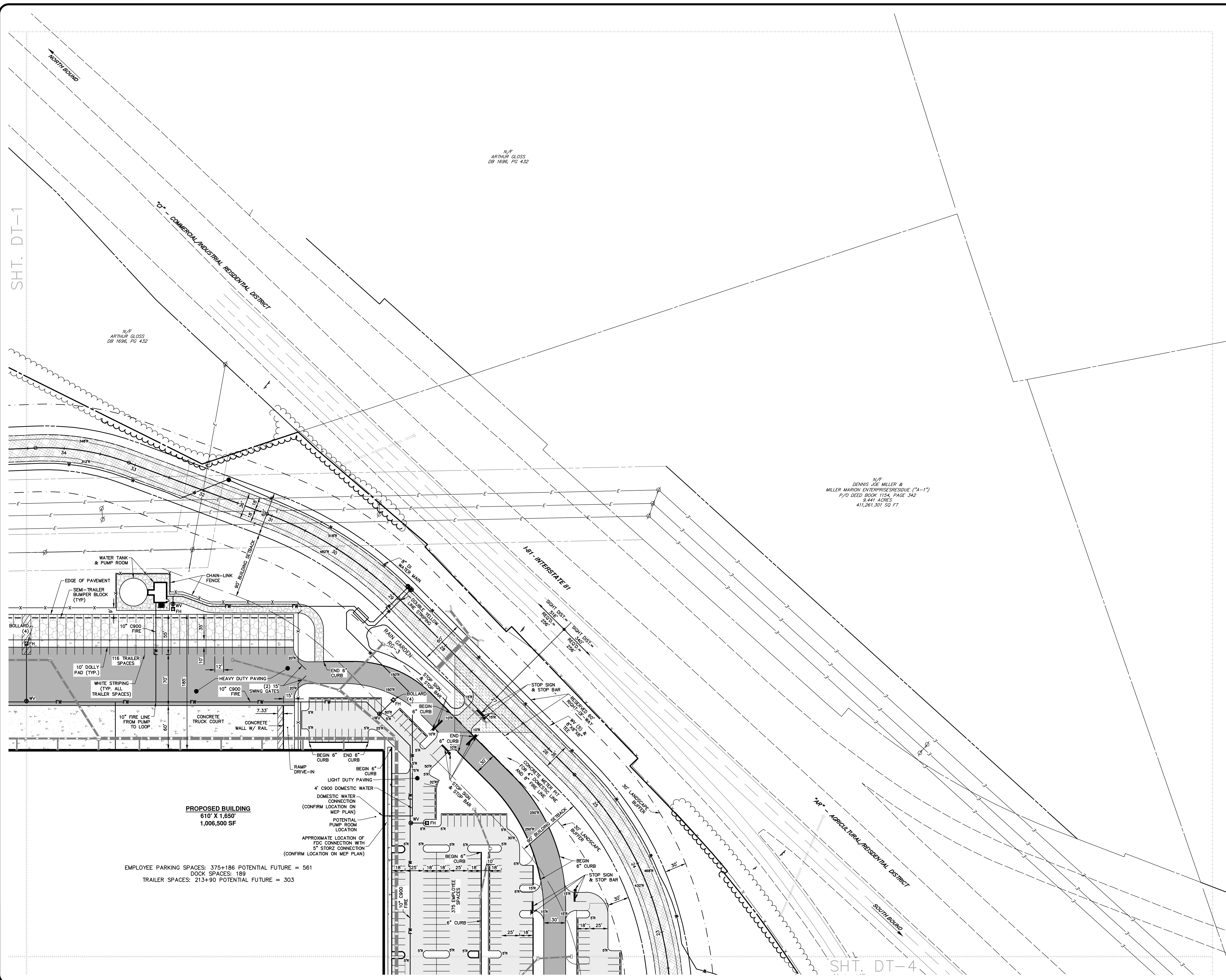


DETAIL SHEET KEY
SCALE: 1" = 900'



LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- PROPOSED CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ACCESSIBLE RAMP
- X PROPOSED FENCE
- PROPOSED BOLLARD
- PROPOSED LIGHT STANDARD
- G PROPOSED GAS LINE
- ⊙ QV PROPOSED GAS VALVE
- ⊙ GM PROPOSED GAS METER
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- PROPOSED LIGHT DUTY PAVING
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- POTENTIAL FUTURE PAVING
- NOTE: THESE AREAS TO BE GRADED TO FINISHED PAVEMENT SUBGRADE THEN TOPSOILED A MINIMUM OF 4"
- PROPOSED CONCRETE
- COMPACTED GRAVEL/STONE ACCESS DRIVEWAY



N/F ARTHUR GLOSS DB 1686, PG 432

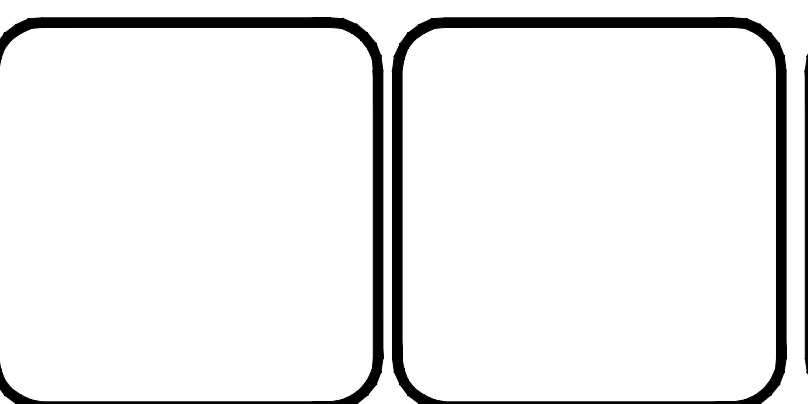
N/F ARTHUR GLOSS DB 1686, PG 432

N/F DENNIS JOE MILLER & MILLER MARION ENTERPRISES/RESIDUE ("A-1") P/O DEED BOOK 1154, PAGE 342 8.441 ACRES 411,261.301 SQ. FT.

PROPOSED BUILDING
610' X 1,650'
1,006,500 SF

EMPLOYEE PARKING SPACES: 375+186 POTENTIAL FUTURE = 561
DOCK SPACES: 189
TRAILER SPACES: 213+90 POTENTIAL FUTURE = 303

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



HRG
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hrg@hrg-inc.com
www.hrg-inc.com

ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807

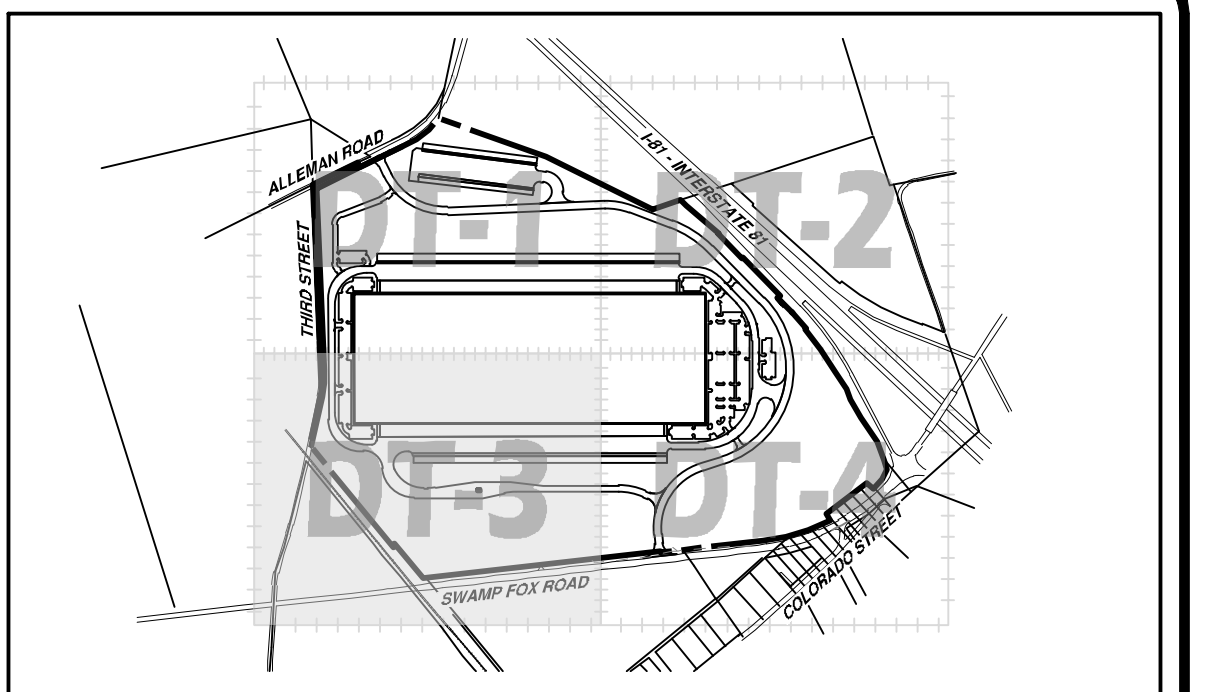
484-320-7808 OFFICE

DETAIL SITE AND UTILITY PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

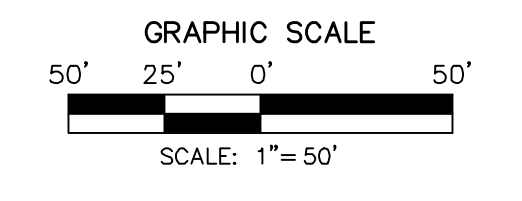
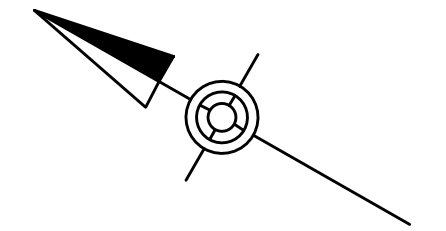
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
SU-DT-2
SHEET NO.
9 OF 51
PROJECT R008499.0425



DETAIL SHEET KEY
SCALE: 1" = 90'

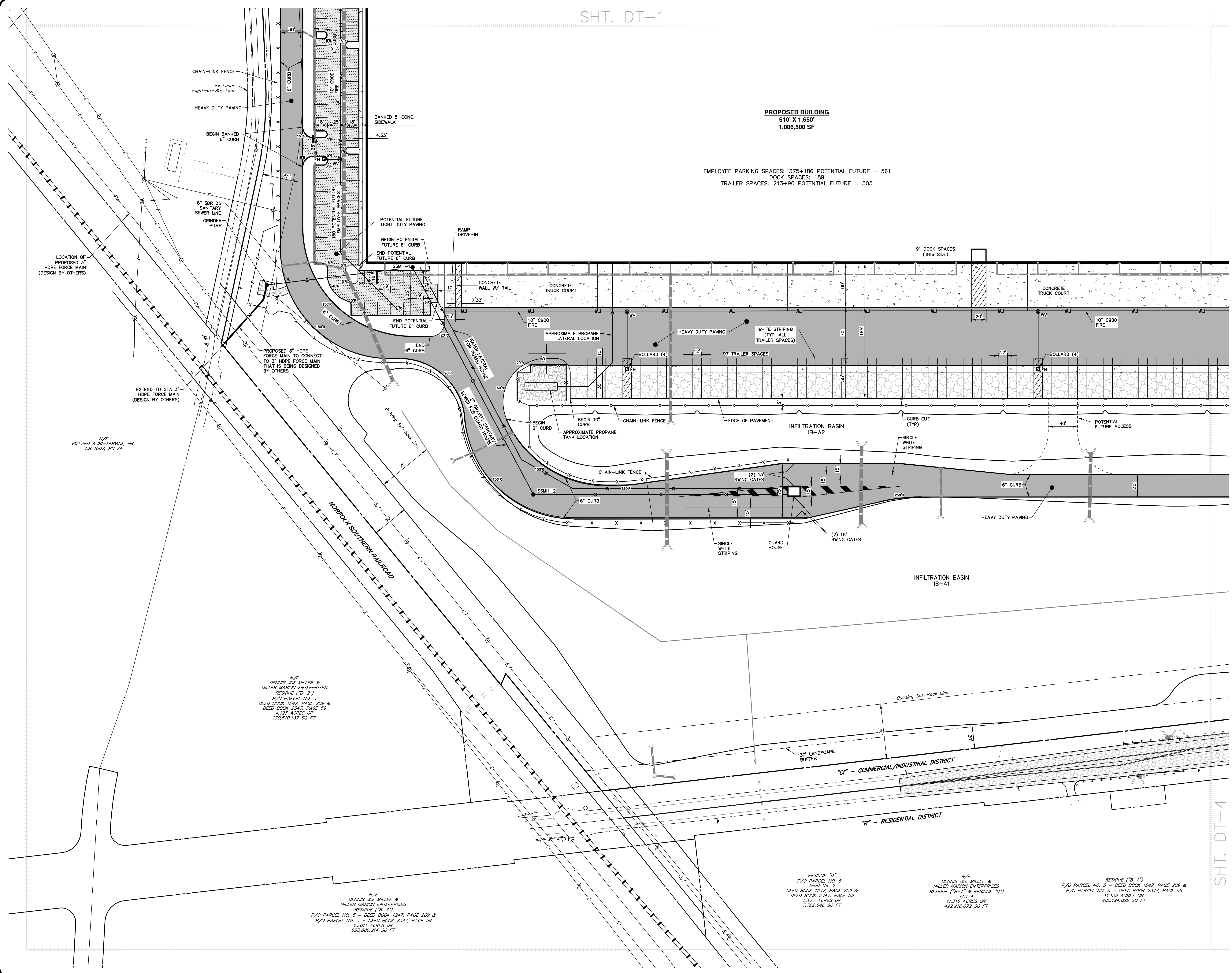


LEGEND

- PROPOSED PROPERTY LINE
- - - PROPOSED EASEMENT
- - - PROPOSED/CURBED RIGHT-OF-WAY LINE
- PROPOSED CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ACCESSIBLE RAMP
- PROPOSED FENCE
- PROPOSED BOLLARD
- PROPOSED LIGHT STANDARD
- PROPOSED GAS LINE
- QV PROPOSED GAS VALVE
- GM PROPOSED GAS METER
- PVC POLYVINYL CHLORIDE
- DIP DUCTILE IRON PIPE
- S PROPOSED SANITARY LINE
- FM PROPOSED FORCEMAIN LINE
- PROPOSED SANITARY/STORM MANHOLE
- CO PROPOSED SANITARY CLEANOUT
- W PROPOSED WATER LINE
- WV PROPOSED WATER VALVE
- FH PROPOSED FIRE HYDRANT
- WM PROPOSED WATER METER
- ZONING LINE
- LIGHT BASES
- PROPOSED LIGHT DUTY PAVING
- PROPOSED MEDIUM DUTY PAVING
- PROPOSED HEAVY DUTY PAVING
- ARCHER DRIVE PAVING
- HIGHWAY OCCUPANCY PERMIT PAVING
- POTENTIAL FUTURE PAVING
- NOTE: THESE AREAS TO BE GRADED TO FINISHED PAVEMENT SUBGRADE THEN TOPSOILED A MINIMUM OF 4"
- PROPOSED CONCRETE
- COMPACTED GRAVEL/STONE ACCESS DRIVEWAY

PROPOSED BUILDING
610' X 1,650'
1,006,500 SF

EMPLOYEE PARKING SPACES: 375+186 POTENTIAL FUTURE = 561
DOCK SPACES: 189
TRAILER SPACES: 213+90 POTENTIAL FUTURE = 303



CHAIN-LINK FENCE
Ex Legal Right-of-Way Line
HEAVY DUTY PAVING
BEGIN BANKED 6" CURB
BANKED 5' CONC. SIDEWALK
4.33'

POTENTIAL FUTURE LIGHT DUTY PAVING
BEGIN POTENTIAL FUTURE 6" CURB
END POTENTIAL FUTURE 6" CURB
RAMP DRIVE-IN
CONCRETE WALL W/ RAIL
CONCRETE TRUCK COURT
7.33'

PROPOSED 3" HDPE FORCE MAIN TO CONNECT TO 3" HDPE FORCE MAIN THAT IS BEING DESIGNED BY OTHERS
EXTEND TO GTA 3" HDPE FORCE MAIN (DESIGN BY OTHERS)
N/F MILLARD AGR-SERVICE, INC. DB 1000, PG 24

N/F DENNIS JOE MILLER & MILLER MARION ENTERPRISES RESIDUE ("B-2")
P/O PARCEL NO. 5
DEED BOOK 1247, PAGE 209 & DEED BOOK 2347, PAGE 59
4.123 ACRES OR 179,610.137 SQ FT

N/F DENNIS JOE MILLER & MILLER MARION ENTERPRISES RESIDUE ("B-3")
P/O PARCEL NO. 5 - DEED BOOK 1247, PAGE 209 & P/O PARCEL NO. 5 - DEED BOOK 2347, PAGE 59
15.011 ACRES OR 653,886.214 SQ FT

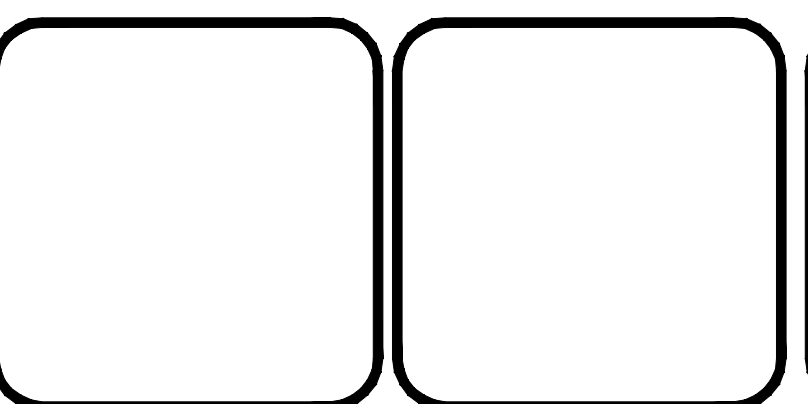
RESIDUE "D"
P/O PARCEL NO. 6 - Tract No. 2
DEED BOOK 1247, PAGE 209 & DEED BOOK 2347, PAGE 59
0.177 ACRES OR 7,722.646 SQ FT

N/F DENNIS JOE MILLER & MILLER MARION ENTERPRISES RESIDUE ("B-1" & RESIDUE "D")
LOT 4
11.316 ACRES OR 493,916.672 SQ FT

RESIDUE ("B-1")
P/O PARCEL NO. 5 - DEED BOOK 1247, PAGE 209 & P/O PARCEL NO. 5 - DEED BOOK 2347, PAGE 59
11.129 ACRES OR 485,194.026 SQ FT

SHT. DT-4

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB

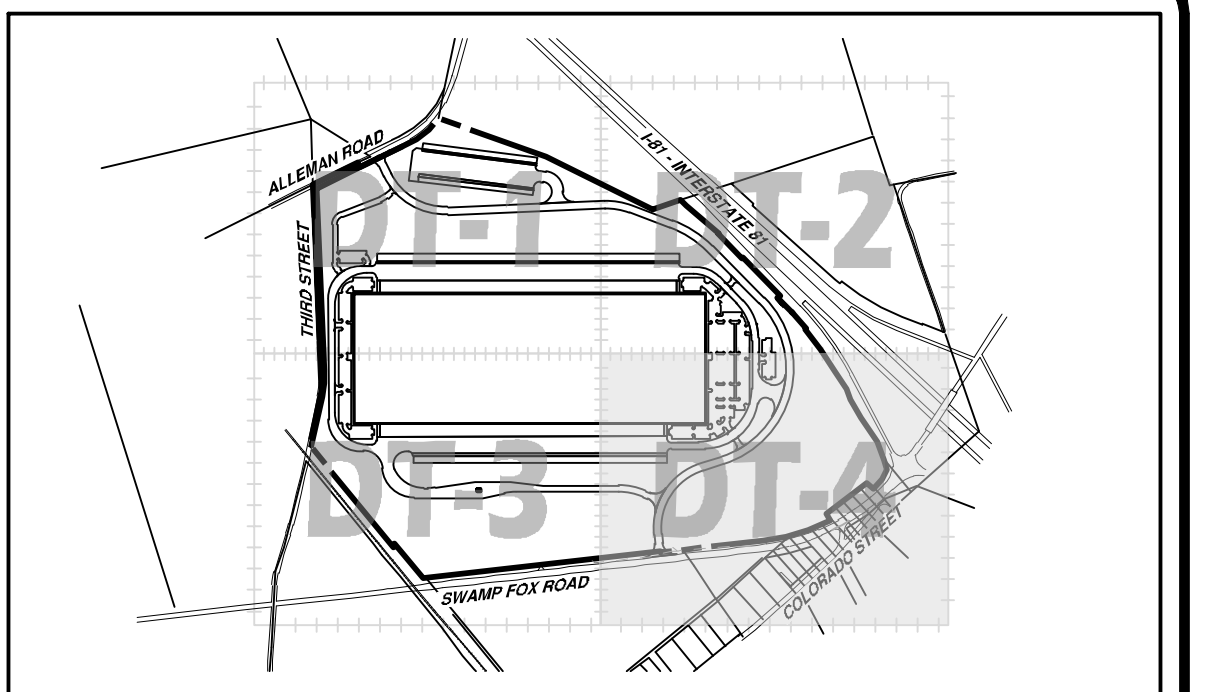


207 Grant Street
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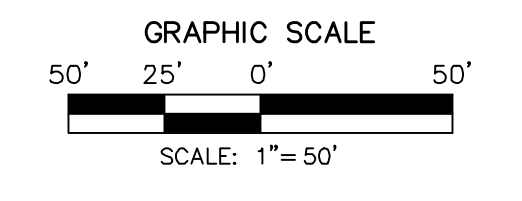
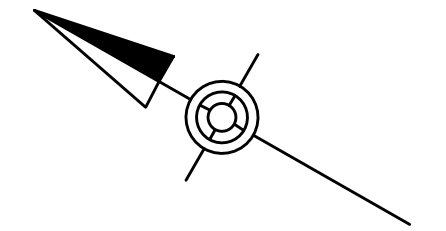
ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

DETAIL SITE AND UTILITY PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB	DRAWING NO.
DESIGN - HED/CAC	SU-DT-3
CADD - TLB	SHEET NO.
CHECKED - SBB	10 OF 51
SCALE - AS SHOWN	PROJECT R008499.0425
DATE - 2021.08.24	



DETAIL SHEET KEY
SCALE: 1" = 900'

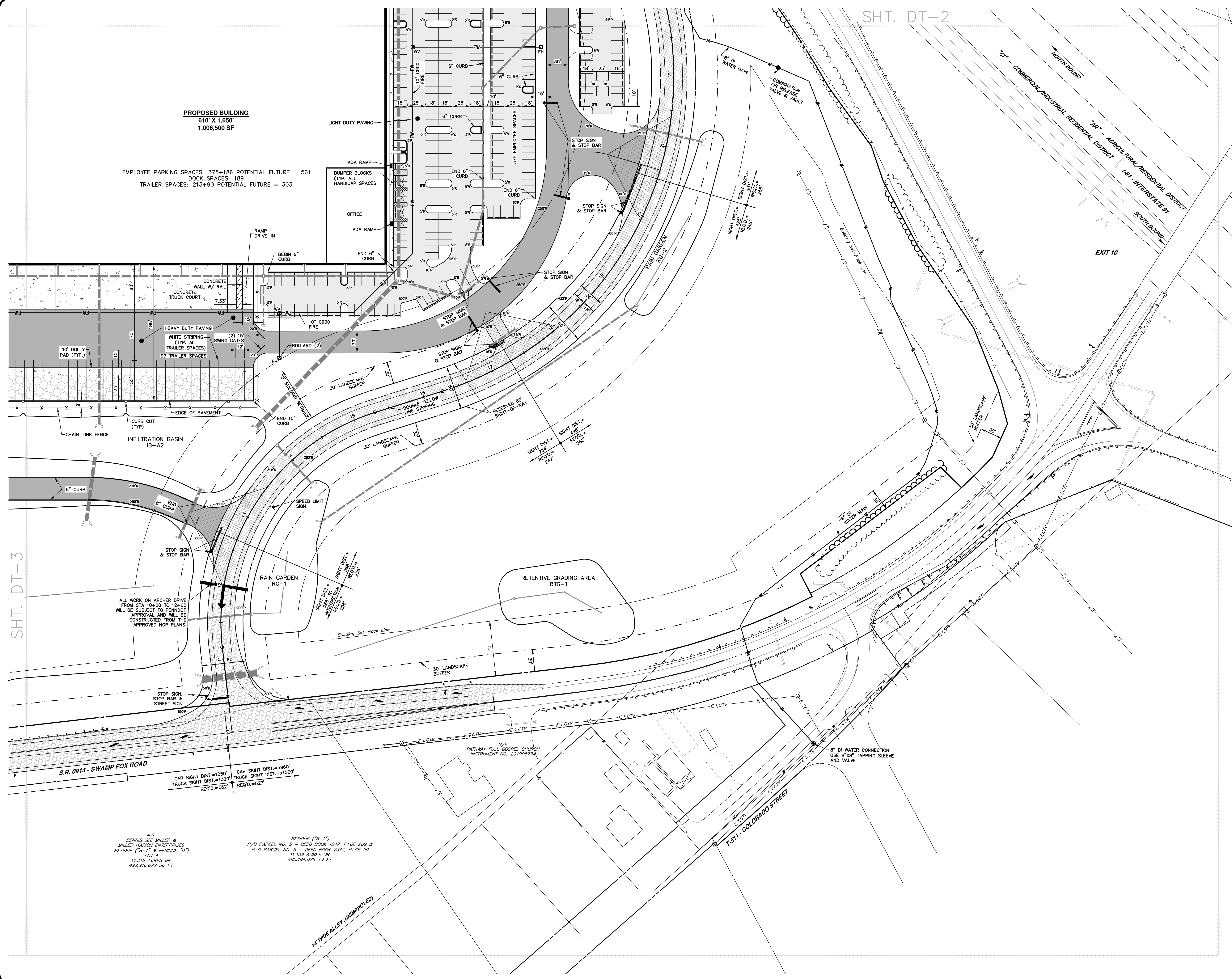


LEGEND

- PROPOSED PROPERTY LINE
- - - PROPOSED EASEMENT
- - - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- ▬ PROPOSED CURB
- ▬ PROPOSED CONCRETE SIDEWALK
- ▬ PROPOSED ACCESSIBLE RAMP
- ▬ PROPOSED FENCE
- PROPOSED BOLLARD
- ⊙ PROPOSED LIGHT STANDARD
- ⊙ PROPOSED GAS LINE
- ⊙ QV PROPOSED GAS VALVE
- ⊙ GM PROPOSED GAS METER
- PVC POLYVINYL CHLORIDE
- DIP DUCTILE IRON PIPE
- S PROPOSED SANITARY LINE
- FM PROPOSED FORCEMAIN LINE
- PROPOSED SANITARY/STORM MANHOLE
- CO PROPOSED SANITARY CLEANOUT
- W PROPOSED WATER LINE
- ⊙ WV PROPOSED WATER VALVE
- ⊙ FH PROPOSED FIRE HYDRANT
- WM PROPOSED WATER METER
- ▬ ZONING LINE
- ⊙ LIGHT BASES
- ▬ PROPOSED LIGHT DUTY PAVING
- ▬ PROPOSED MEDIUM DUTY PAVING
- ▬ PROPOSED HEAVY DUTY PAVING
- ▬ ARCHER DRIVE PAVING
- ▬ HIGHWAY OCCUPANCY PERMIT PAVING
- ▬ POTENTIAL FUTURE PAVING
- NOTE: THESE AREAS TO BE GRADED TO FINISHED PAVEMENT SUBGRADE THEN TOPSOILED A MINIMUM OF 4"
- ▬ PROPOSED CONCRETE
- ▬ COMPACTED GRAVEL/STONE ACCESS DRIVEWAY

PROPOSED BUILDING
614' X 1,650'
1,006,500 SF

EMPLOYEE PARKING SPACES: 375+186 POTENTIAL FUTURE = 561
DOCK SPACES: 189
TRAILER SPACES: 213+90 POTENTIAL FUTURE = 303

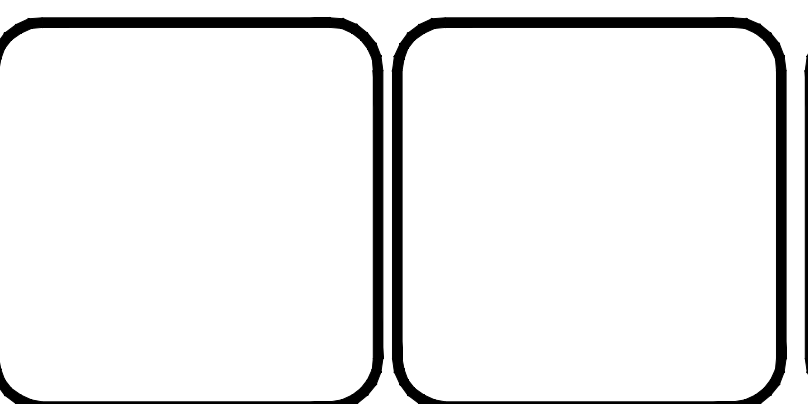


ALL WORK ON ARCHER DRIVE FROM STA 10+00 TO 12+00 WILL BE SUBJECT TO PENNDOT APPROVAL AND WILL BE CONSTRUCTED FROM THE APPROVED HOP PLANS.

N/T DENNIS JOE MILLER & MILLER MARION ENTERPRISES RESIDUE ("B-1" & RESIDUE "D") LOT 4 11.316 ACRES OR 492,916.672 SQ FT

RESIDUE ("B-1") P/O PARCEL NO. 5 - DEED BOOK 1247, PAGE 209 & P/O PARCEL NO. 5 - DEED BOOK 2347, PAGE 59 11.139 ACRES OR 483,194.028 SQ FT

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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Engineering & Related Services
AN EMPLOYEE-OWNED COMPANY

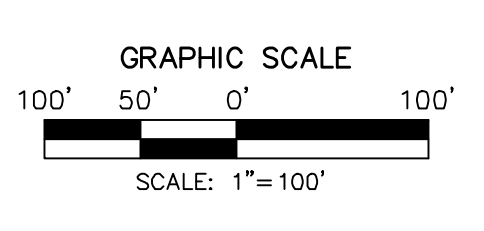
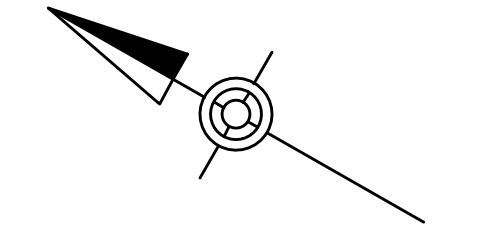
207 Grant Street
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ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

DETAIL SITE AND UTILITY PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

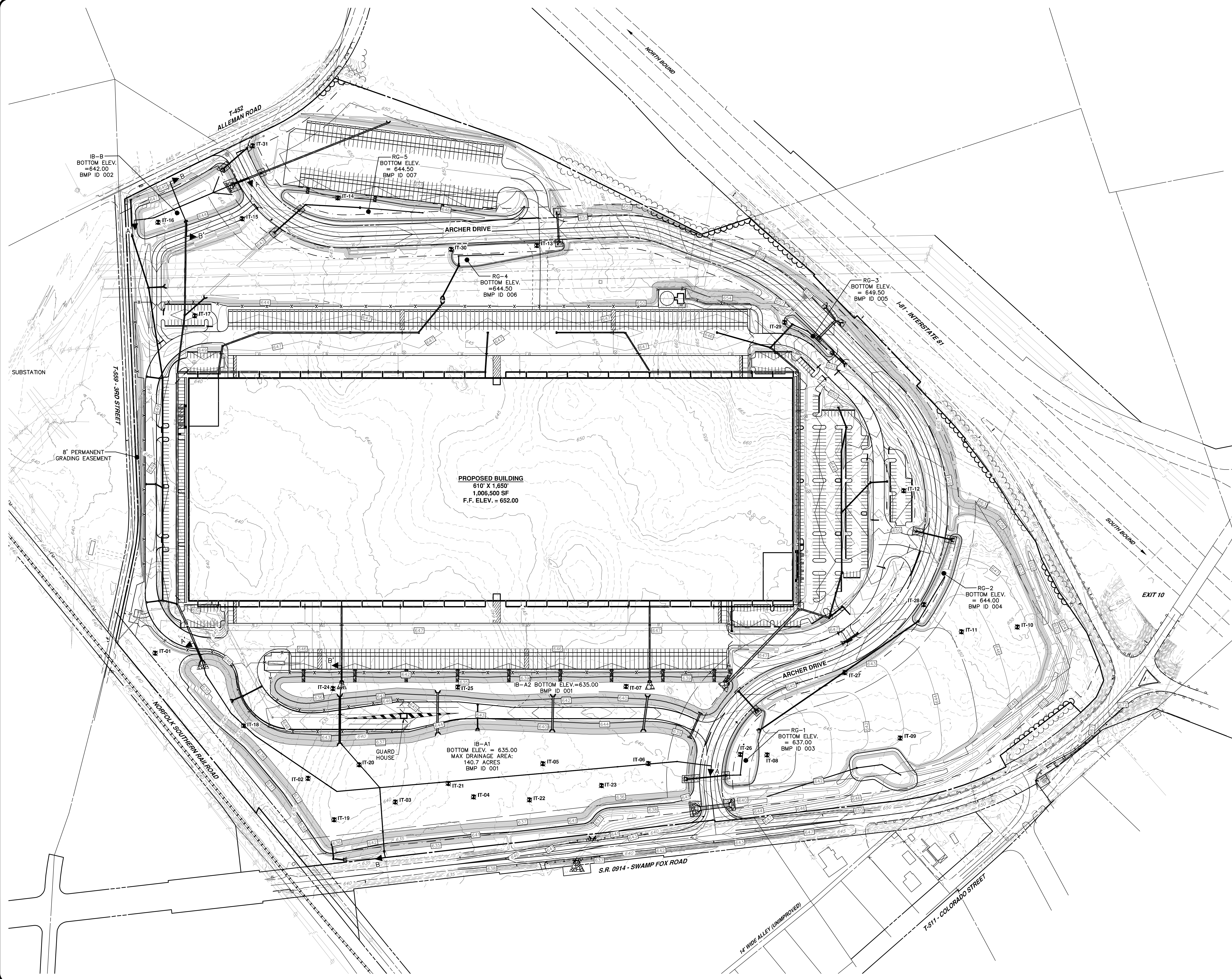
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB	DESIGN - HED/CAC	CADD - TLB	CHECKED - SBB	SCALE - AS SHOWN	DATE - 2021.08.24
DRAWING NO. SU-DT-4					
SHEET NO. 11 OF 51					
PROJECT R008499.0429					

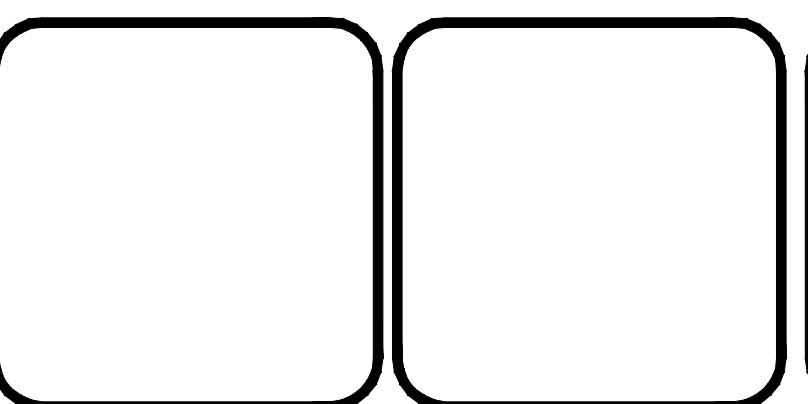


LEGEND

- PROPOSED PROPERTY LINE
- - - PROPOSED EASEMENT
- - - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- 1010 PROPOSED CONTOUR
- X 410.00 PROPOSED SPOT ELEVATION
- X BC 410.00 PROPOSED BOTTOM OF CURB SPOT ELEVATION
- X TC 410.00 PROPOSED TOP OF CURB SPOT ELEVATION
- X HP 410.00 PROPOSED HIGH POINT SPOT ELEVATION
- X LP 410.00 PROPOSED LOW POINT SPOT ELEVATION
- X TW 410.00 PROPOSED TOP OF WALL SPOT ELEVATION
- X GR 410.00 PROPOSED FINISHED GRADE AT WALL FACE SPOT ELEVATION
- - - PROPOSED DITCH OR SWALE
- PROPOSED CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED GAS LINE
- ⊙ GV PROPOSED GAS VALVE
- S PROPOSED SANITARY LINE
- FM PROPOSED FORECAME LINE
- PROPOSED SANITARY/STORM MANHOLE
- W PROPOSED WATER LINE
- ⊙ WV PROPOSED WATER VALVE
- ⊙ FH PROPOSED FIRE HYDRANT
- X PROPOSED FENCE
- DRAINAGE BASIN
- INLET DRAINAGE BASIN
- CHANNEL FLOW
- PROPOSED STORM SEWER & INLET
- PROPOSED UNDERGROUND DETENTION
- CMP CORRUGATED METAL PIPE
- SLOPP SMOOTH LINED CORRUGATED PLASTIC PIPE
- HDPE HIGH DENSITY POLYETHYLENE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE
- DIP DUCTILE IRON PIPE
- ⊙ & ⊙ LIGHT BASES
- PROPOSED RIP-RAP APRON
- IT-# INFILTRATION TEST LOCATION AND NUMBER
- B' PERMANENT GRADING EASEMENT



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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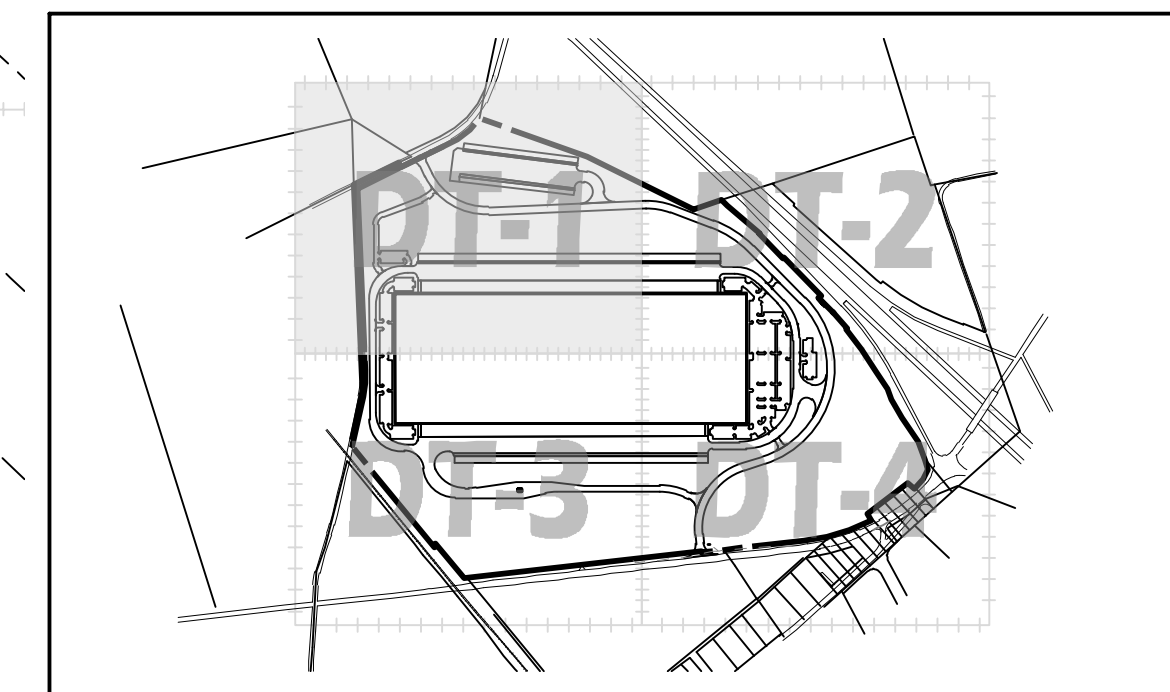
ALLEMAN ROAD PROPERTY, LLC
 4 RADNOR CORPORATE CENTER
 SUITE 105
 RADNOR, PA 19807
 484-320-7808 OFFICE

OVERALL GRADING AND STORMWATER MANAGEMENT PLAN
 FOR
 ALLEMAN ROAD PROPERTY, LLC

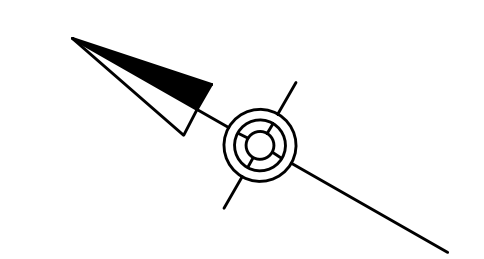
GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB	DRAWING NO.
DESIGN - HED/CAC	GS-OA
CADD - TLB	SHEET NO.
CHECKED - SBB	12 OF 51
SCALE - AS SHOWN	PROJECT R008499.0425
DATE - 2021.08.24	

PROJECT R008499.0425

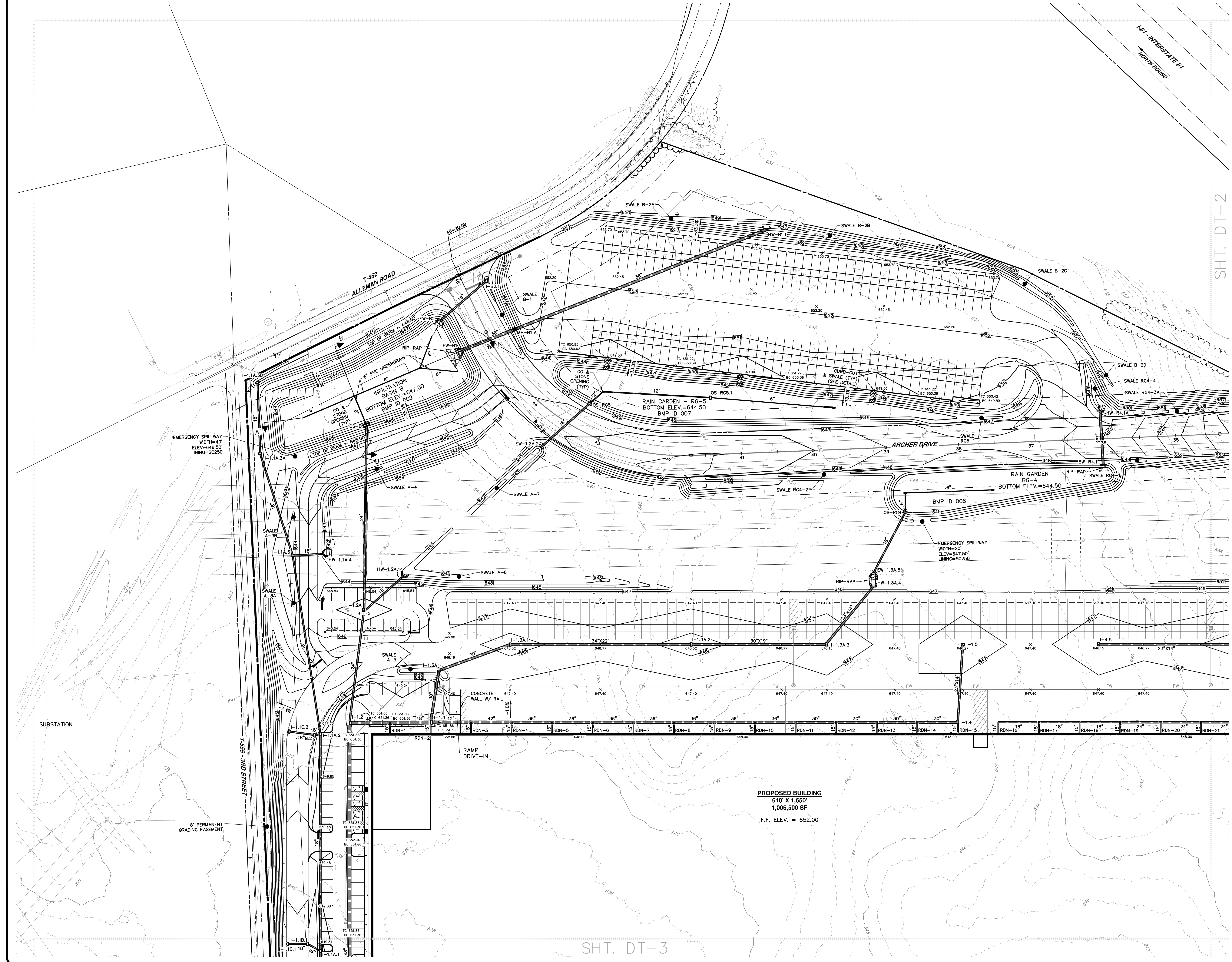


DETAIL SHEET KEY
SCALE: 1" = 90'



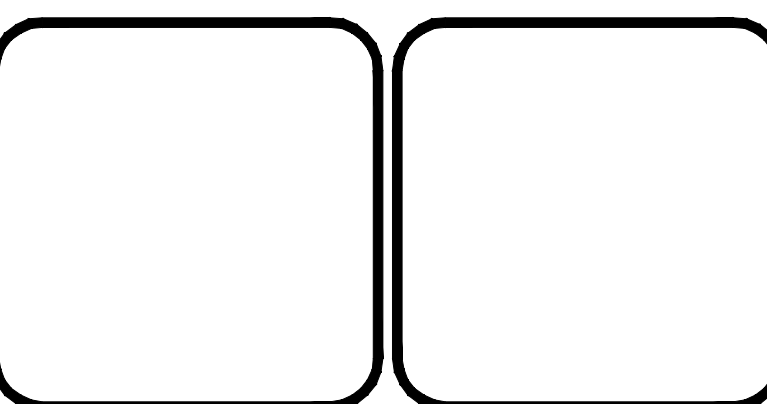
GRAPHIC SCALE
50' 25' 0' 50'
SCALE: 1" = 50'

- LEGEND**
- PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT
 - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
 - PROPOSED CONTOUR
 - x 410.00 PROPOSED SPOT ELEVATION
 - x BC 410.00 PROPOSED BOTTOM OF CURB SPOT ELEVATION
 - x TC 410.00 PROPOSED TOP OF CURB SPOT ELEVATION
 - x HP 410.00 PROPOSED HIGH POINT SPOT ELEVATION
 - x LP 410.00 PROPOSED LOW POINT SPOT ELEVATION
 - x HW 410.00 PROPOSED TOP OF WALL SPOT ELEVATION
 - x OR 410.00 PROPOSED FINISHED GRADE AT WALL FACE SPOT ELEVATION
 - PROPOSED DITCH OR SWALE
 - PROPOSED CURB
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED GAS LINE
 - PROPOSED GAS VALVE
 - PROPOSED SANITARY LINE
 - PROPOSED FOREMAIN LINE
 - PROPOSED SANITARY/STORM MANHOLE
 - PROPOSED WATER LINE
 - PROPOSED WATER VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED FENCE
 - DRAINAGE BASIN
 - INLET DRAINAGE BASIN
 - CHANNEL FLOW
 - DRAINAGE BASIN
 - PROPOSED UNDERGROUND DETENTION
 - CORRUGATED METAL PIPE
 - SLCPP SMOOTH LINED CORRUGATED PLASTIC PIPE
 - HDPE HIGH DENSITY POLYETHYLENE
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE
 - DIP DUCTILE IRON PIPE
 - LIGHT BASES
 - PROPOSED RIP-RAP APRON
 - IT-# INFILTRATION TEST LOCATION AND NUMBER
 - 8' PERMANENT GRADING EASEMENT



SHT. DT-3

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB

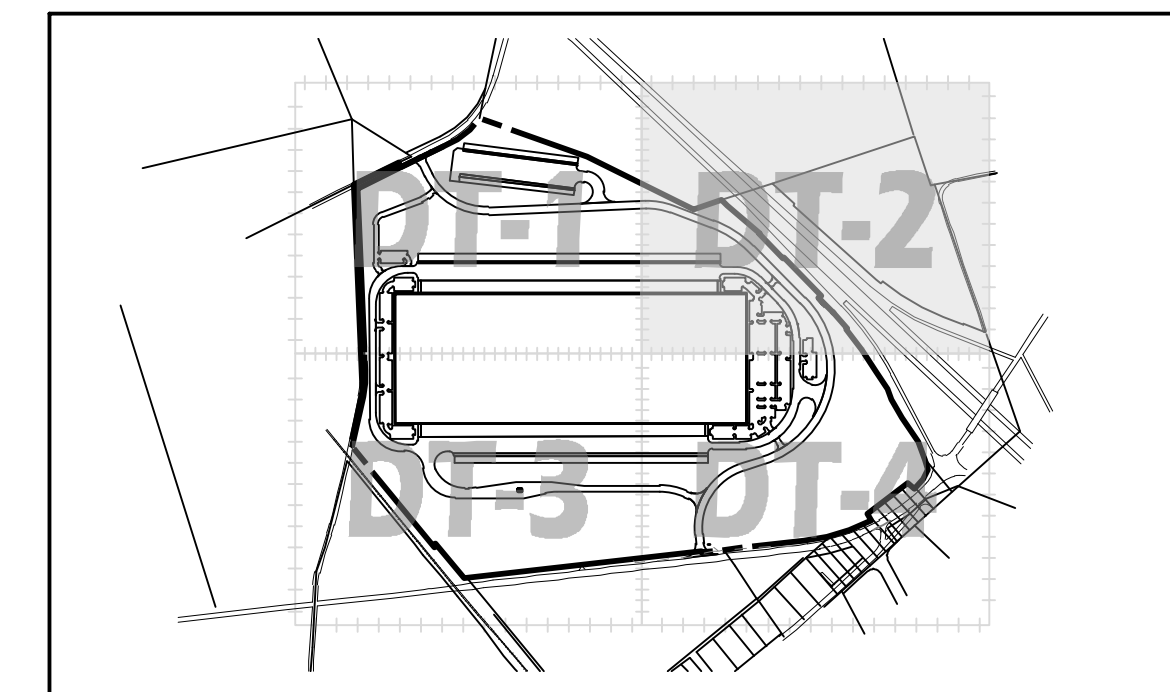


ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

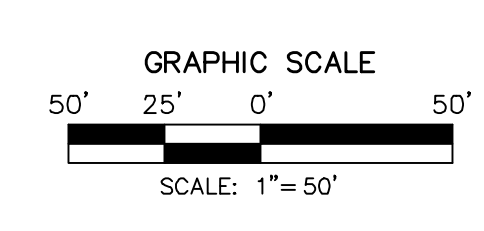
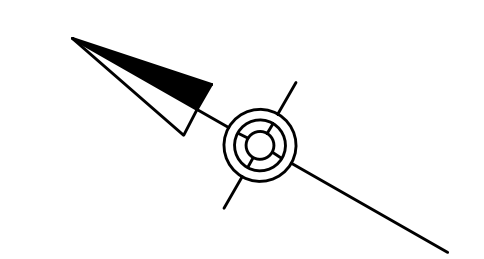
DETAIL GRADING AND STORMWATER MANAGEMENT PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
GS-DT-1
SHEET NO.
13 OF 51
PROJECT R008499.0425

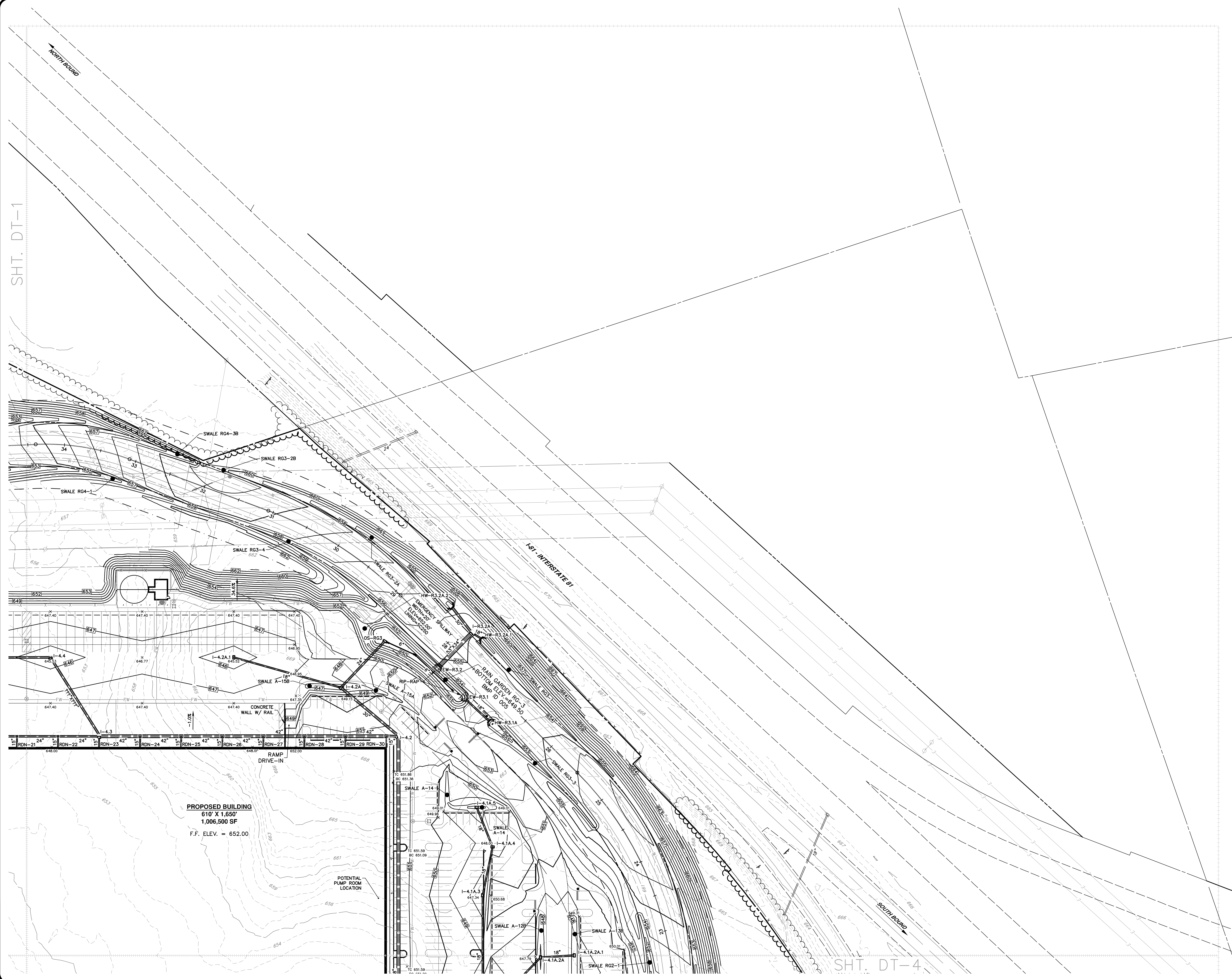


DETAIL SHEET KEY
SCALE: 1" = 900'

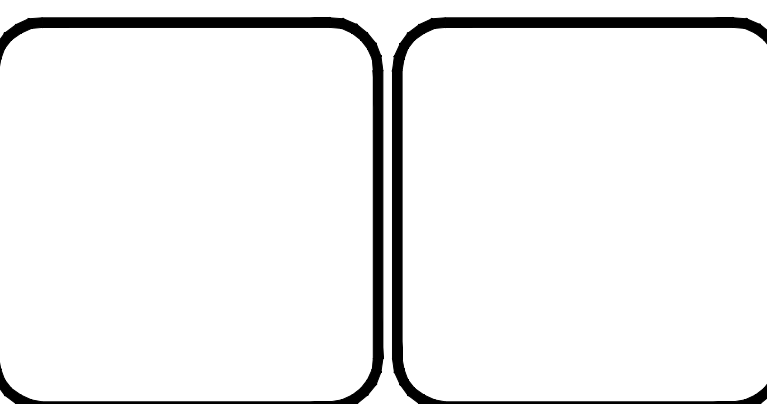


LEGEND

	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT
	PROPOSED/REQUIRED RIGHT-OF-WAY LINE
	PROPOSED CONTOUR
X 410.00	PROPOSED SPOT ELEVATION
X BC 410.00	PROPOSED BOTTOM OF CURB SPOT ELEVATION
X TC 410.00	PROPOSED TOP OF CURB SPOT ELEVATION
X HP 410.00	PROPOSED HIGH POINT SPOT ELEVATION
X LP 410.00	PROPOSED LOW POINT SPOT ELEVATION
X TW 410.00	PROPOSED TOP OF WALL SPOT ELEVATION
X OR 410.00	PROPOSED FINISHED GRADE AT WALL FACE SPOT ELEVATION
	PROPOSED DITCH OR SWALE
	PROPOSED CURB
	PROPOSED CONCRETE SIDEWALK
G	PROPOSED GAS LINE
GV	PROPOSED GAS VALVE
S	PROPOSED SANITARY LINE
FM	PROPOSED FORCEMAIN LINE
W	PROPOSED WATER LINE
WV	PROPOSED WATER VALVE
FH	PROPOSED FIRE HYDRANT
X	PROPOSED FENCE
	DRAINAGE BASIN
	INLET DRAINAGE BASIN
	CHANNEL FLOW
	EXISTING STORM SEWER & INLET
	PROPOSED UNDERGROUND DETENTION
CMP	CORRUGATED METAL PIPE
SLCPP	SMOOTH LINED CORRUGATED PLASTIC PIPE
HDPE	HIGH DENSITY POLYETHYLENE
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE
DIP	DUCTILE IRON PIPE
LB	LIGHT BASES
	PROPOSED RIP-RAP APRON
IT-##	INFILTRATION TEST LOCATION AND NUMBER
	8' PERMANENT GRADING EASEMENT



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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ALLEMAN ROAD PROPERTY, LLC
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SUITE 105
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484-320-7808 OFFICE

DETAIL GRADING AND STORMWATER MANAGEMENT PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

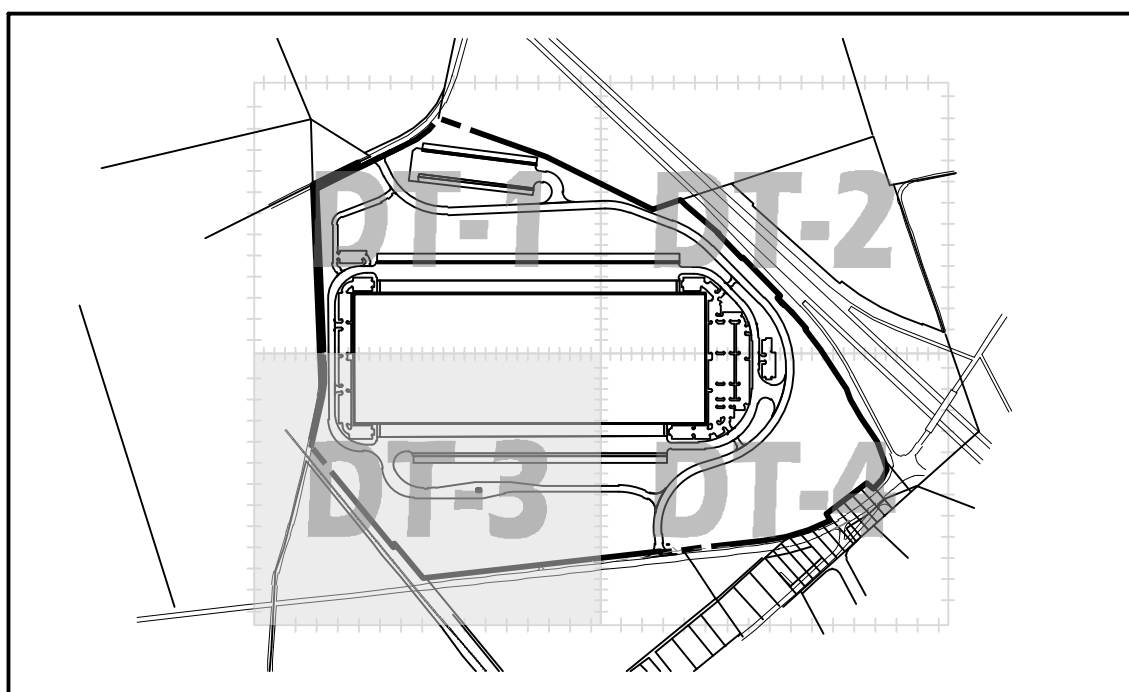
GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

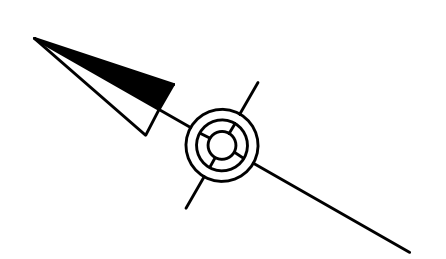
DRAWING NO.
GS-DT-2
SHEET NO.
14 OF 51
PROJECT R008499.0425

SHT. DT-1

PROPOSED BUILDING
610' X 1,650'
1,006,500 SF
F.F. ELEV. = 652.00

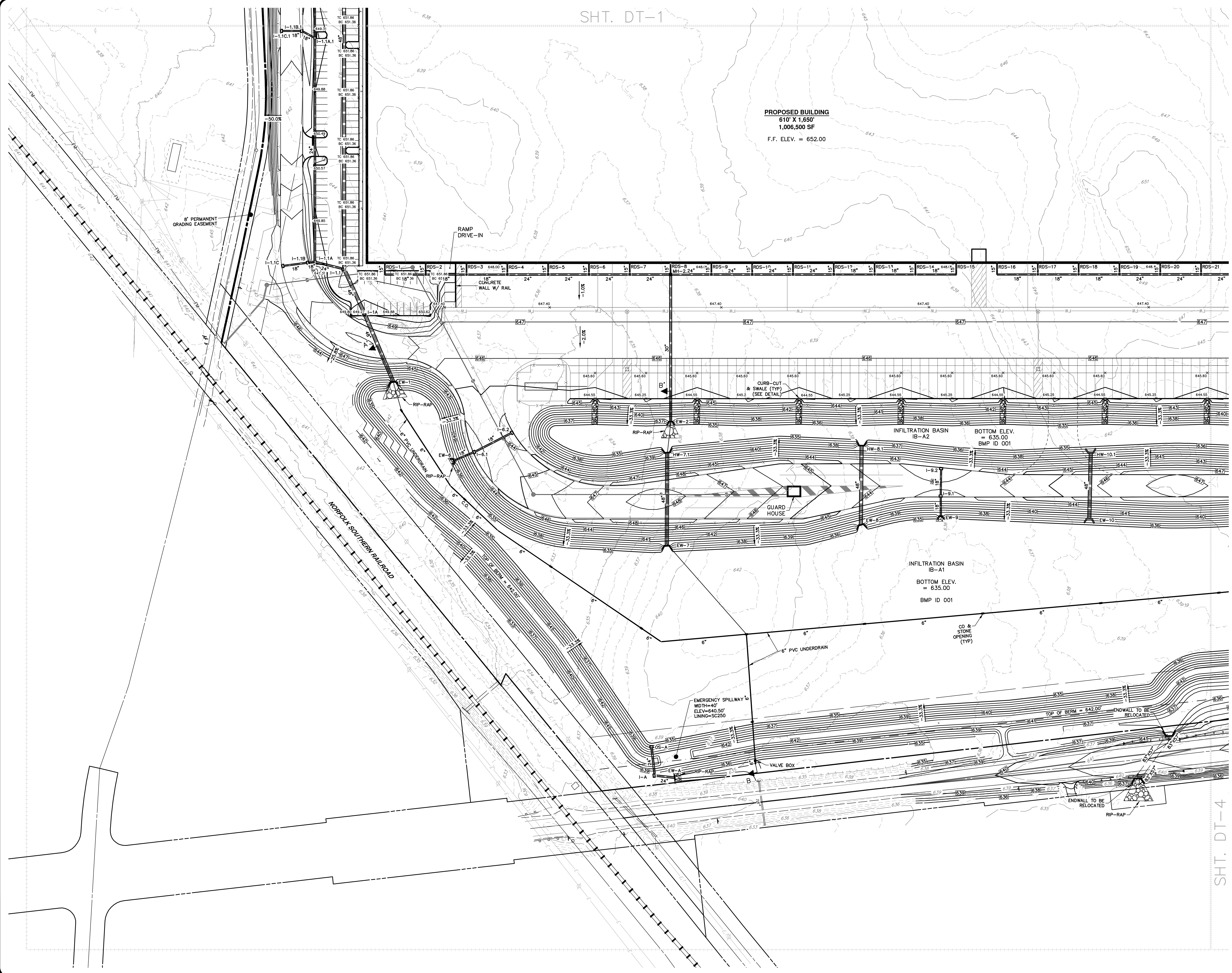


DETAIL SHEET KEY
SCALE: 1" = 90'



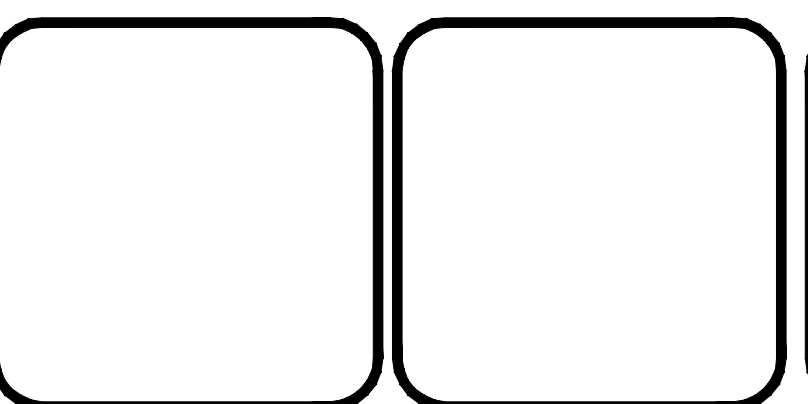
GRAPHIC SCALE
50' 25' 0' 50'
SCALE: 1" = 50'

- LEGEND**
- PROPOSED PROPERTY LINE
 - - - PROPOSED EASEMENT
 - - - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
 - PROPOSED CONTOUR
 - x 410.00 PROPOSED SPOT ELEVATION
 - x BC 410.00 PROPOSED BOTTOM OF CURB SPOT ELEVATION
 - x TC 410.00 PROPOSED TOP OF CURB SPOT ELEVATION
 - x HP 410.00 PROPOSED HIGH POINT SPOT ELEVATION
 - x LP 410.00 PROPOSED LOW POINT SPOT ELEVATION
 - x TW 410.00 PROPOSED TOP OF WALL SPOT ELEVATION
 - x OR 410.00 PROPOSED FINISHED GRADE AT WALL FACE SPOT ELEVATION
 - PROPOSED DITCH OR SWALE
 - PROPOSED CURB
 - PROPOSED CONCRETE SIDEWALK
 - G PROPOSED GAS LINE
 - GV PROPOSED GAS VALVE
 - S PROPOSED SANITARY LINE
 - FM PROPOSED FORCEMAIN LINE
 - W PROPOSED WATER LINE
 - WV PROPOSED WATER VALVE
 - FH PROPOSED FIRE HYDRANT
 - X PROPOSED FENCE
 - DRAINAGE BASIN
 - INLET DRAINAGE BASIN
 - CHANNEL FLOW
 - DIRECT TO STORM SEWER & INLET
 - PROPOSED UNDERGROUND DETENTION
 - CORRUGATED METAL PIPE
 - SLCPP SMOOTH LINED CORRUGATED PLASTIC PIPE
 - HDPE HIGH DENSITY POLYETHYLENE
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE
 - DIP DUCTILE IRON PIPE
 - LB LIGHT BASES
 - PROPOSED RIP-RAP APRON
 - IT-## INFILTRATION TEST LOCATION AND NUMBER
 - 8' PERMANENT GRADING EASEMENT



SHT. DT-4

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB

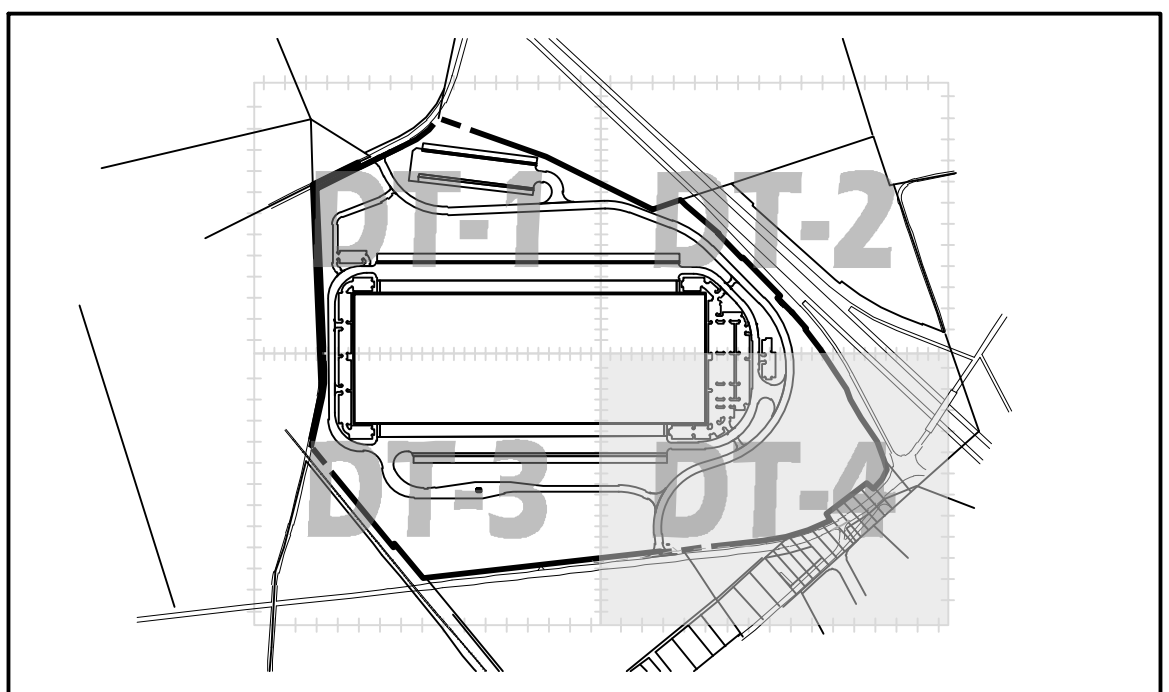


ALLEMAN ROAD PROPERTY, LLC
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 SUITE 105
 RADNOR, PA 19087
 484-320-7808 OFFICE

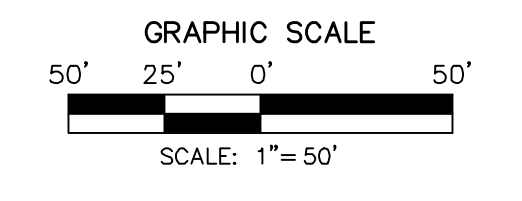
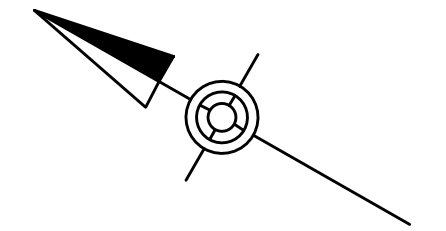
DETAIL GRADING AND STORMWATER MANAGEMENT PLAN
 FOR
ALLEMAN ROAD PROPERTY, LLC

PROJ. MGR. - SBB
 DESIGN - HED/CAC
 CADD - TLB
 CHECKED - SBB
 SCALE - AS SHOWN
 DATE - 2021.08.24

DRAWING NO.
GS-DT-3
 SHEET NO.
 15 OF 51
 PROJECT R008499.0425

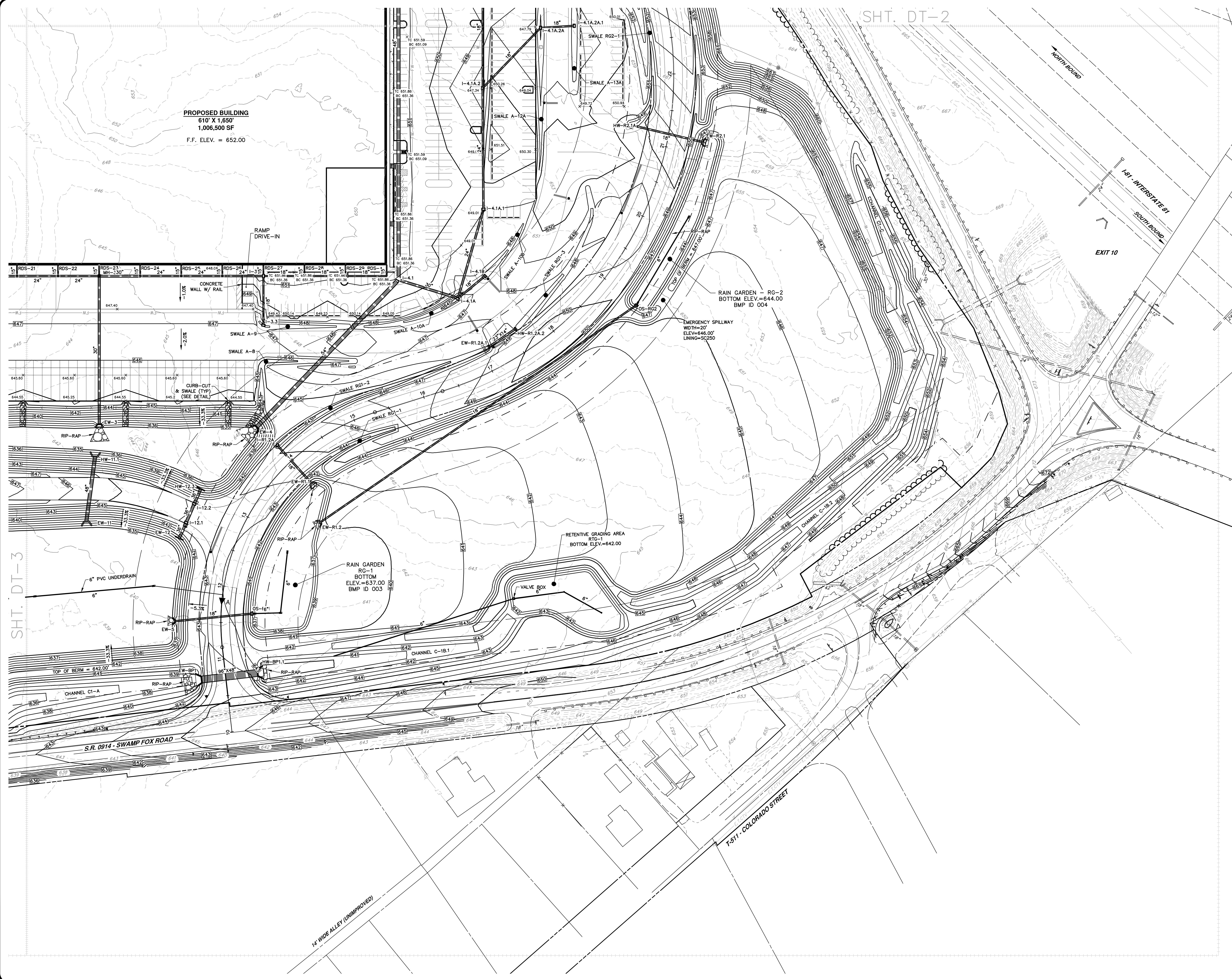


DETAIL SHEET KEY
SCALE: 1" = 900'



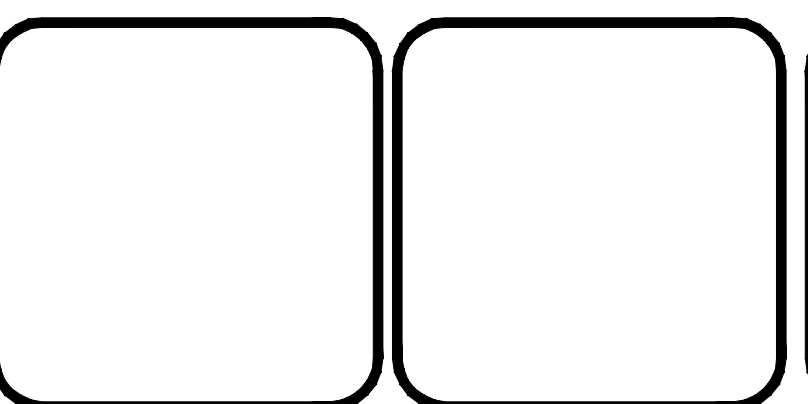
- LEGEND**
- PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT
 - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
 - PROPOSED CONTOUR
 - PROPOSED CURB ELEVATION
 - X BC 410.00 PROPOSED BOTTOM OF CURB SPOT ELEVATION
 - X TC 410.00 PROPOSED TOP OF CURB SPOT ELEVATION
 - X HP 410.00 PROPOSED HIGH POINT SPOT ELEVATION
 - X LP 410.00 PROPOSED LOW POINT SPOT ELEVATION
 - X TW 410.00 PROPOSED TOP OF WALL SPOT ELEVATION
 - X OR 410.00 PROPOSED FINISHED GRADE AT WALL FACE SPOT ELEVATION
 - PROPOSED DITCH OR SWALE
 - PROPOSED CURB
 - PROPOSED CONCRETE SIDEWALK
 - G PROPOSED GAS LINE
 - GV PROPOSED GAS VALVE
 - S PROPOSED SANITARY LINE
 - FM PROPOSED FORCEMAIN LINE
 - W PROPOSED SANITARY/STORM MANHOLE
 - W PROPOSED WATER LINE
 - WV PROPOSED WATER VALVE
 - FH PROPOSED FIRE HYDRANT
 - PROPOSED FENCE
 - DRAINAGE BASIN
 - INLET DRAINAGE BASIN
 - CHANNEL FLOW
 - DRAINAGE/STORM SEWER & INLET
 - PROPOSED UNDERGROUND DETENTION
 - CMP CORRUGATED METAL PIPE
 - SLCPP SMOOTH LINED CORRUGATED PLASTIC PIPE
 - HDPE HIGH DENSITY POLYETHYLENE
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE
 - DIP DUCTILE IRON PIPE
 - LB LIGHT BASES
 - PROPOSED RIP-RAP APRON
 - IT-## INFILTRATION TEST LOCATION AND NUMBER
 - 8' PERMANENT GRADING EASEMENT

PROPOSED BUILDING
610' X 1,650'
1,006,500 SF
F.F. ELEV. = 652.00



SHT. DT-3

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



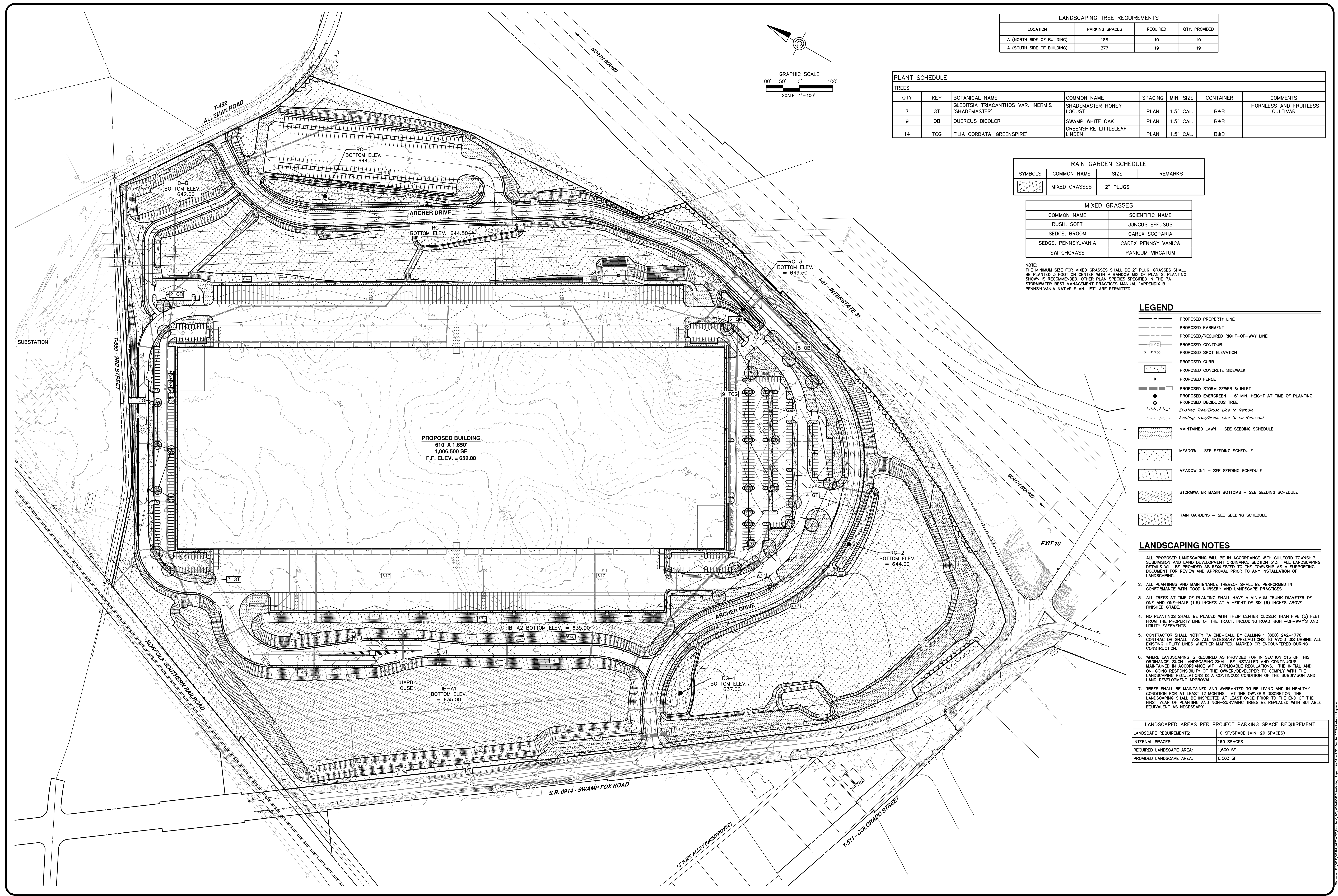
207 Grant Street
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(717) 263-2070
hrg@hrg-inc.com
www.hrg-inc.com

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4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

DETAIL GRADING AND STORMWATER MANAGEMENT PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC
GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
GS-DT-4
SHEET NO.
16 OF 51
PROJECT R008499.0429



LANDSCAPING TREE REQUIREMENTS			
LOCATION	PARKING SPACES	REQUIRED	QTY. PROVIDED
A (NORTH SIDE OF BUILDING)	188	10	10
A (SOUTH SIDE OF BUILDING)	377	19	19

PLANT SCHEDULE							
TREES							
QTY	KEY	BOTANICAL NAME	COMMON NAME	SPACING	MIN. SIZE	CONTAINER	COMMENTS
7	GT	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	PLAN	1.5" CAL.	B&B	THORNLESS AND FRUITLESS CULTIVAR
9	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	PLAN	1.5" CAL.	B&B	
14	TCG	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	PLAN	1.5" CAL.	B&B	

RAIN GARDEN SCHEDULE			
SYMBOLS	COMMON NAME	SIZE	REMARKS
[Symbol]	MIXED GRASSES	2" PLUGS	

MIXED GRASSES	
COMMON NAME	SCIENTIFIC NAME
RUSH, SOFT	JUNCUS EFFUSUS
SEDGE, BROOM	CAREX SCOPARIA
SEDGE, PENNSYLVANIA	CAREX PENNSYLVANICA
SWITCHGRASS	PANICUM VIRGATUM

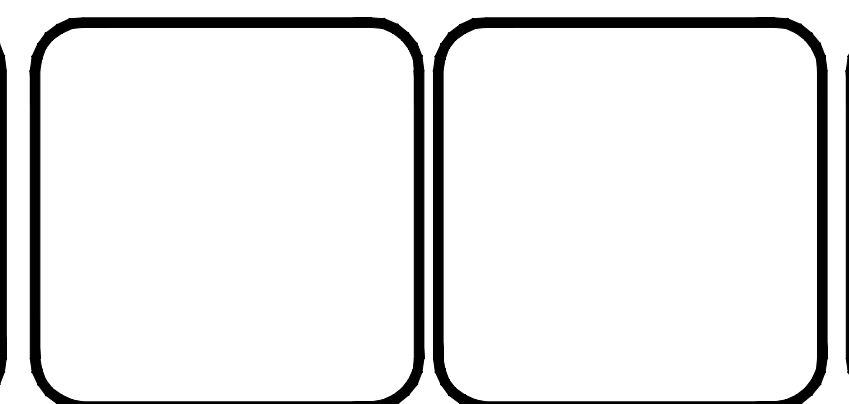
NOTE: THE MINIMUM SIZE FOR MIXED GRASSES SHALL BE 2" PLUG. GRASSES SHALL BE PLANTED 3 FOOT ON CENTER WITH A RANDOM MIX OF PLANTS. PLANTING SHOWN IS RECOMMENDED. OTHER PLANT SPECIES SPECIFIED IN THE PA STORMWATER BEST MANAGEMENT PRACTICES MANUAL "APPENDIX B - PENNSYLVANIA NATIVE PLANT LIST" ARE PERMITTED.

LEGEND	
[Symbol]	PROPOSED PROPERTY LINE
[Symbol]	PROPOSED EASEMENT
[Symbol]	PROPOSED/REQUIRED RIGHT-OF-WAY LINE
[Symbol]	PROPOSED CONTOUR
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED CURB
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED FENCE
[Symbol]	PROPOSED STORM SEWER & INLET
[Symbol]	PROPOSED EVERGREEN - 6" MIN. HEIGHT AT TIME OF PLANTING
[Symbol]	PROPOSED DECIDUOUS TREE
[Symbol]	Existing Tree/Brush Line to Remain
[Symbol]	Existing Tree/Brush Line to be Removed
[Symbol]	MAINTAINED LAWN - SEE SEEDING SCHEDULE
[Symbol]	MEADOW - SEE SEEDING SCHEDULE
[Symbol]	MEADOW 3:1 - SEE SEEDING SCHEDULE
[Symbol]	STORMWATER BASIN BOTTOMS - SEE SEEDING SCHEDULE
[Symbol]	RAIN GARDENS - SEE SEEDING SCHEDULE

- LANDSCAPING NOTES**
- ALL PROPOSED LANDSCAPING SHALL BE IN ACCORDANCE WITH GUILFORD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE SECTION 513. ALL LANDSCAPING DETAILS SHALL BE PROVIDED AS REQUESTED TO THE TOWNSHIP AS A SUPPORTING DOCUMENT FOR REVIEW AND APPROVAL PRIOR TO ANY INSTALLATION OF LANDSCAPING.
 - ALL PLANTINGS AND MAINTENANCE THEREOF SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICES.
 - ALL TREES AT TIME OF PLANTING SHALL HAVE A MINIMUM TRUNK DIAMETER OF ONE AND ONE-HALF (1.5) INCHES AT A HEIGHT OF SIX (6) INCHES ABOVE FINISHED GRADE.
 - NO PLANTINGS SHALL BE PLACED WITH THEIR CENTER CLOSER THAN FIVE (5) FEET FROM THE PROPERTY LINE OF THE TRACT, INCLUDING ROAD RIGHT-OF-WAYS AND UTILITY EASEMENTS.
 - CONTRACTOR SHALL NOTIFY PA ONE-CALL BY CALLING 1 (800) 242-1776. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DISTURBING ALL EXISTING UTILITY LINES WHETHER MAPPED, MARKED OR ENCOUNTERED DURING CONSTRUCTION.
 - WHERE LANDSCAPING IS REQUIRED AS PROVIDED FOR IN SECTION 513 OF THIS ORDINANCE, SUCH LANDSCAPING SHALL BE INSTALLED AND CONTINUOUS MAINTAINED IN ACCORDANCE WITH APPLICABLE REGULATIONS. THE INITIAL AND ON-GOING RESPONSIBILITY OF THE OWNER/DEVELOPER TO COMPLY WITH THE LANDSCAPING REGULATIONS IS A CONTINUOUS CONDITION OF THE SUBDIVISION AND LAND DEVELOPMENT APPROVAL.
 - TREES SHALL BE MAINTAINED AND WARRANTED TO BE LIVING AND IN HEALTHY CONDITION FOR AT LEAST 12 MONTHS. AT THE OWNER'S DISCRETION, THE LANDSCAPING SHALL BE INSPECTED AT LEAST ONCE PRIOR TO THE END OF THE FIRST YEAR OF PLANTING AND NON-SURVIVING TREES BE REPLACED WITH SUITABLE EQUIVALENT AS NECESSARY.

LANDSCAPED AREAS PER PROJECT PARKING SPACE REQUIREMENT	
LANDSCAPE REQUIREMENTS:	10 SF/SPACE (MIN. 20 SPACES)
INTERNAL SPACES:	160 SPACES
REQUIRED LANDSCAPE AREA:	1,600 SF
PROVIDED LANDSCAPE AREA:	6,583 SF

NO.	REVISION	DATE	BY
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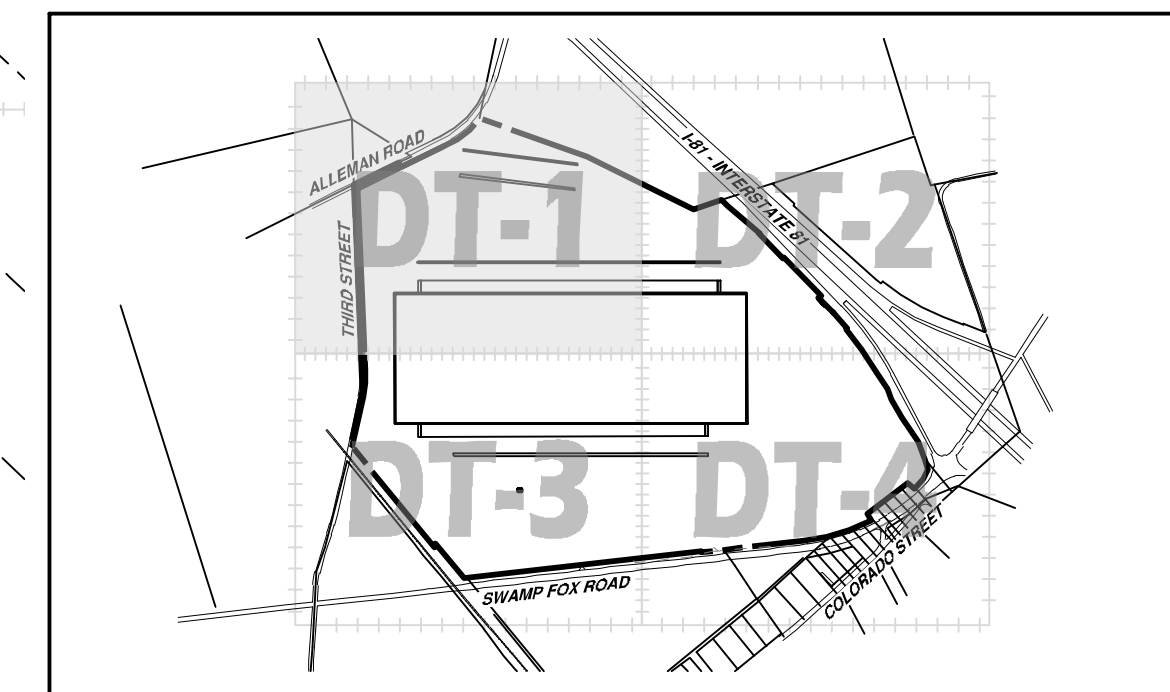
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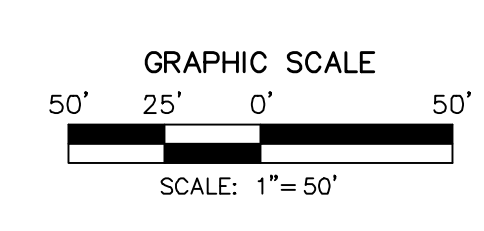
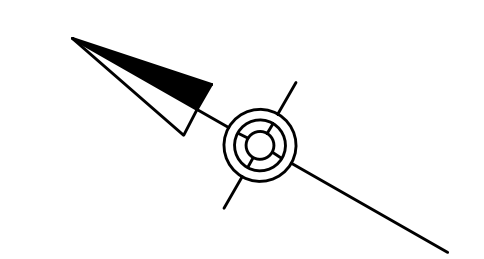
OVERALL LANDSCAPING PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB	DRAWING NO.
DESIGN - HED/CAC	LA-OA
CADD - TLB	SHEET NO.
CHECKED - SBB	17 OF 51
SCALE - AS SHOWN	PROJECT R008499.0429
DATE - 2021.08.24	

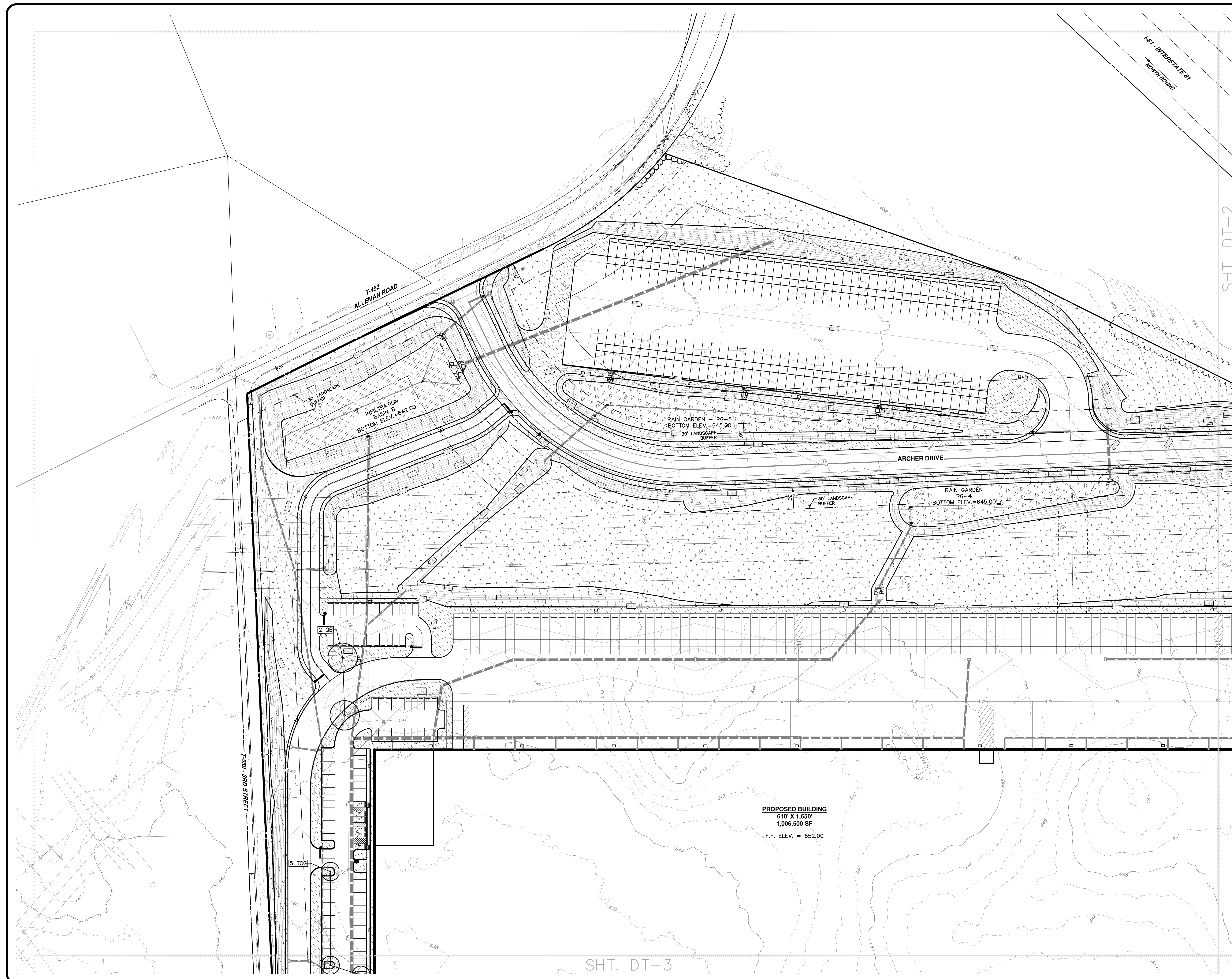


DETAIL SHEET KEY
SCALE: 1" = 900'



LEGEND

- PROPOSED PROPERTY LINE
- - - PROPOSED EASEMENT
- - - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- 0.00 PROPOSED CONTOUR
- X 410.00 PROPOSED SPOT ELEVATION
- PROPOSED CURB
- PROPOSED CONCRETE SIDEWALK
- X- PROPOSED FENCE
- PROPOSED STORM SEWER & INLET
- PROPOSED EVERGREEN - 6" MIN. HEIGHT AT TIME OF PLANTING
- PROPOSED DECIDUOUS TREE
- Existing Tree/Brush Line to Remain
- Existing Tree/Brush Line to be Removed
- MAINTAINED LAWN - SEE SEEDING SCHEDULE
- MEADOW - SEE SEEDING SCHEDULE
- MEADOW 3:1 - SEE SEEDING SCHEDULE
- STORMWATER BASIN BOTTOMS - SEE SEEDING SCHEDULE
- RAIN GARDENS - SEE SEEDING SCHEDULE

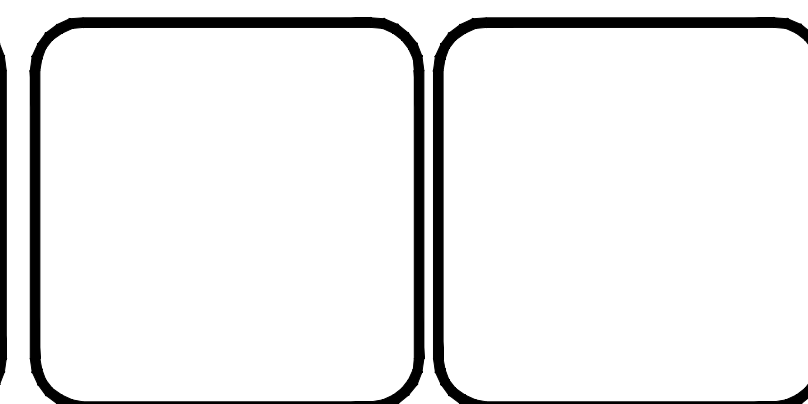


PROPOSED BUILDING
610' X 1,650'
1,006,500 SF
F.F. ELEV. = 652.00

SHT. DT-2

SHT. DT-3

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
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DETAIL LANDSCAPING PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
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DATE - 2021.08.24

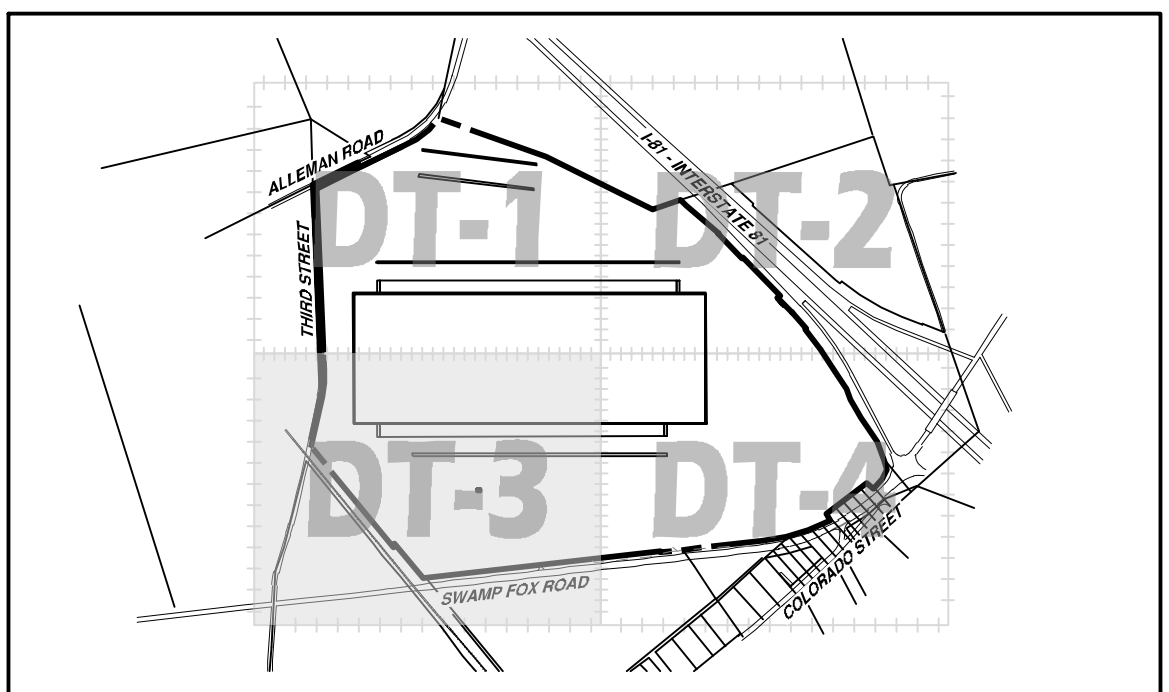
DRAWING NO.
LA-DT-1

SHEET NO.
18 OF 51

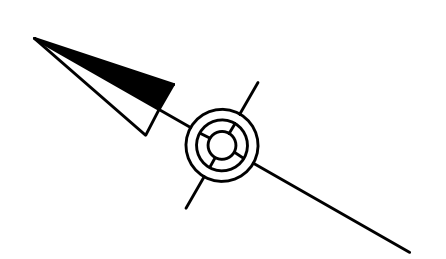
PROJECT R008499.0425

SHT. DT-1

PROPOSED BUILDING
610' X 1,650'
1,006,500 SF
F.F. ELEV. = 652.00



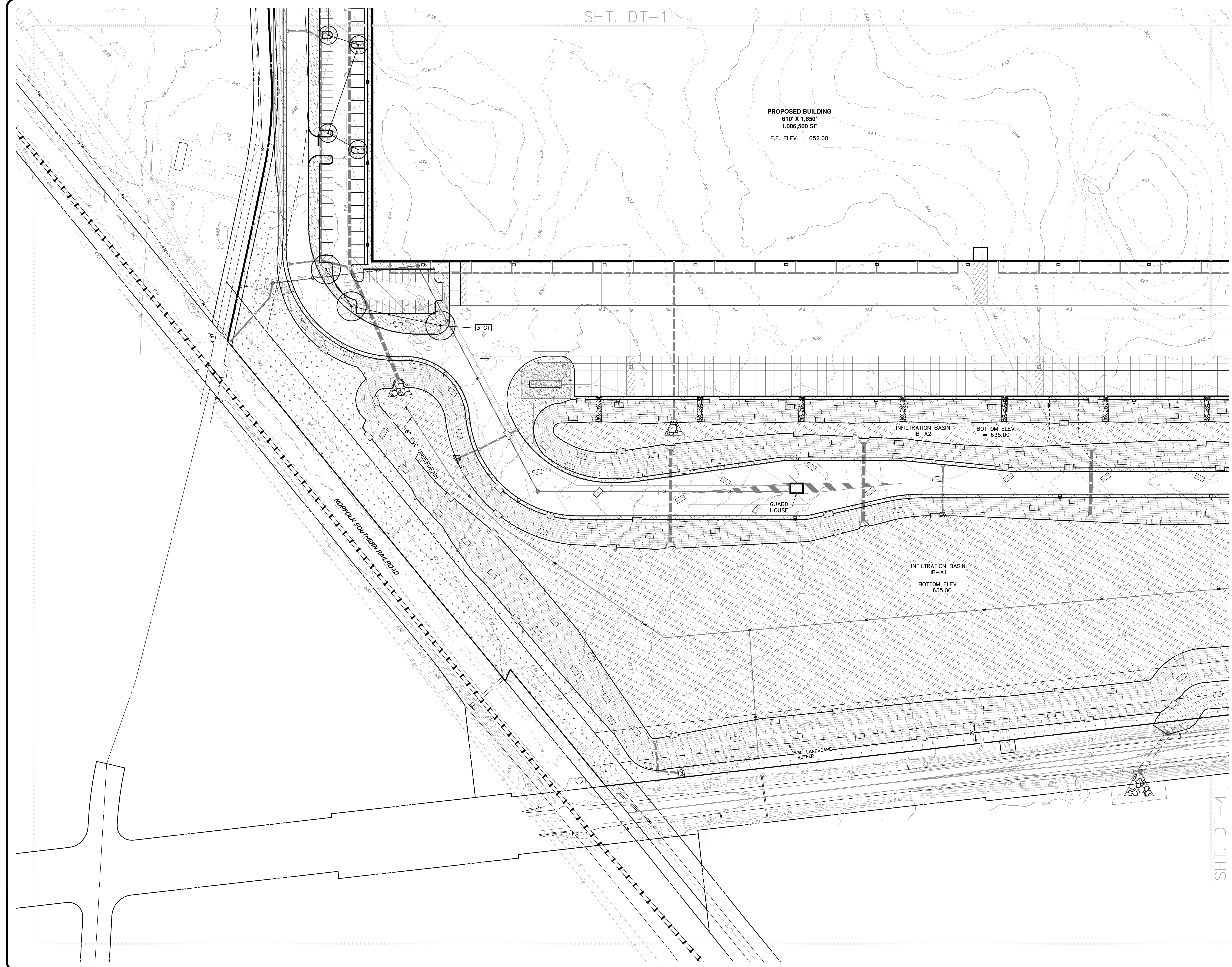
DETAIL SHEET KEY
SCALE: 1" = 900'



GRAPHIC SCALE
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SCALE: 1" = 50'

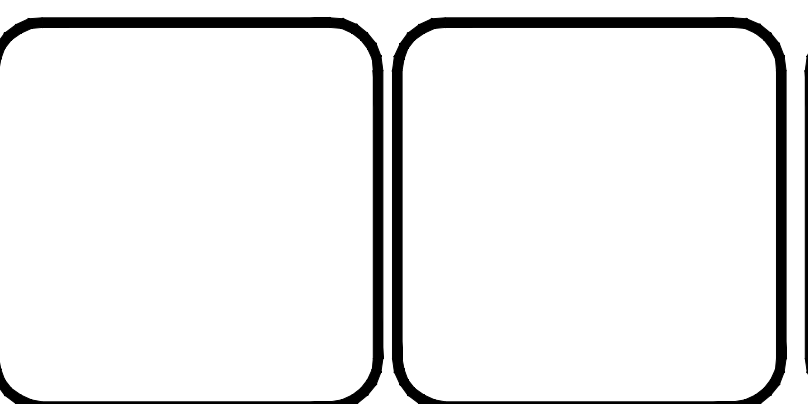
LEGEND

- PROPOSED PROPERTY LINE
- - - PROPOSED EASEMENT
- - - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- PROPOSED CONTOUR
- x 410.00 PROPOSED SPOT ELEVATION
- ▬ PROPOSED CURB
- ▬ PROPOSED CONCRETE SIDEWALK
- x- PROPOSED FENCE
- ▬ PROPOSED STORM SEWER & INLET
- PROPOSED EVERGREEN - 6" MIN. HEIGHT AT TIME OF PLANTING
- PROPOSED DECIDUOUS TREE
- ~ Existing Tree/Brush Line to Remain
- ~ Existing Tree/Brush Line to be Removed
- ▨ MAINTAINED LAWN - SEE SEEDING SCHEDULE
- ▨ MEADOW - SEE SEEDING SCHEDULE
- ▨ MEADOW 3:1 - SEE SEEDING SCHEDULE
- ▨ STORMWATER BASIN BOTTOMS - SEE SEEDING SCHEDULE
- ▨ RAIN GARDENS - SEE SEEDING SCHEDULE



SHT. DT-4

NO.	REVISION	DATE	BY
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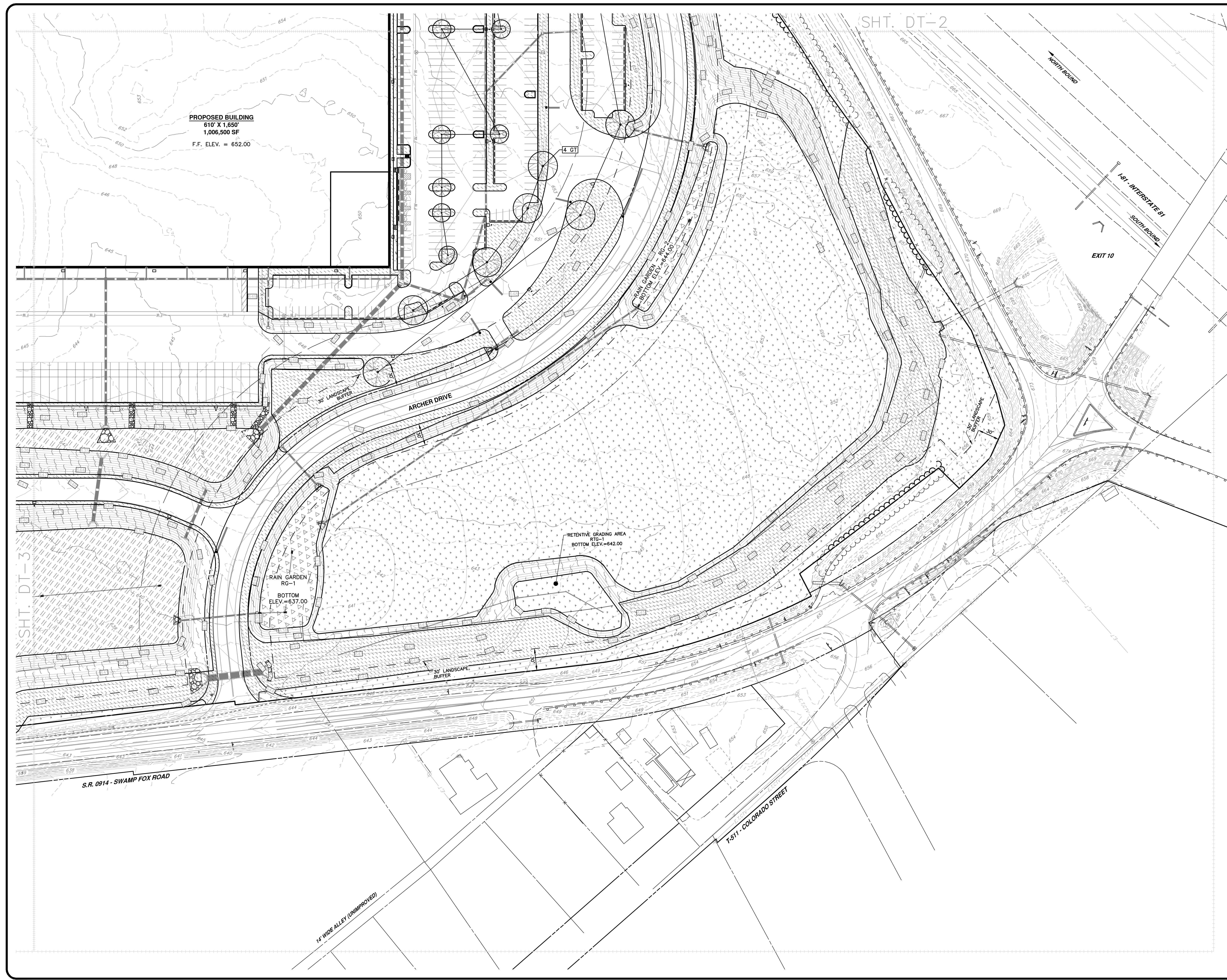
ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
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DETAIL LANDSCAPING PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

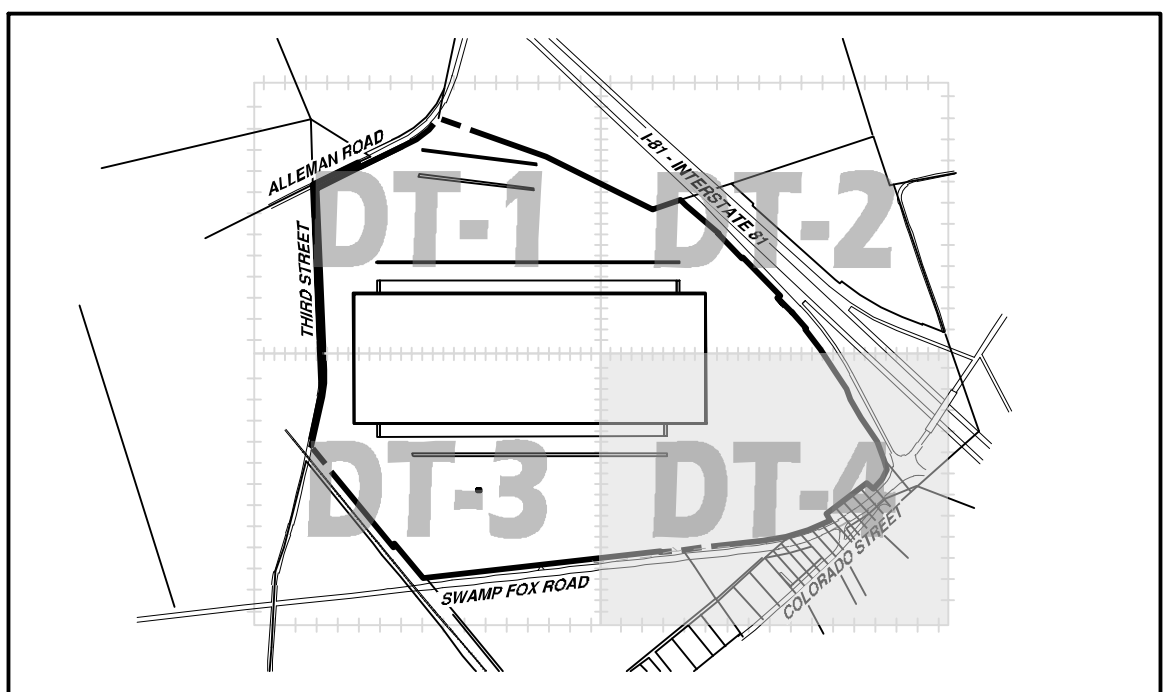
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DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
LA-DT-3
SHEET NO.
20 OF 51
PROJECT R008499.0425

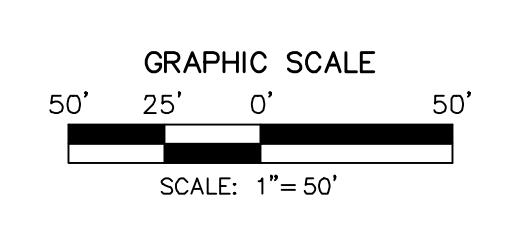
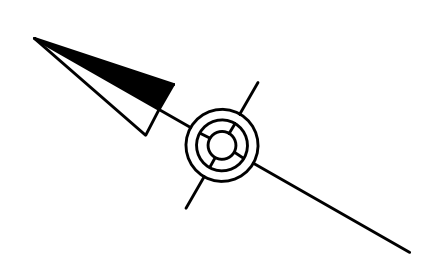


SHT. DT-2

PROPOSED BUILDING
610' X 1,650'
1,006,500 SF
F.F. ELEV. = 652.00

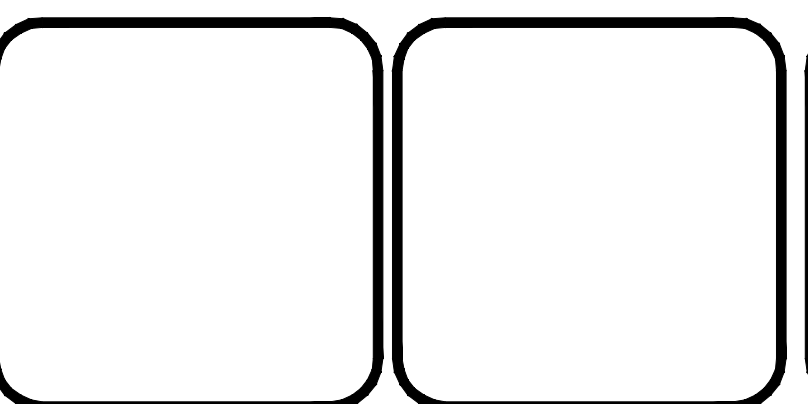


DETAIL SHEET KEY
SCALE: 1" = 900'



- LEGEND**
- PROPOSED PROPERTY LINE
 - - - PROPOSED EASEMENT
 - - - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
 - PROPOSED CONTOUR
 - x 410.00 PROPOSED SPOT ELEVATION
 - ▭ PROPOSED CURB
 - ▭ PROPOSED CONCRETE SIDEWALK
 - x- PROPOSED FENCE
 - ▭ PROPOSED STORM SEWER & INLET
 - PROPOSED EVERGREEN - 6" MIN. HEIGHT AT TIME OF PLANTING
 - PROPOSED DECIDUOUS TREE
 - ~ Existing Tree/Brush Line to Remain
 - ~ Existing Tree/Brush Line to be Removed
 - ▨ MAINTAINED LAWN - SEE SEEDING SCHEDULE
 - ▨ MEADOW - SEE SEEDING SCHEDULE
 - ▨ MEADOW 3:1 - SEE SEEDING SCHEDULE
 - ▨ STORMWATER BASIN BOTTOMS - SEE SEEDING SCHEDULE
 - ▨ RAIN GARDENS - SEE SEEDING SCHEDULE

NO.	REVISION	DATE	BY
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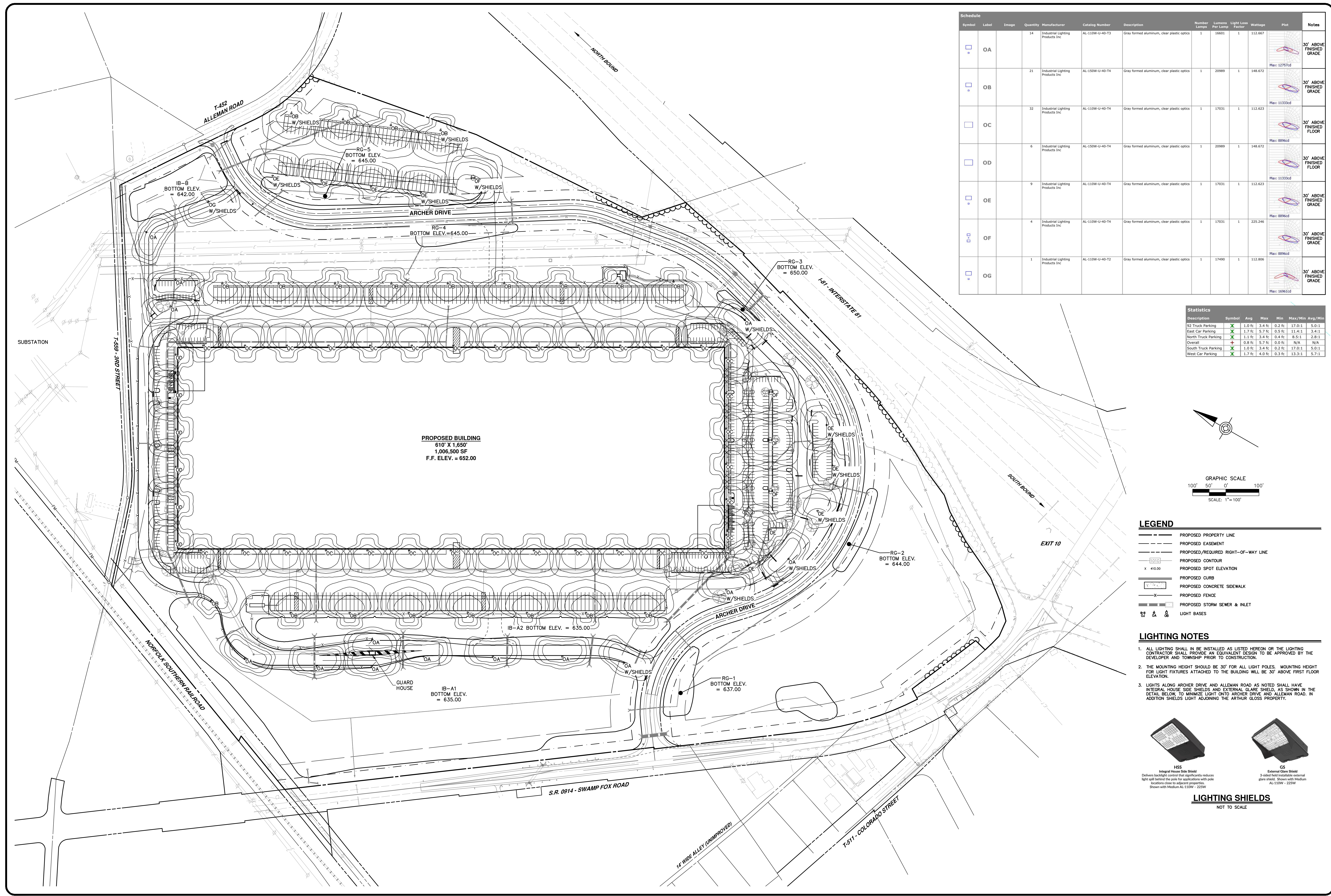
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DETAIL LANDSCAPING PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB
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DRAWING NO.
LA-DT-4
SHEET NO.
21 OF 51
PROJECT R008499.0425

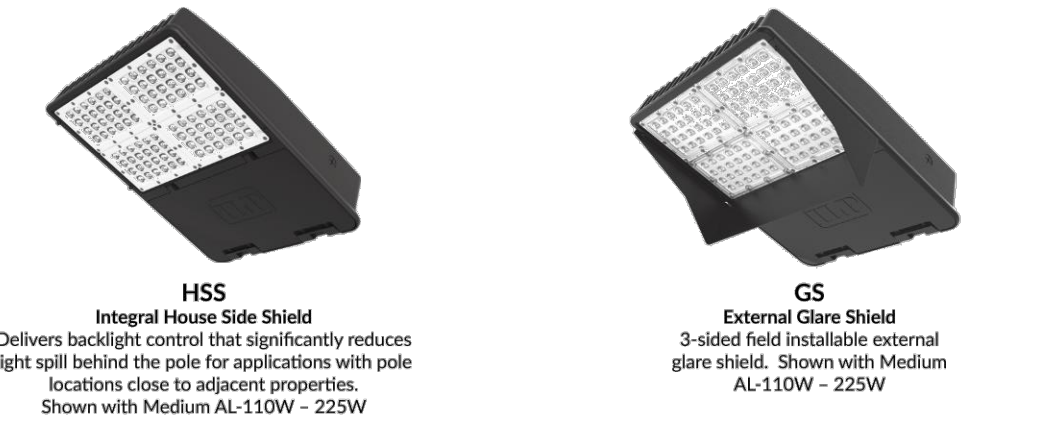


Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot	Notes
OA			14	Industrial Lighting Products Inc.	AL-110W-U-40-T3	Gray formed aluminum, clear plastic optics	1	16601	1	112,667		30' ABOVE FINISHED GRADE
OB			21	Industrial Lighting Products Inc.	AL-150W-U-40-T4	Gray formed aluminum, clear plastic optics	1	20989	1	148,672		30' ABOVE FINISHED GRADE
OC			32	Industrial Lighting Products Inc.	AL-110W-U-40-T4	Gray formed aluminum, clear plastic optics	1	17031	1	112,623		30' ABOVE FINISHED FLOOR
OD			6	Industrial Lighting Products Inc.	AL-150W-U-40-T4	Gray formed aluminum, clear plastic optics	1	20989	1	148,672		30' ABOVE FINISHED FLOOR
OE			9	Industrial Lighting Products Inc.	AL-110W-U-40-T4	Gray formed aluminum, clear plastic optics	1	17031	1	112,623		30' ABOVE FINISHED GRADE
OF			4	Industrial Lighting Products Inc.	AL-110W-U-40-T4	Gray formed aluminum, clear plastic optics	1	17031	1	225,246		30' ABOVE FINISHED GRADE
OG			1	Industrial Lighting Products Inc.	AL-110W-U-40-T2	Gray formed aluminum, clear plastic optics	1	17490	1	112,806		30' ABOVE FINISHED GRADE

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
92 Truck Parking	X	1.0 fc	3.4 fc	0.2 fc	17.0:1	5.0:1
East Car Parking	X	1.7 fc	5.7 fc	0.5 fc	11.4:1	3.4:1
North Truck Parking	X	1.1 fc	3.4 fc	0.4 fc	8.5:1	2.8:1
Overall	+	0.8 fc	5.7 fc	0.0 fc	N/A	N/A
South Truck Parking	X	1.0 fc	3.4 fc	0.2 fc	17.0:1	5.0:1
West Car Parking	X	1.7 fc	4.0 fc	0.3 fc	13.3:1	5.7:1

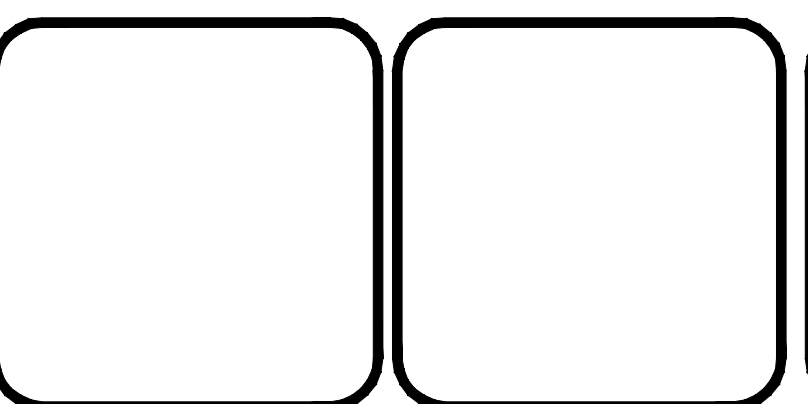
- LEGEND**
- PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT
 - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
 - PROPOSED CONTOUR
 - X 410.00 PROPOSED SPOT ELEVATION
 - PROPOSED CURB
 - PROPOSED CONCRETE SIDEWALK
 - X PROPOSED FENCE
 - PROPOSED STORM SEWER & INLET
 - LIGHT BASES

- LIGHTING NOTES**
- ALL LIGHTING SHALL BE INSTALLED AS LISTED HEREON OR THE LIGHTING CONTRACTOR SHALL PROVIDE AN EQUIVALENT DESIGN TO BE APPROVED BY THE DEVELOPER AND TOWNSHIP PRIOR TO CONSTRUCTION.
 - THE MOUNTING HEIGHT SHOULD BE 30' FOR ALL LIGHT POLES. MOUNTING HEIGHT FOR LIGHT FIXTURES ATTACHED TO THE BUILDING WILL BE 30' ABOVE FIRST FLOOR ELEVATION.
 - LIGHTS ALONG ARCHER DRIVE AND ALLEMAN ROAD AS NOTED SHALL HAVE INTEGRAL HOUSE SIDE SHIELDS AND EXTERNAL GLARE SHIELD, AS SHOWN IN THE DETAIL BELOW, TO MINIMIZE LIGHT ONTO ARCHER DRIVE AND ALLEMAN ROAD. IN ADDITION SHIELDS LIGHT ADJOINING THE ARTHUR GLOSS PROPERTY.



LIGHTING SHIELDS
NOT TO SCALE

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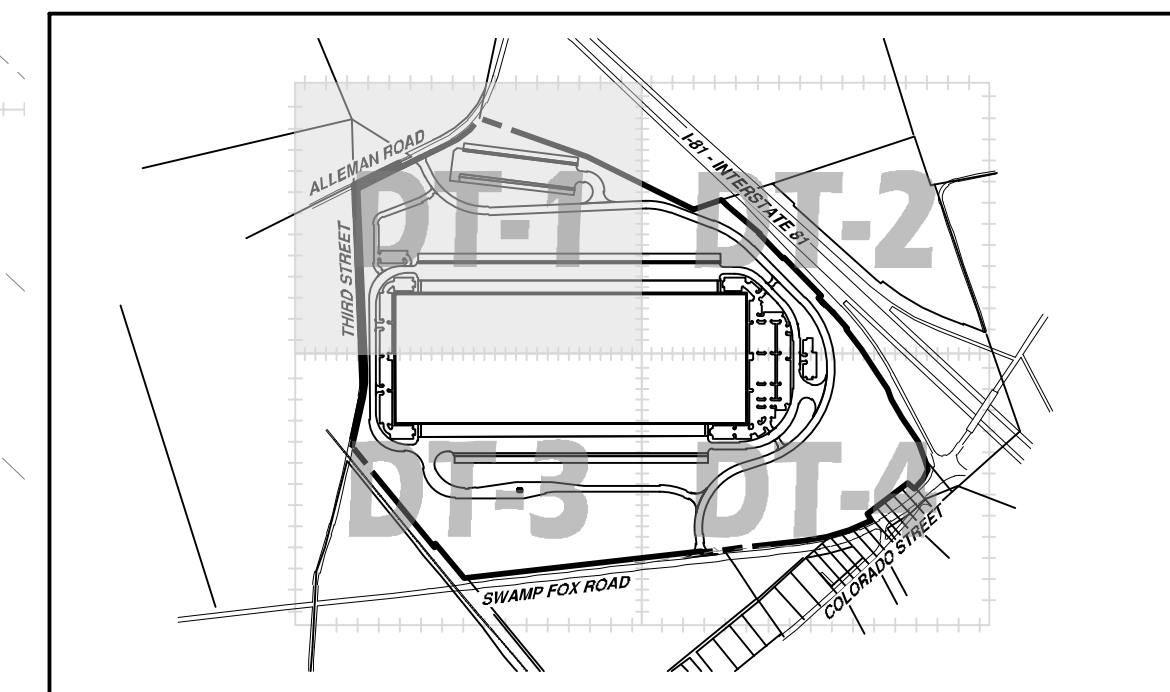
ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

OVERALL LIGHTING PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

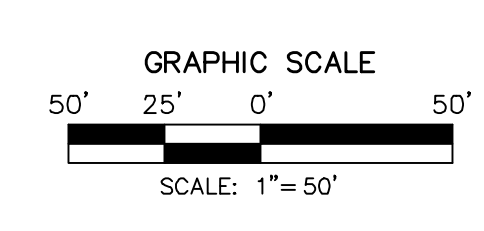
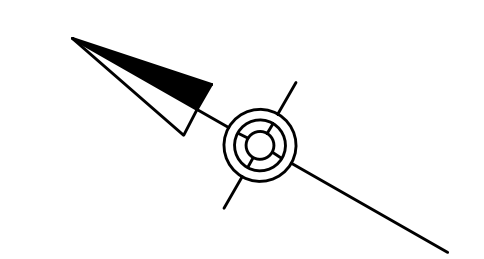
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
LI-OA
SHEET NO.
22 OF 51
PROJECT R008499.0425

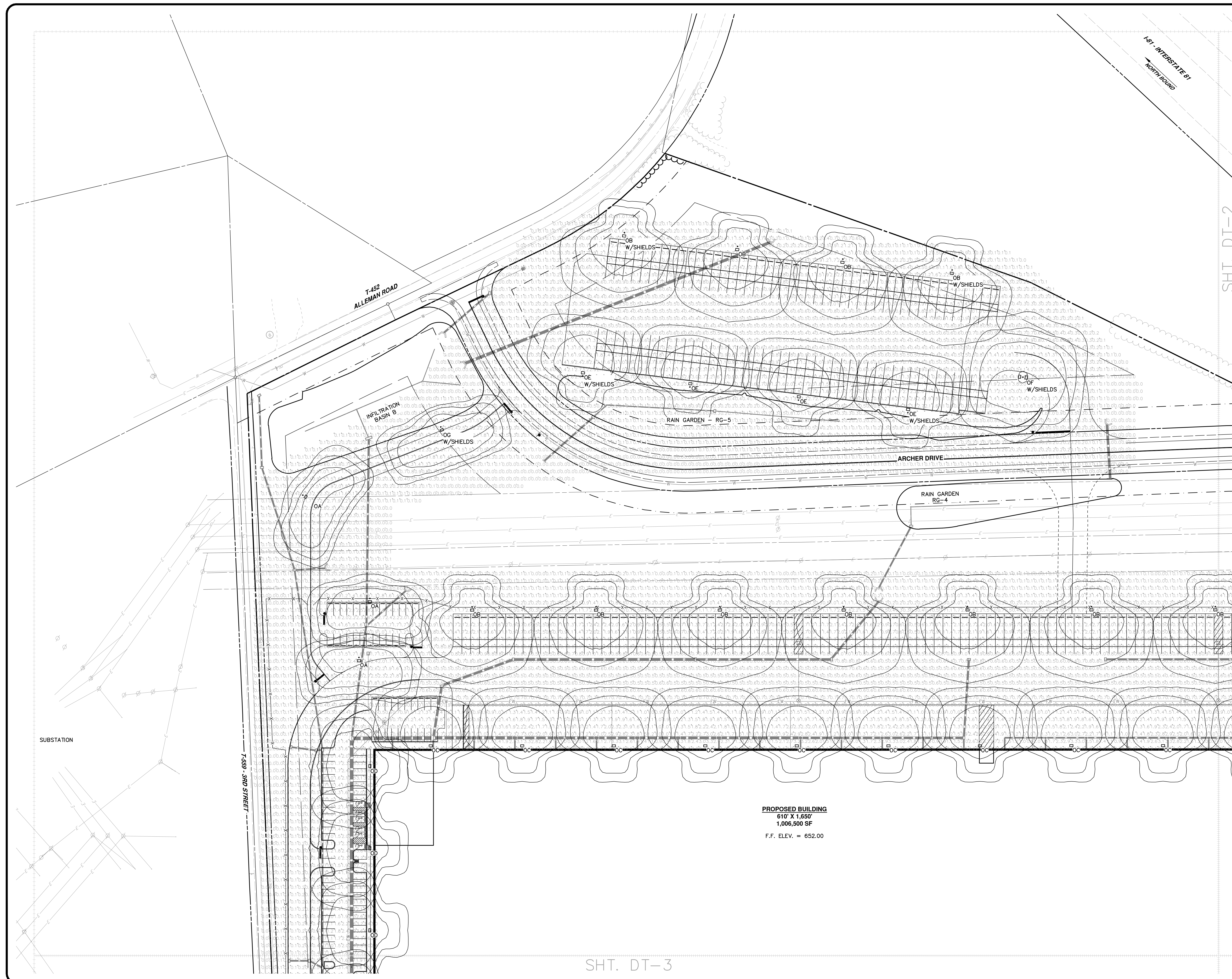


DETAIL SHEET KEY
SCALE: 1" = 900'

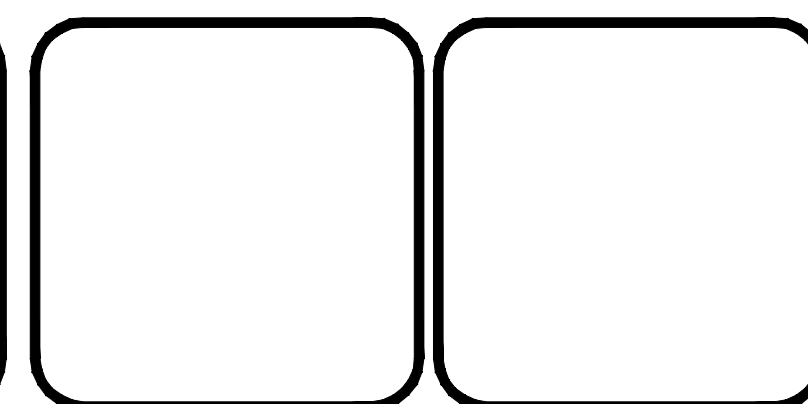


LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- PROPOSED CONTOUR
- X 410.00 PROPOSED SPOT ELEVATION
- PROPOSED CURB
- PROPOSED CONCRETE SIDEWALK
- X- PROPOSED FENCE
- PROPOSED STORM SEWER & INLET
- ○ ○ LIGHT BASES



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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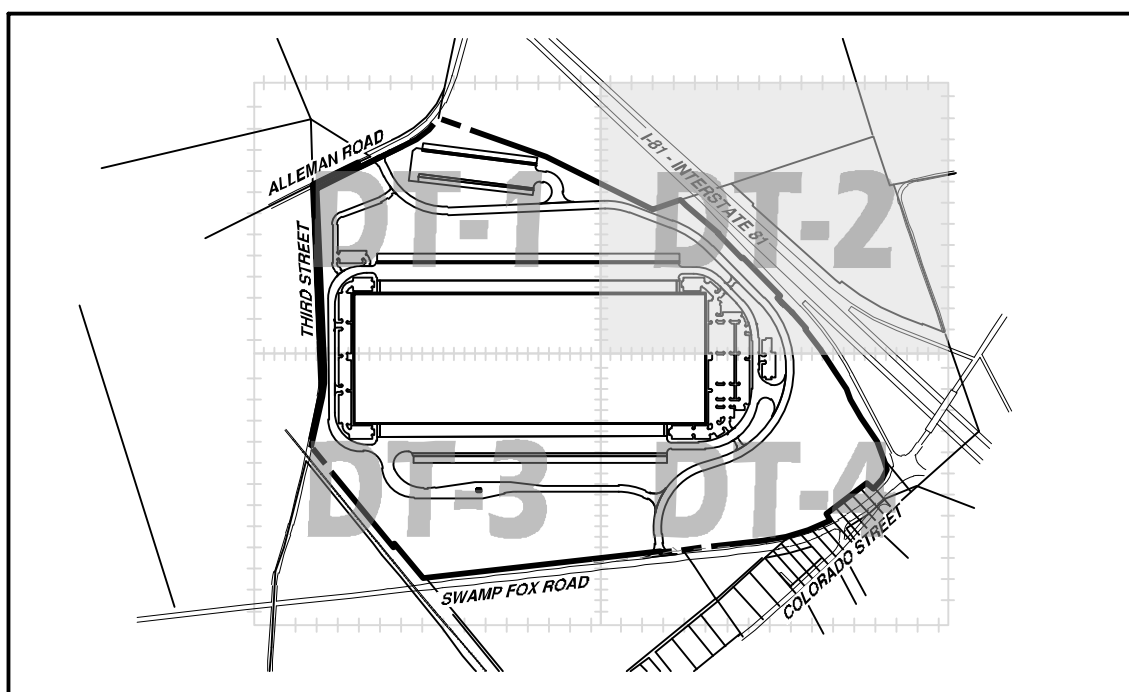
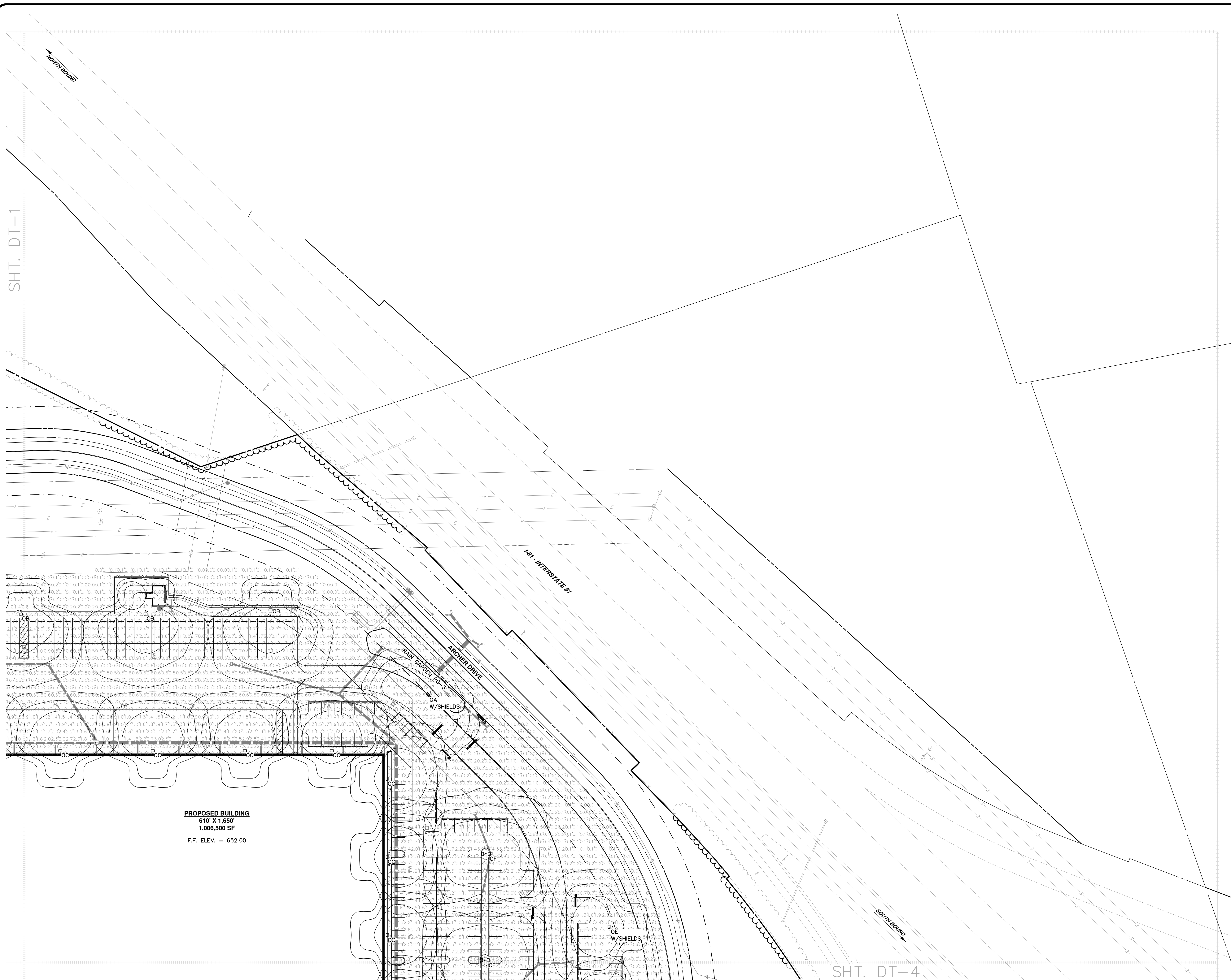
ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807

484-320-7808 OFFICE

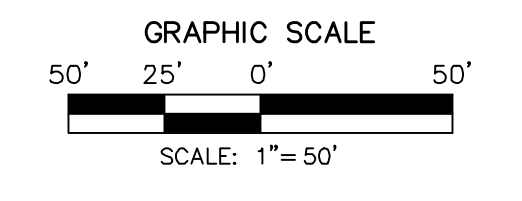
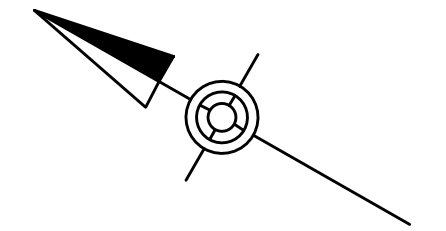
DETAIL LIGHTING PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB	DRAWING NO.
DESIGN - HED/CAC	LI-DT-1
CADD - TLB	SHEET NO.
CHECKED - SBB	23 OF 51
SCALE - AS SHOWN	PROJECT R008499.0425
DATE - 2021.08.24	



DETAIL SHEET KEY
SCALE: 1" = 900'

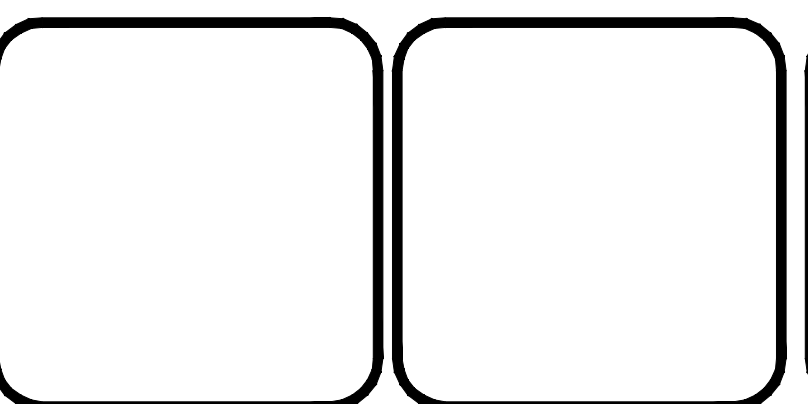


LEGEND

- PROPOSED PROPERTY LINE
- - - PROPOSED EASEMENT
- - - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- PROPOSED CONTOUR
- x 410.00 PROPOSED SPOT ELEVATION
- ▬ PROPOSED CURB
- ▬ PROPOSED CONCRETE SIDEWALK
- x- PROPOSED FENCE
- ▬▬▬ PROPOSED STORM SEWER & INLET
- ⊙ ⊙ ⊙ LIGHT BASES

PROPOSED BUILDING
610' X 1,650'
1,006,500 SF
F.F. ELEV. = 652.00

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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DETAIL LIGHTING PLAN
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. -- SBB
DESIGN -- HED/CAC
CADD -- TLB
CHECKED -- SBB
SCALE -- AS SHOWN
DATE -- 2021.08.24

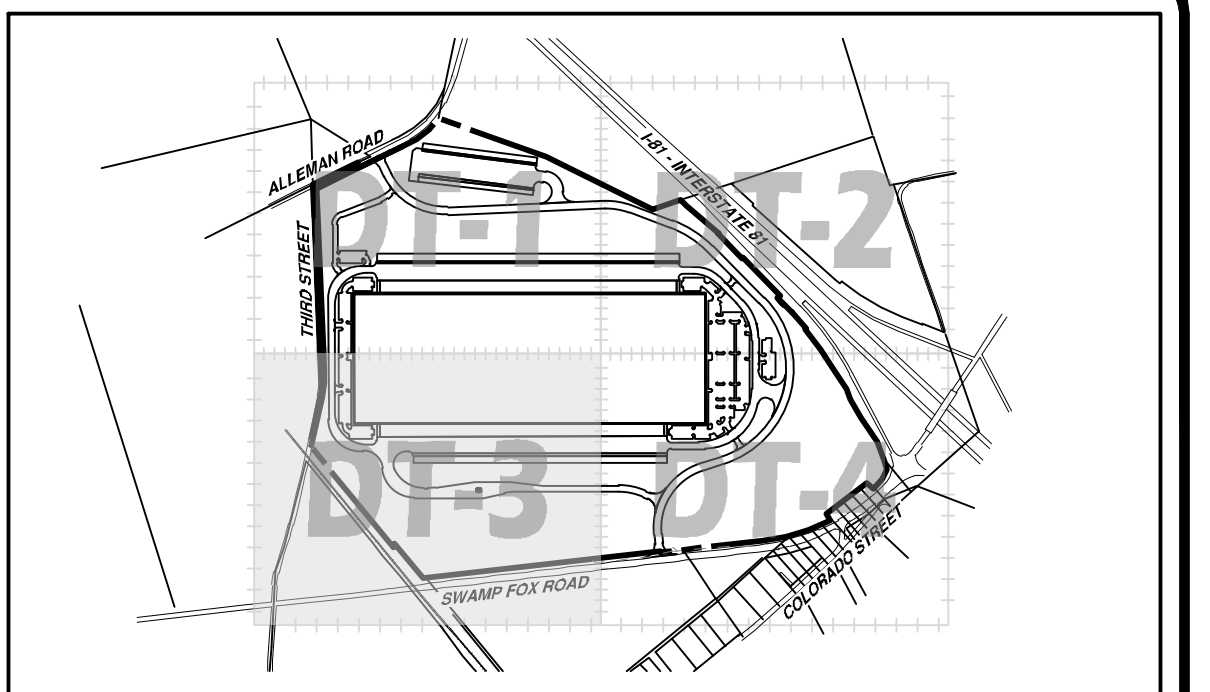
DRAWING NO.
LI-DT-2

SHEET NO.
24 OF 51

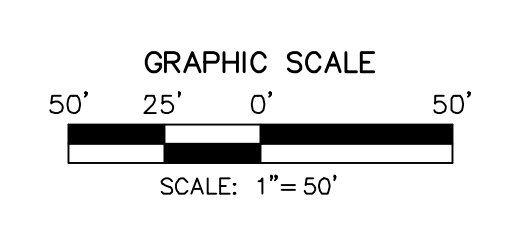
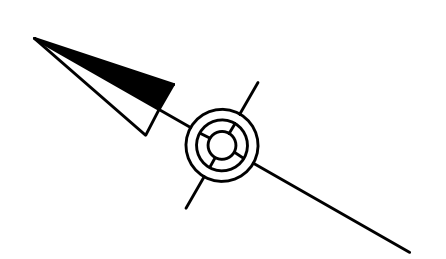
PROJECT R008499.0425

SHT. DT-1

PROPOSED BUILDING
 610' X 1,650'
 1,006,500 SF
 F.F. ELEV. = 652.00

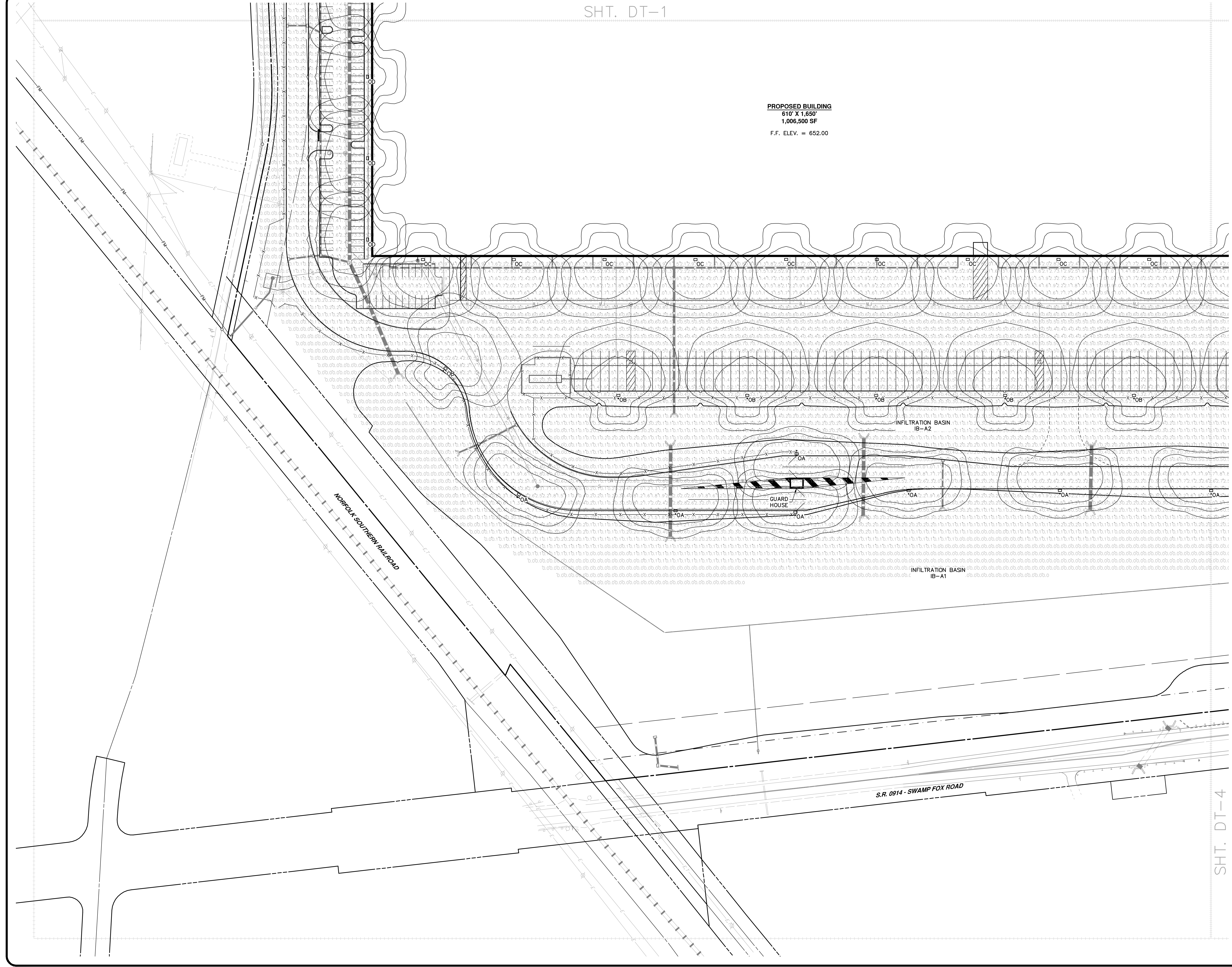


DETAIL SHEET KEY
 SCALE: 1" = 900'



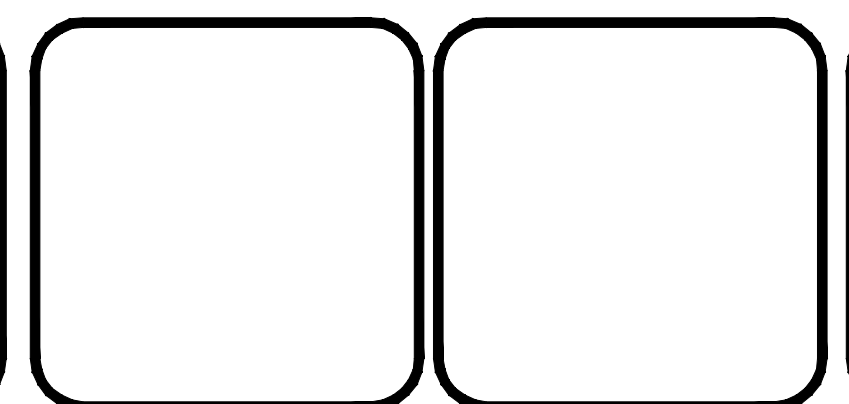
LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT
- PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- PROPOSED CONTOUR
- x 410.00 PROPOSED SPOT ELEVATION
- ▭ PROPOSED CURB
- ▭ PROPOSED CONCRETE SIDEWALK
- x- PROPOSED FENCE
- ▬ PROPOSED STORM SEWER & INLET
- LIGHT BASES



SHT. DT-4

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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 484-320-7808 OFFICE

DETAIL LIGHTING PLAN
 FOR
 ALLEMAN ROAD PROPERTY, LLC

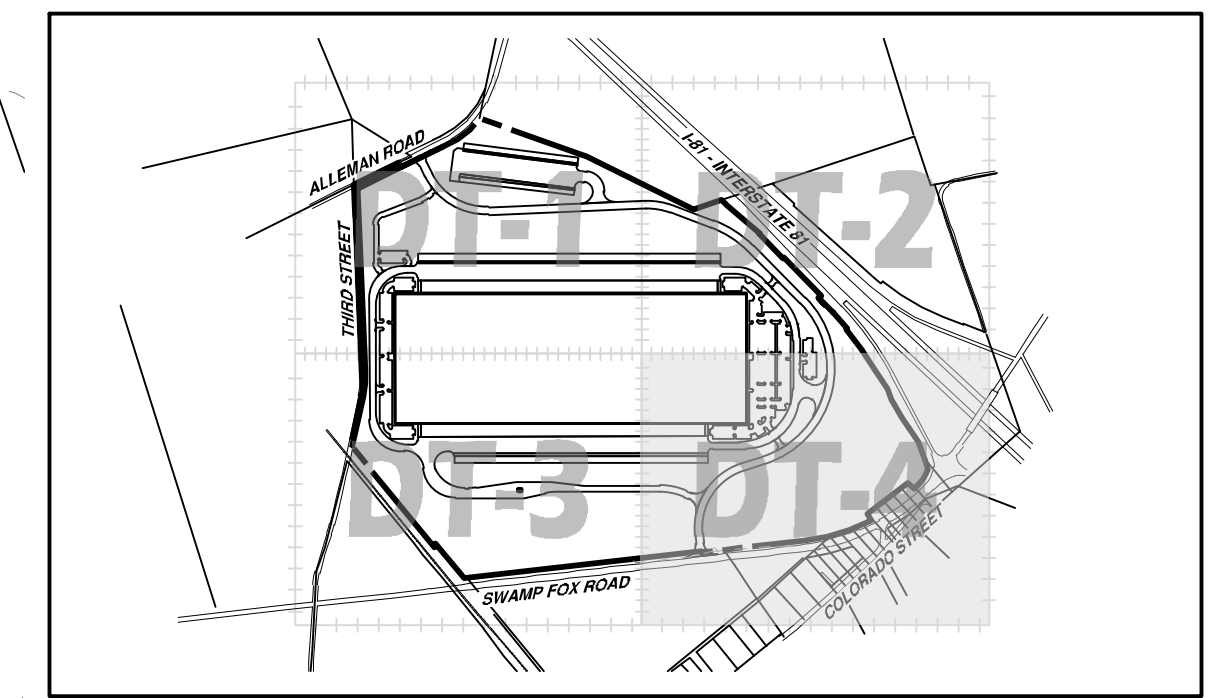
GUILFORD TOWNSHIP
 FRANKLIN COUNTY
 PENNSYLVANIA

PROJ. MGR. - SBB
 DESIGN - HED/CAC
 CADD - TLB
 CHECKED - SBB
 SCALE - AS SHOWN
 DATE - 2021.08.24

DRAWING NO.
LI-DT-3
 SHEET NO.
25 OF 51
 PROJECT R008499.0425

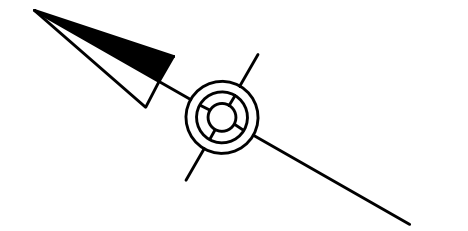
SHT. DT-2

PROPOSED BUILDING
61' X 1,650'
1,006,500 SF
F.F. ELEV. = 652.00



DETAIL SHEET KEY

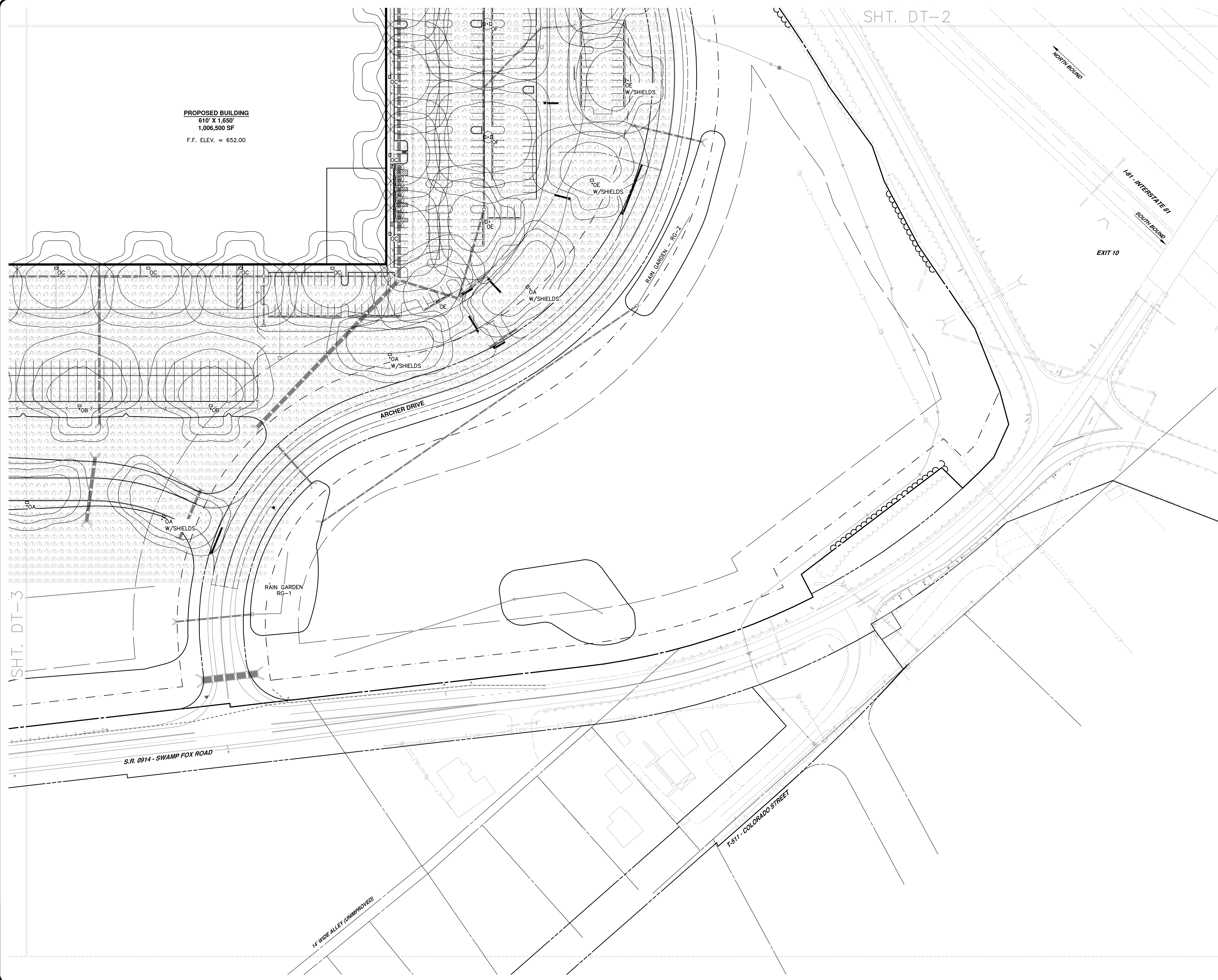
SCALE: 1" = 900'



GRAPHIC SCALE
50' 25' 0' 50'
SCALE: 1" = 50'

LEGEND

- PROPOSED PROPERTY LINE
- - - PROPOSED EASEMENT
- - - PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- PROPOSED CONTOUR
- x 410.00 PROPOSED SPOT ELEVATION
- ▭ PROPOSED CURB
- ▭ PROPOSED CONCRETE SIDEWALK
- x- PROPOSED FENCE
- ▬▬▬ PROPOSED STORM SEWER & INLET
- ○ ○ LIGHT BASES



SHT. DT-3

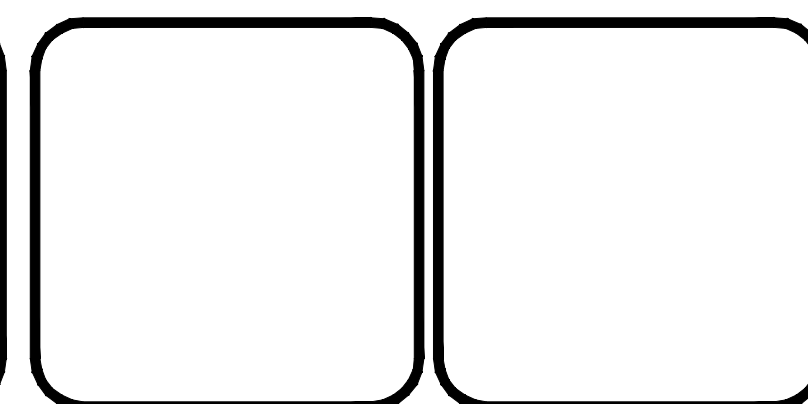
14' WIDE ALLEY (UNIMPROVED)

S.R. 0914 - SWAMP FOX ROAD

T-511 - COLORADO STREET

EXIT 10
I-95 INTERSTATE 95
NORTH BOUND
SOUTH BOUND

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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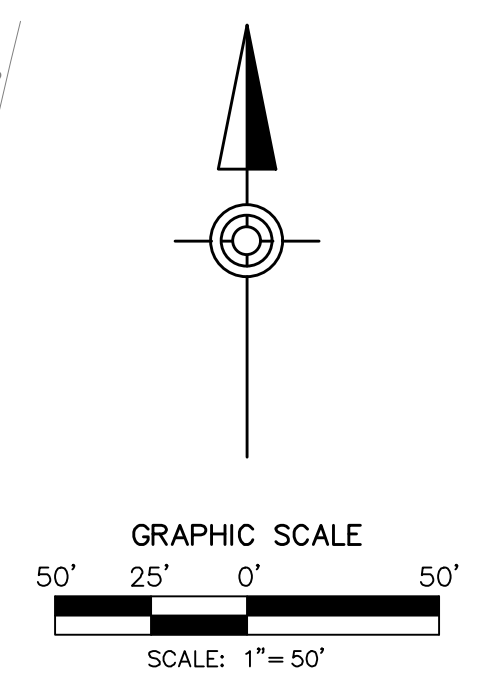
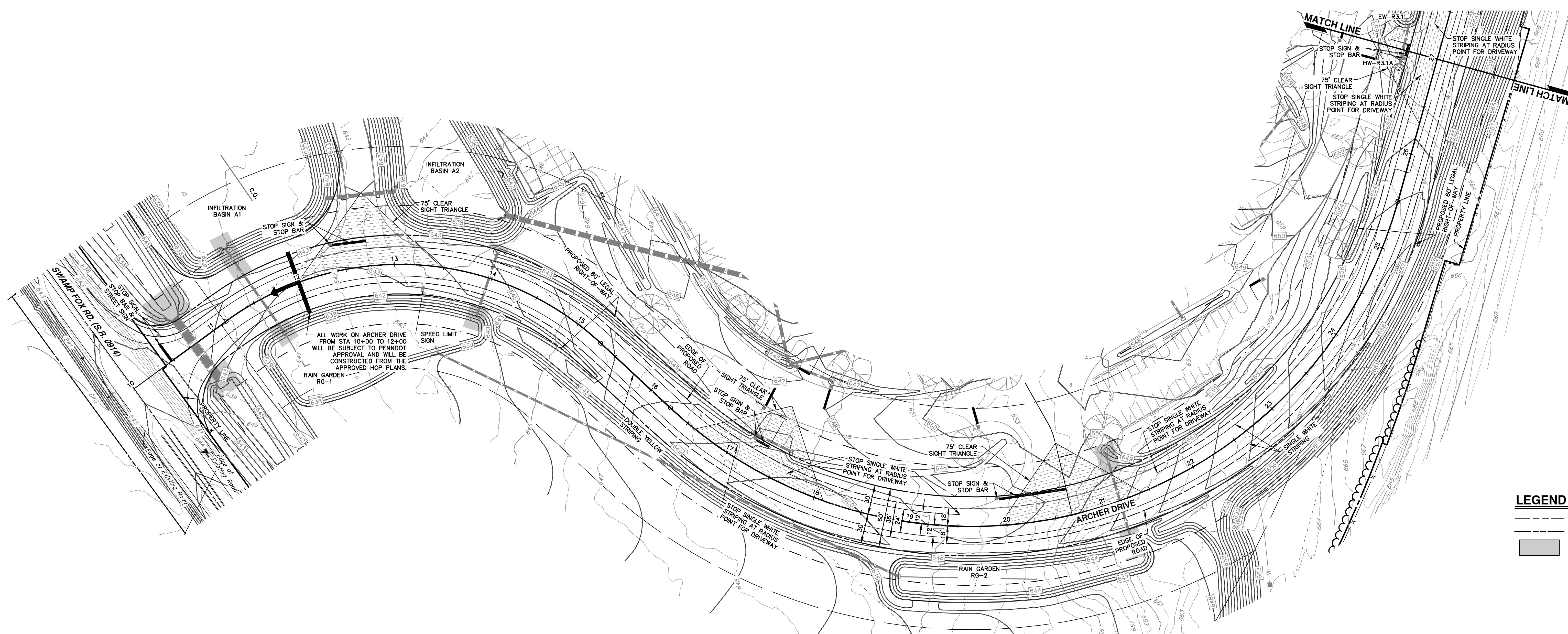
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DETAIL LIGHTING PLAN
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ALLEMAN ROAD PROPERTY, LLC

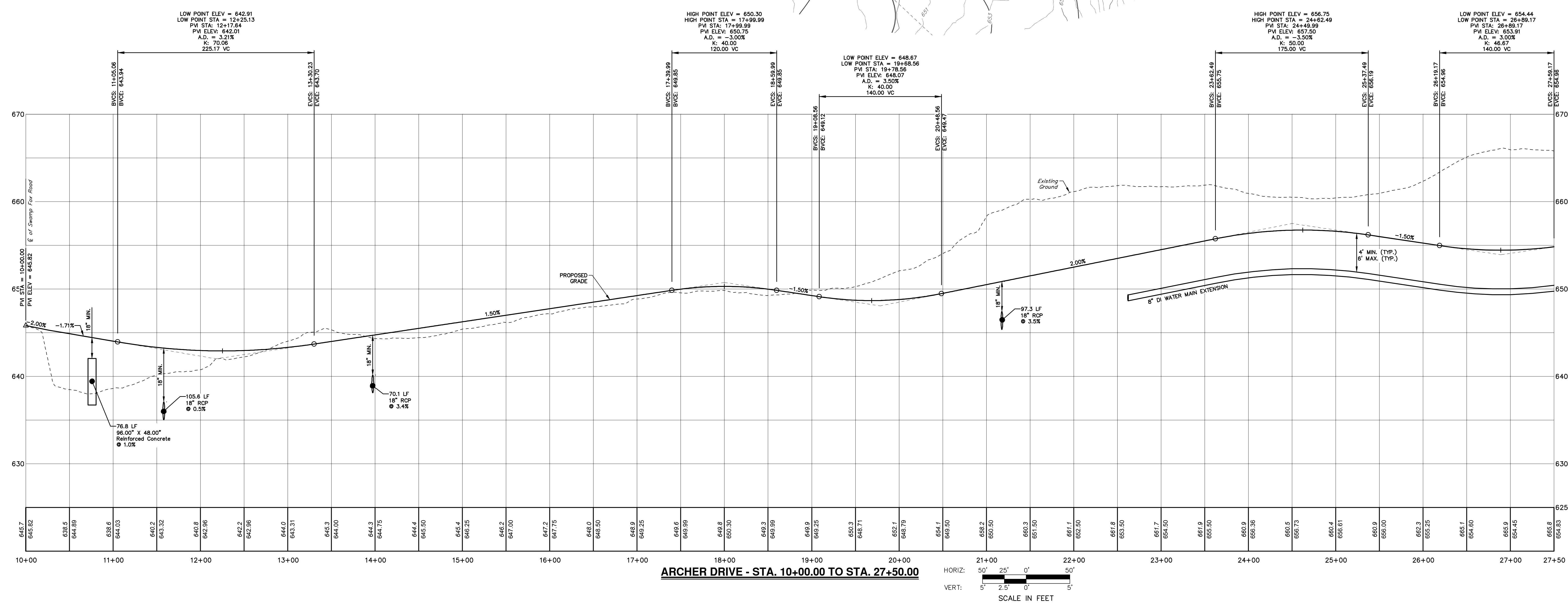
GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB	DRAWING NO.
DESIGN - HED/CAC	LI-DT-4
CADD - TLB	SHEET NO.
CHECKED - SBB	26 OF 51
SCALE - AS SHOWN	PROJECT R008499.0425
DATE - 2021.08.24	

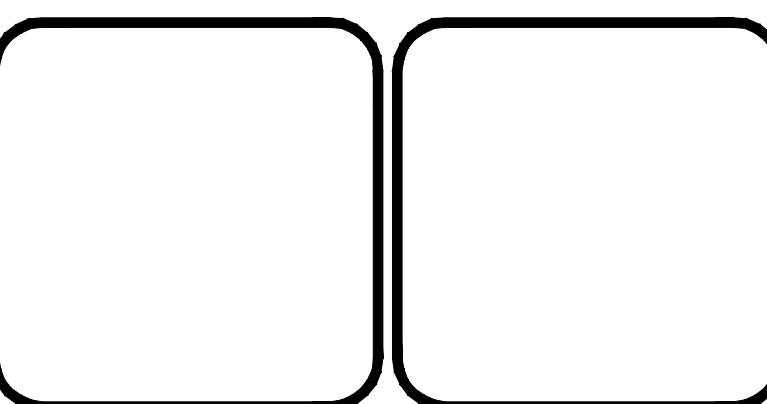


LEGEND

- PROPOSED EASEMENT
- PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- STORMWATER EASEMENT FOR ARCHER DRIVE - GUILFORD TOWNSHIP



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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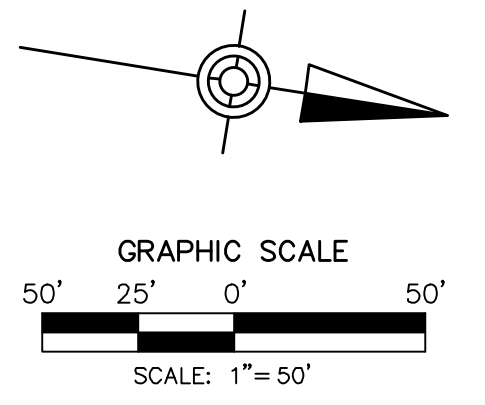
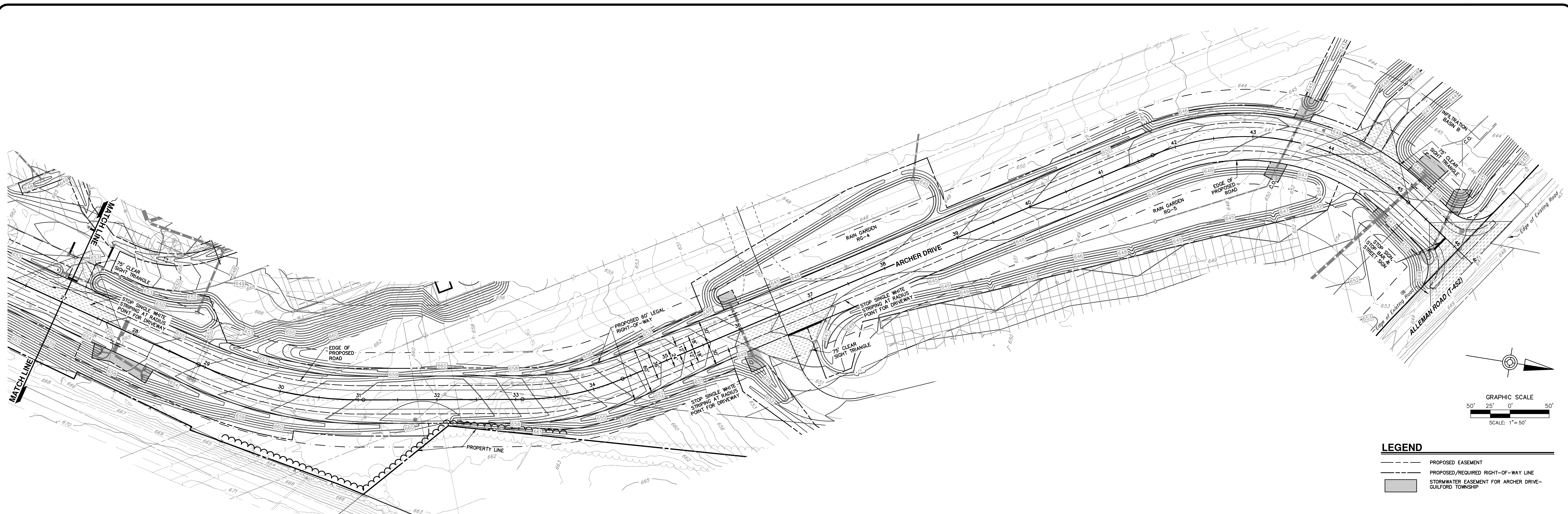
ALLEMAN ROAD PROPERTY, LLC
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ROADWAY PLAN & PROFILE - ARCHER DRIVE
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

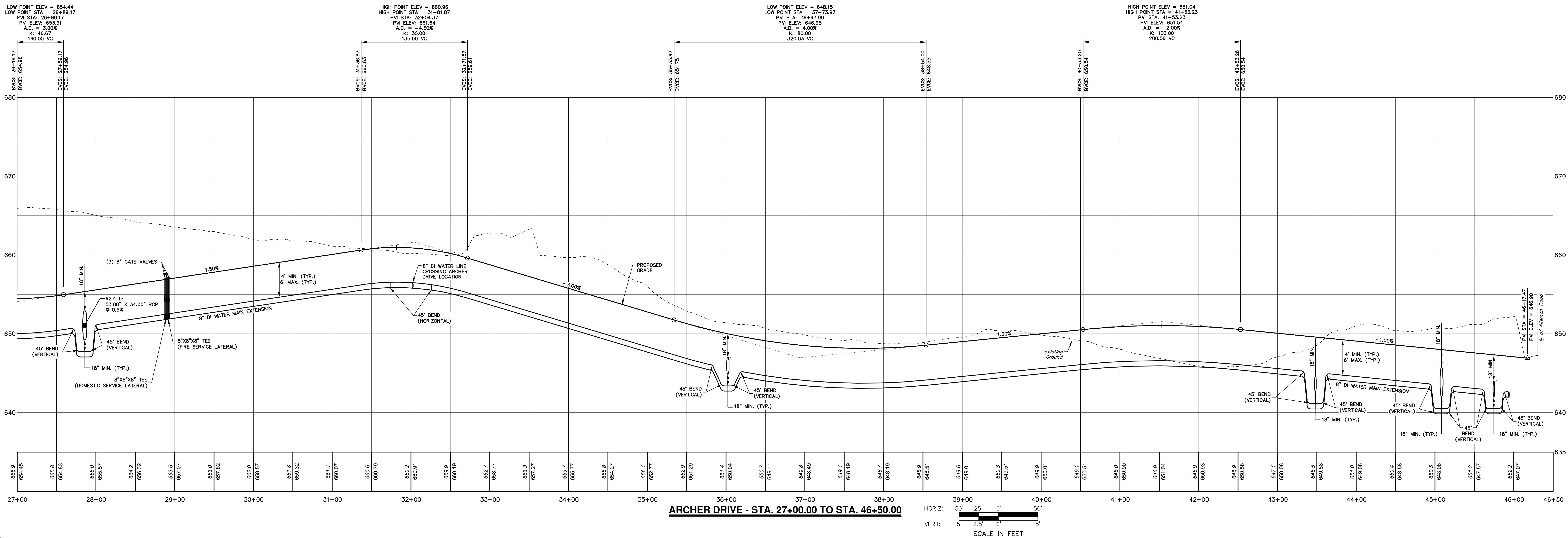
PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
PP-RD-1
SHEET NO.
27 OF 51
PROJECT R008499.0425

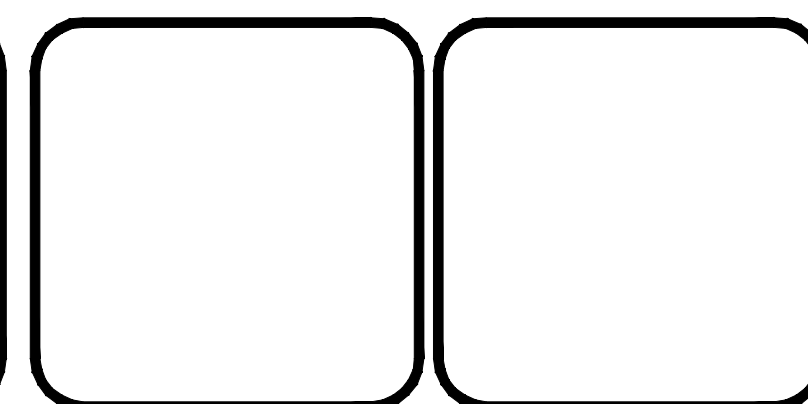


LEGEND

- PROPOSED EASEMENT
- PROPOSED/REQUIRED RIGHT-OF-WAY LINE
- STORMWATER EASEMENT FOR ARCHER DRIVE-GULFORD TOWNSHIP



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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484-320-7808 OFFICE

ROADWAY PLAN & PROFILE - ARCHER DRIVE
 FOR
 ALLEMAN ROAD PROPERTY, LLC

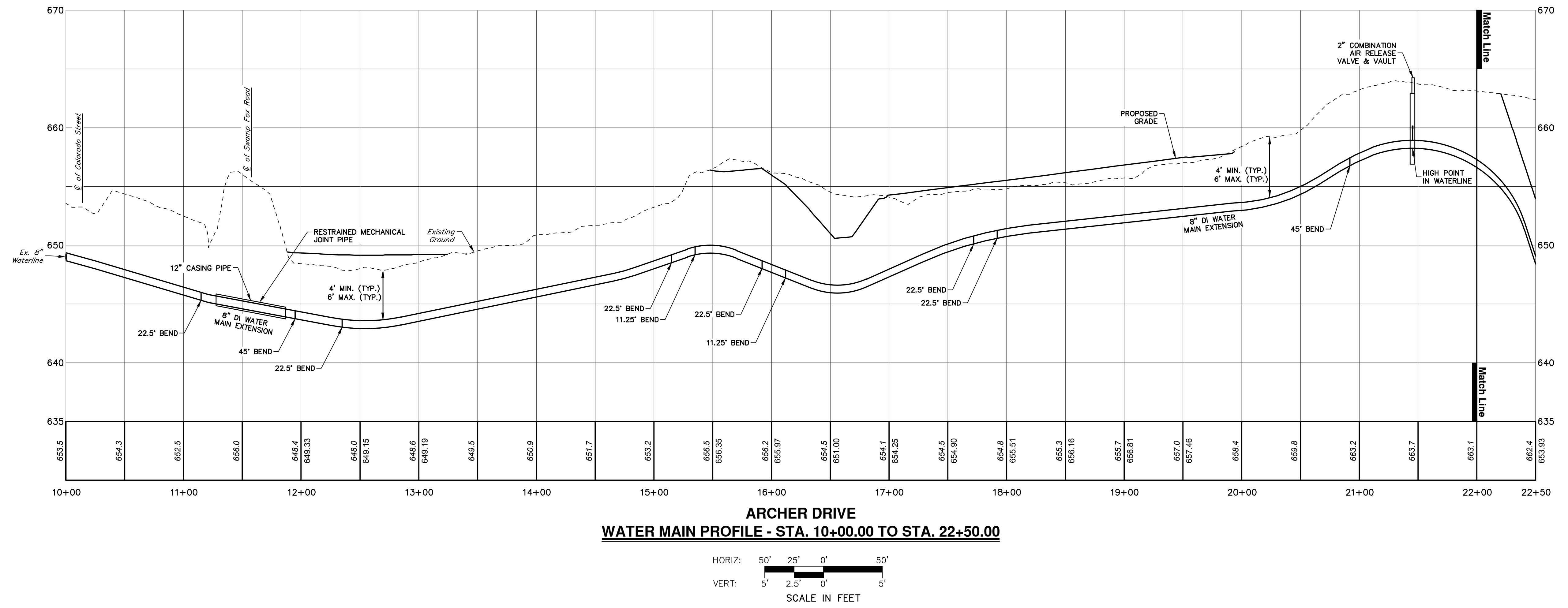
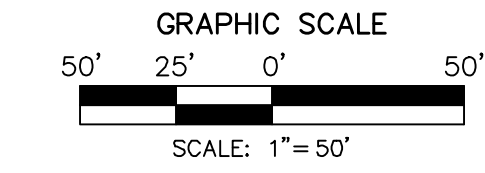
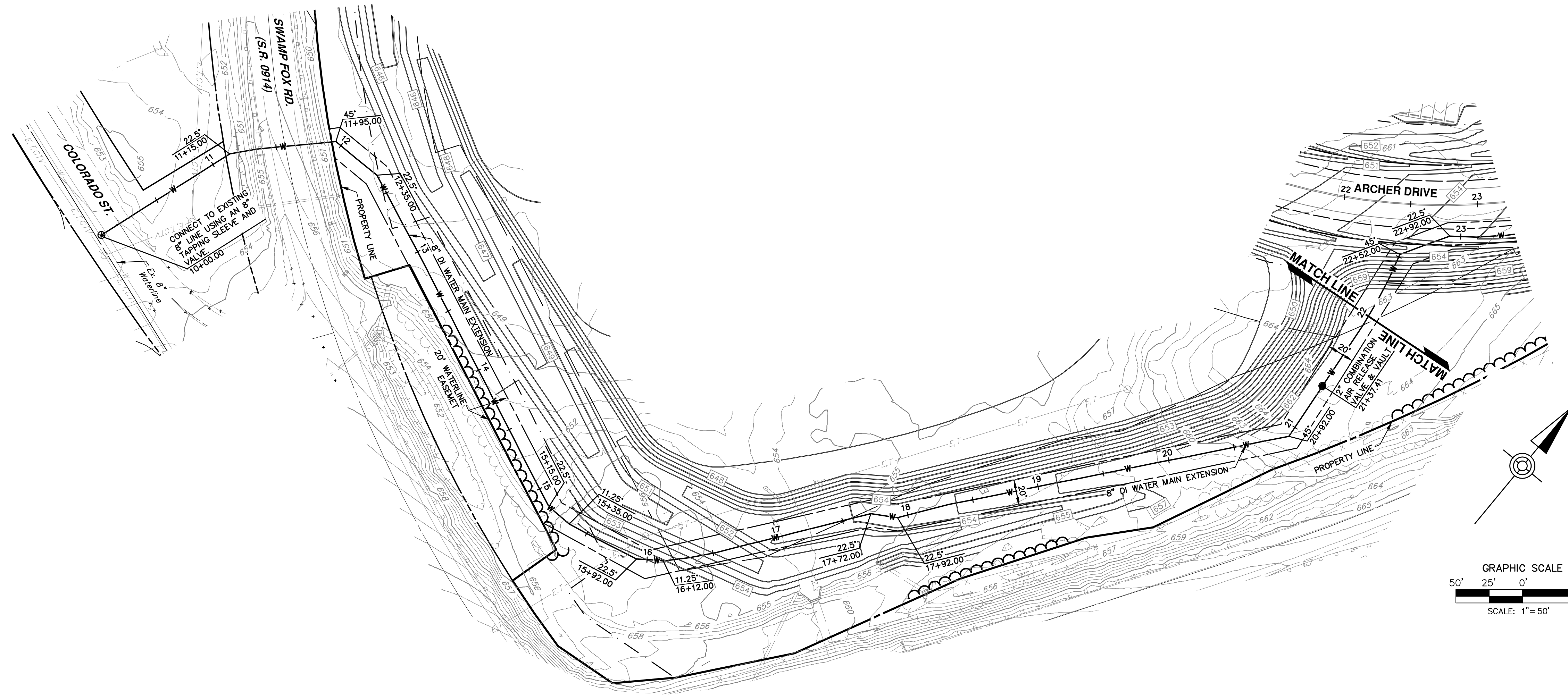
GULFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB
 DESIGN - HED/CAC
 CADD - TLB
 CHECKED - SBB
 SCALE - AS SHOWN
 DATE - 2021.08.24

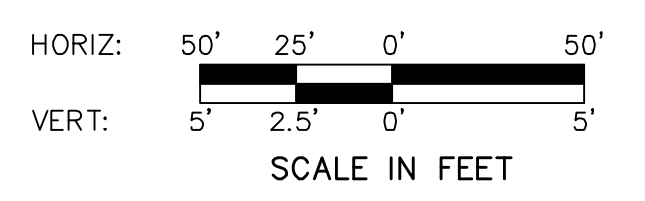
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PP-RD-2

SHEET NO.
28 OF 51

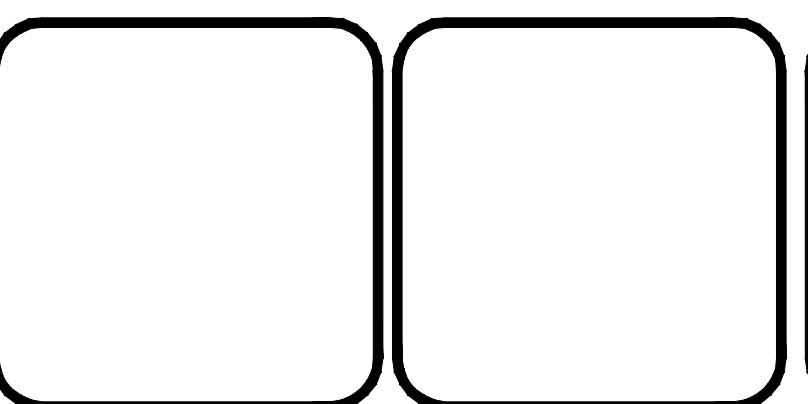
PROJECT R008499.0425



ARCHER DRIVE
WATER MAIN PROFILE - STA. 10+00.00 TO STA. 22+50.00



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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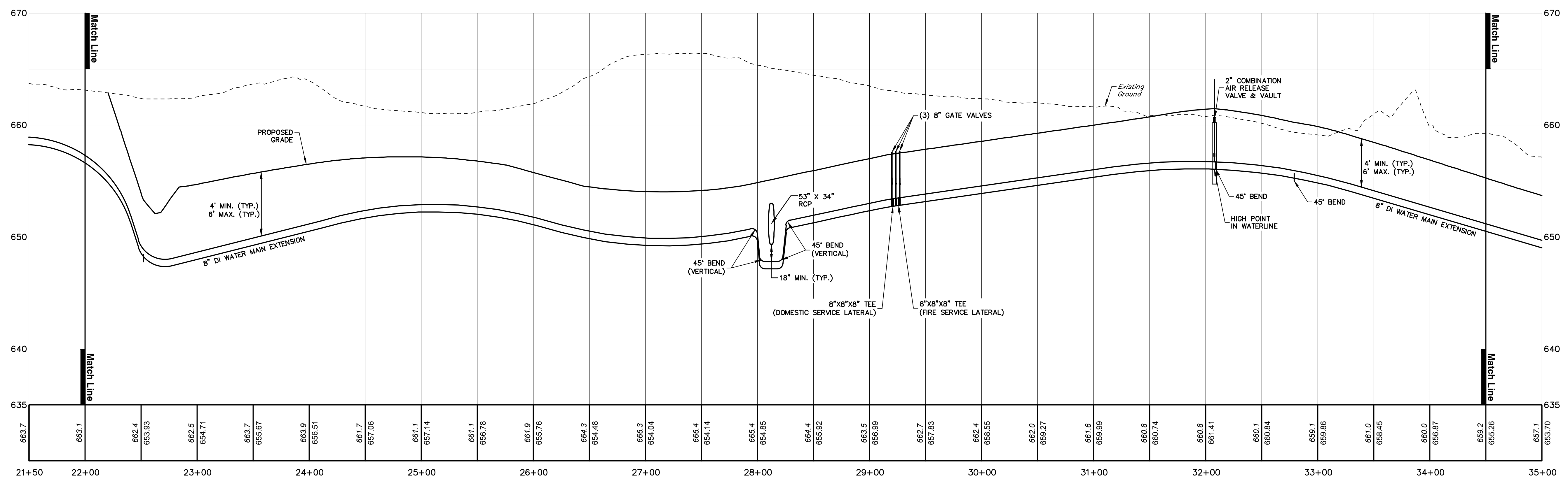
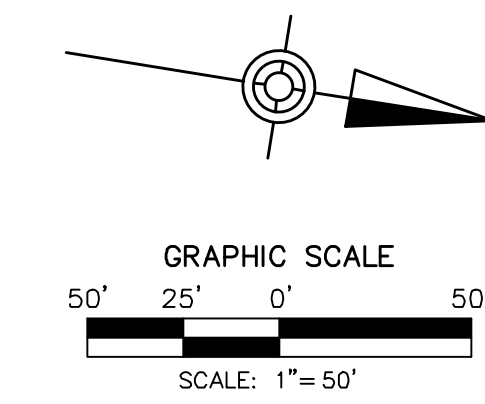
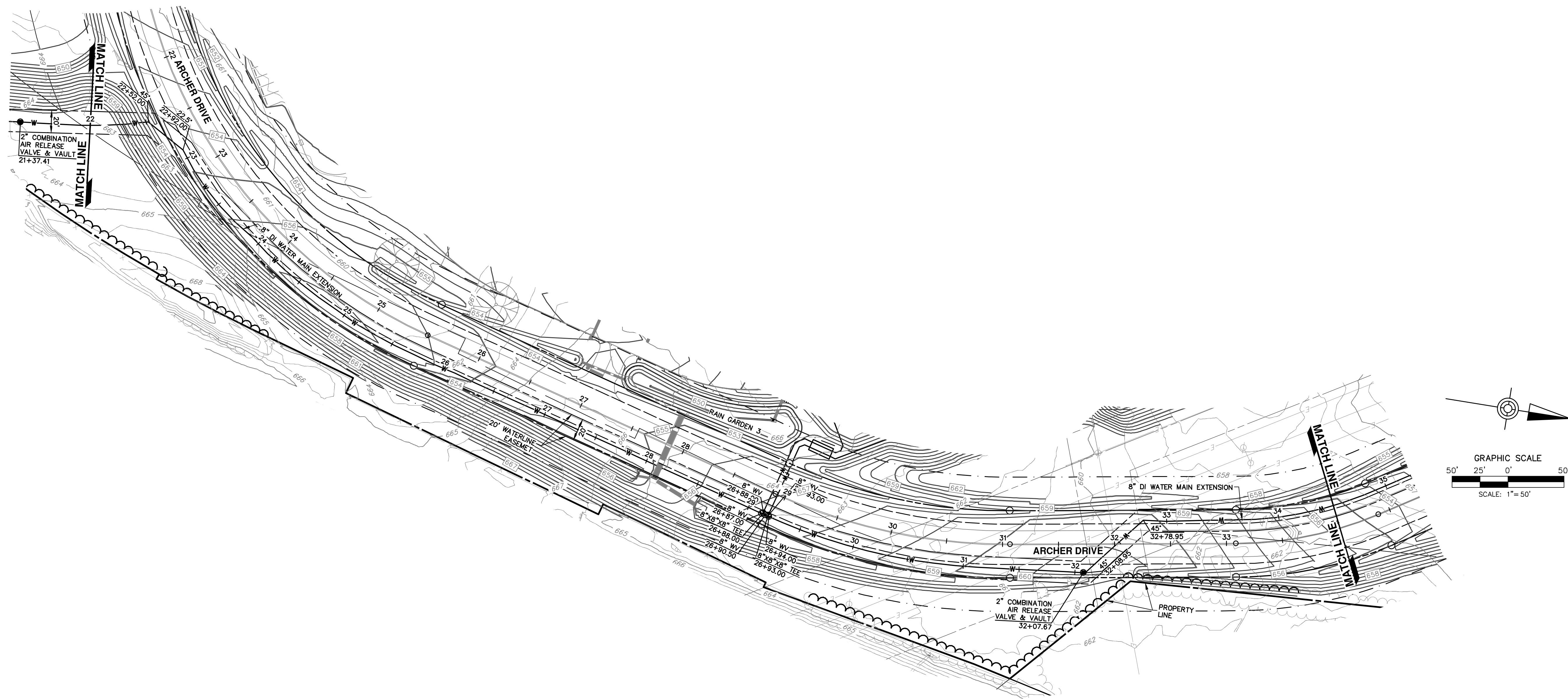
ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
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484-320-7808 OFFICE

WATER MAIN PLAN & PROFILE
FOR
ALLEMAN ROAD PROPERTY, LLC

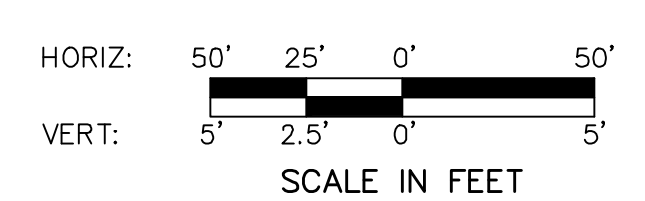
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

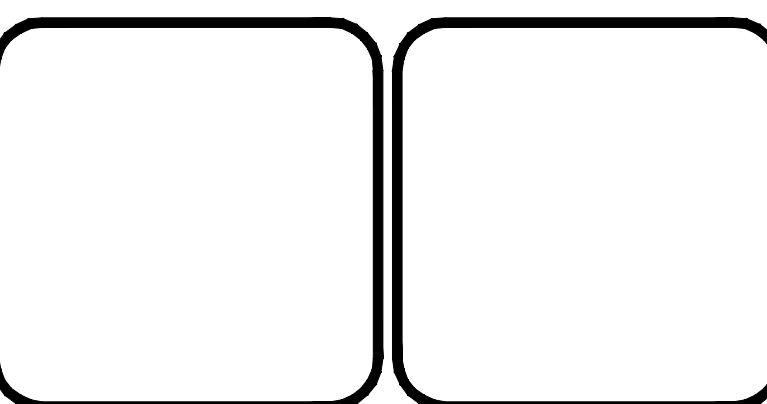
DRAWING NO.
PP-WAT-1
SHEET NO.
29 OF 51
PROJECT R008499.0429



**ARCHER DRIVE
WATER MAIN PROFILE - STA. 21+50.00 TO STA. 35+00.00**



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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**WATER MAIN PLAN & PROFILE
FOR
ALLEMAN ROAD PROPERTY, LLC**

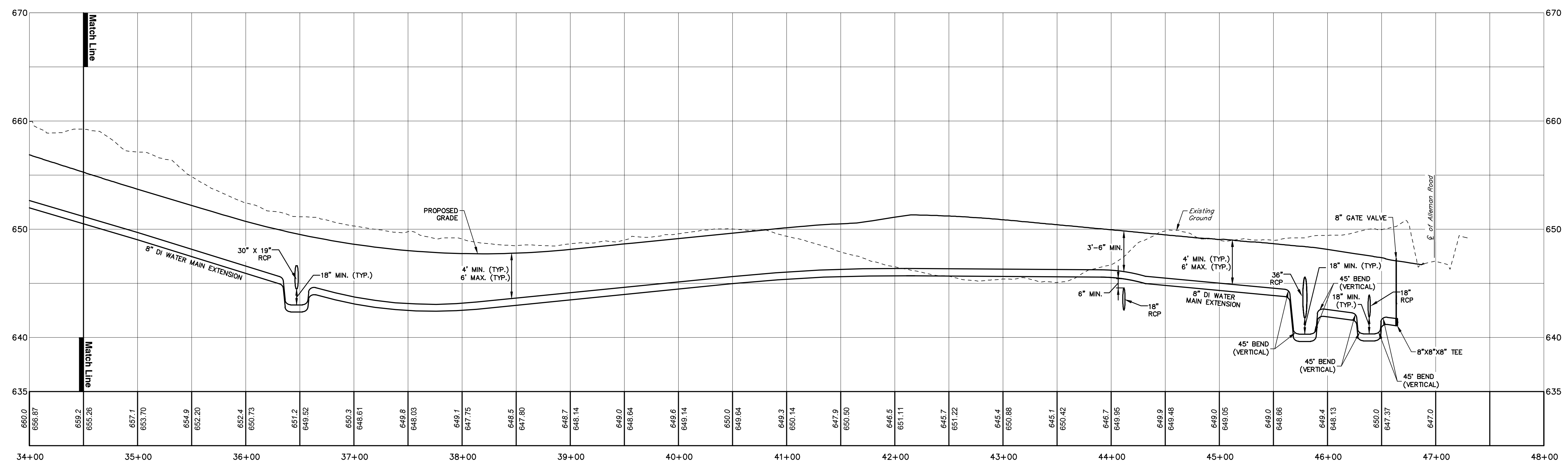
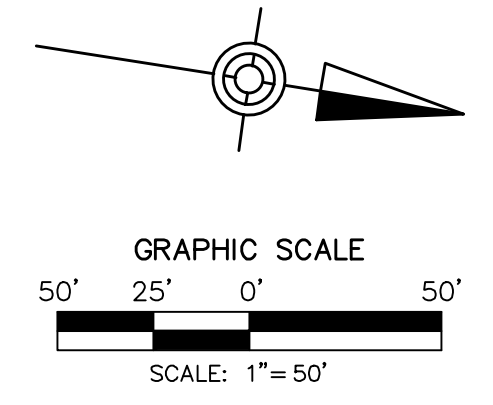
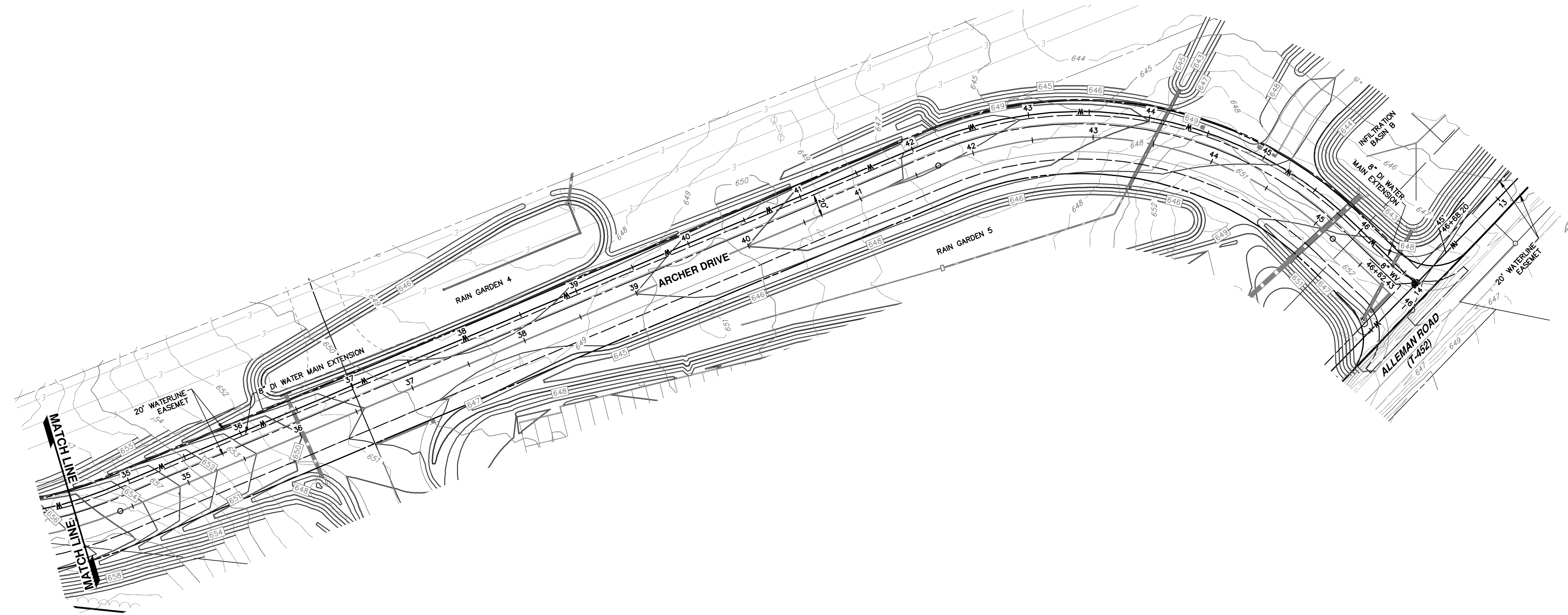
GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

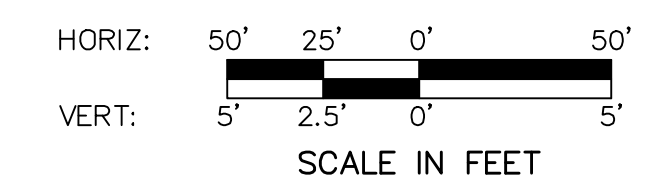
DRAWING NO.
PP-WAT-2

SHEET NO.
30 OF 51

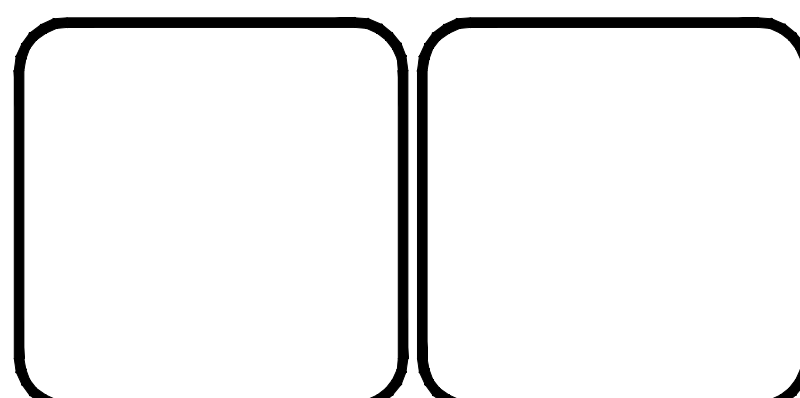
PROJECT R008499.0425



**ARCHER DRIVE
WATER MAIN PROFILE - STA. 34+00.00 TO STA. 50+00.00**



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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**WATER MAIN PLAN & PROFILE
FOR
ALLEMAN ROAD PROPERTY, LLC**

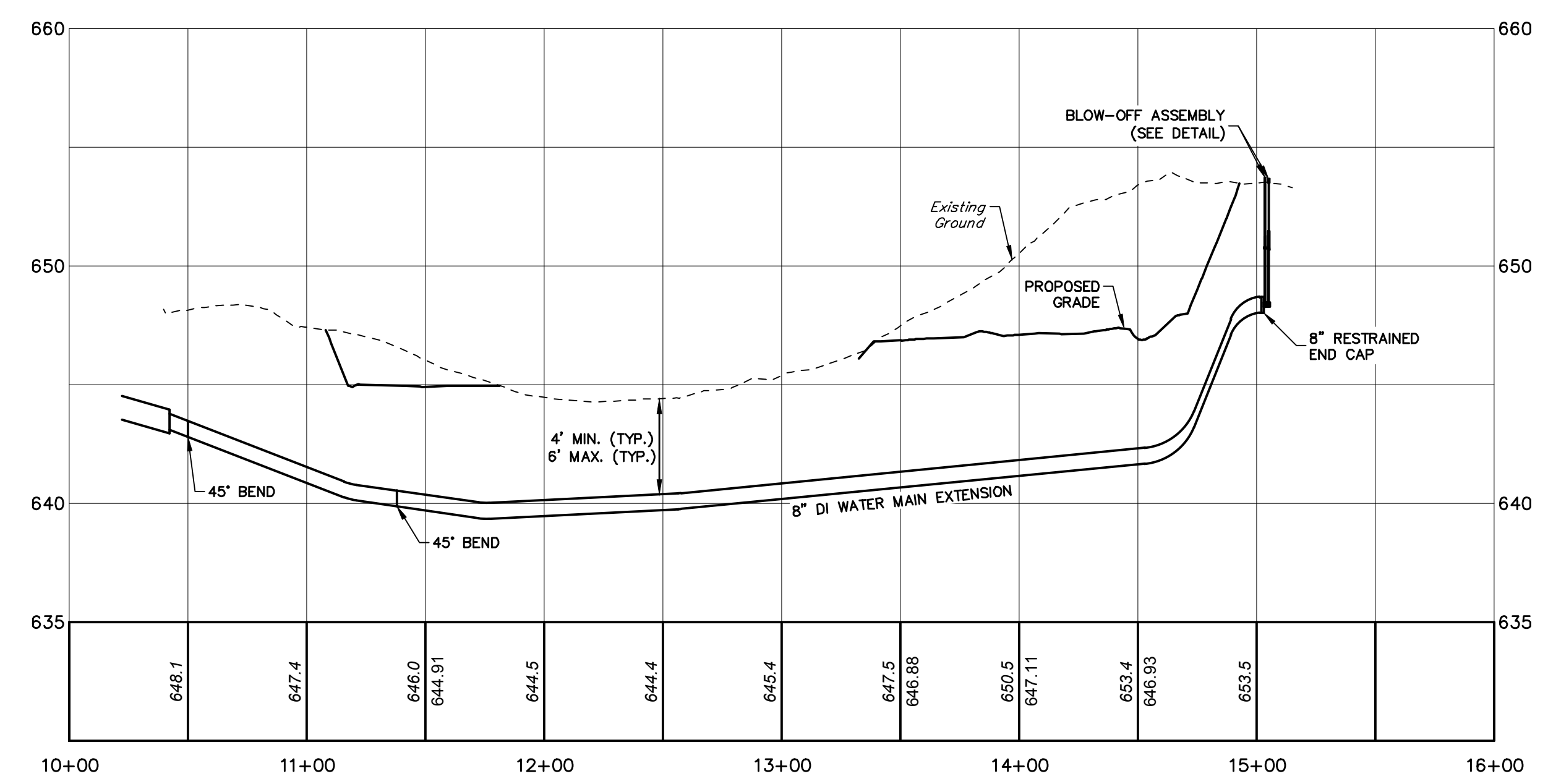
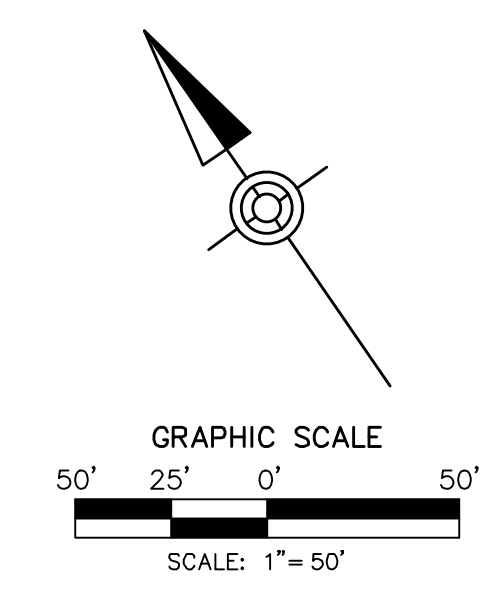
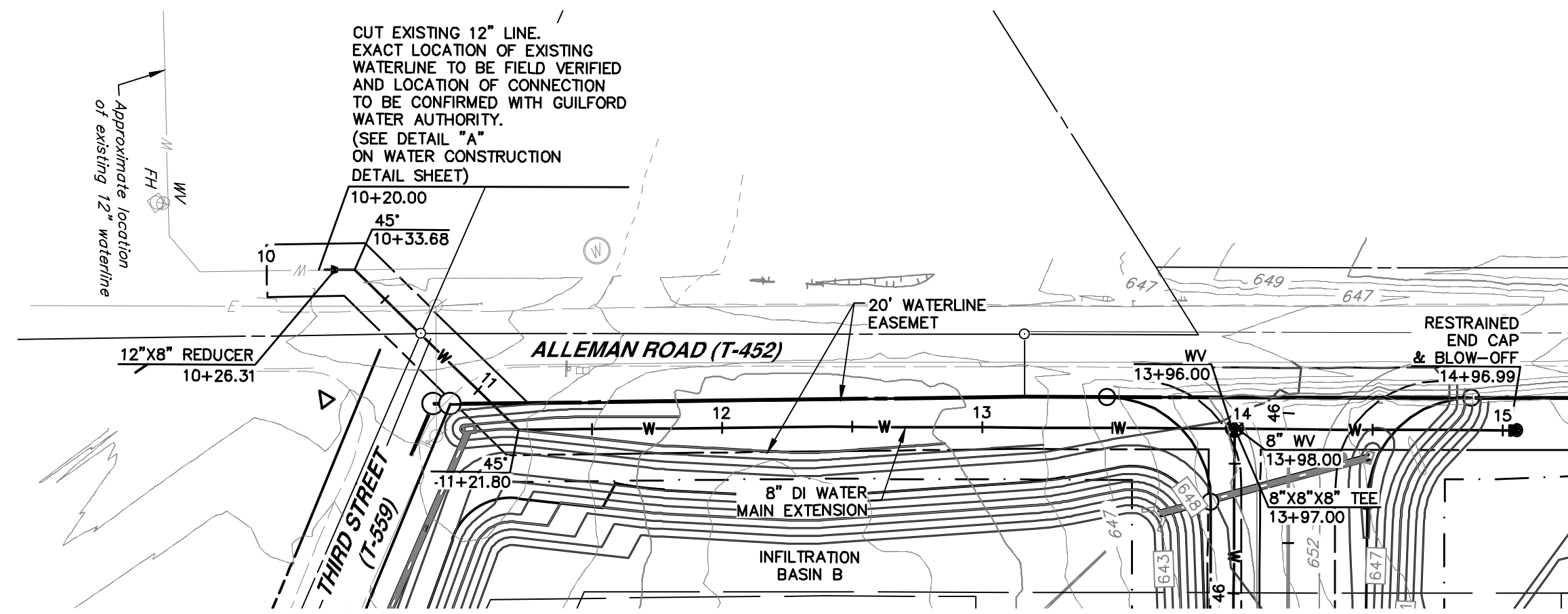
GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
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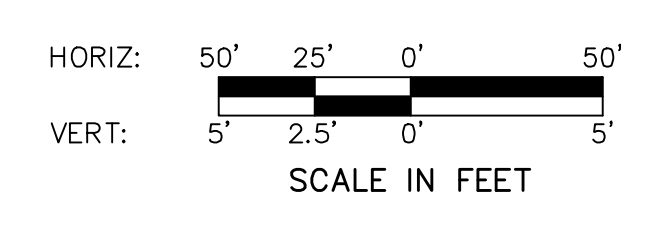
DRAWING NO.
PP-WAT-3

SHEET NO.
31 OF 51

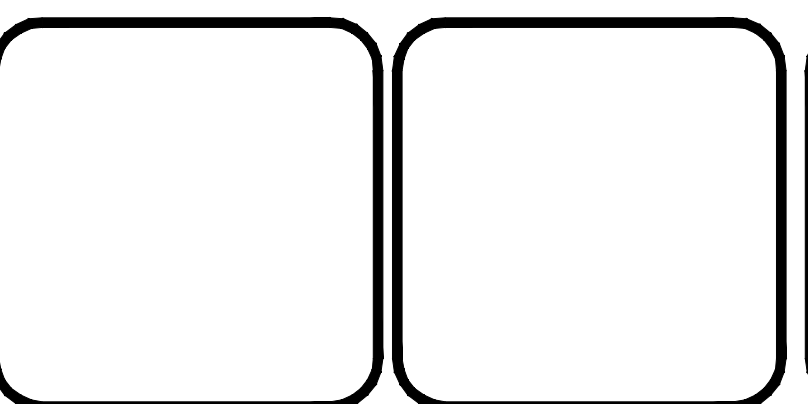
PROJECT R008499.0425



ALLEMAN ROAD
WATER MAIN PROFILE - STA. 10+00.00 TO STA. 16+00.00



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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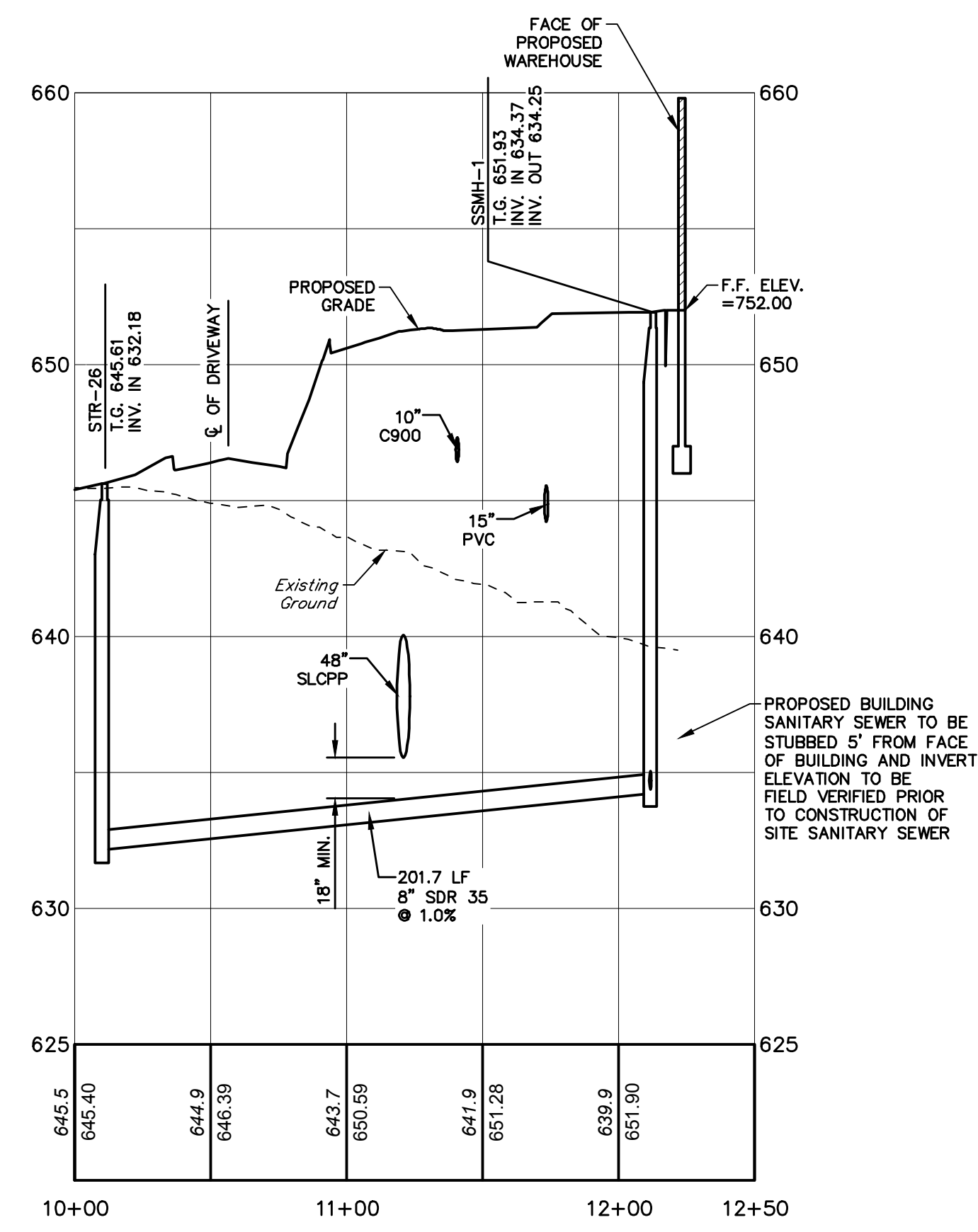
207 Grant Street
 Chambersburg, PA 17201
 (717) 263-2070
 hrg@hrg-inc.com
 www.hrg-inc.com

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 SUITE 105
 RADNOR, PA 19807
 484-320-7808 OFFICE

WATER MAIN PLAN & PROFILE
 FOR
 ALLEMAN ROAD PROPERTY, LLC

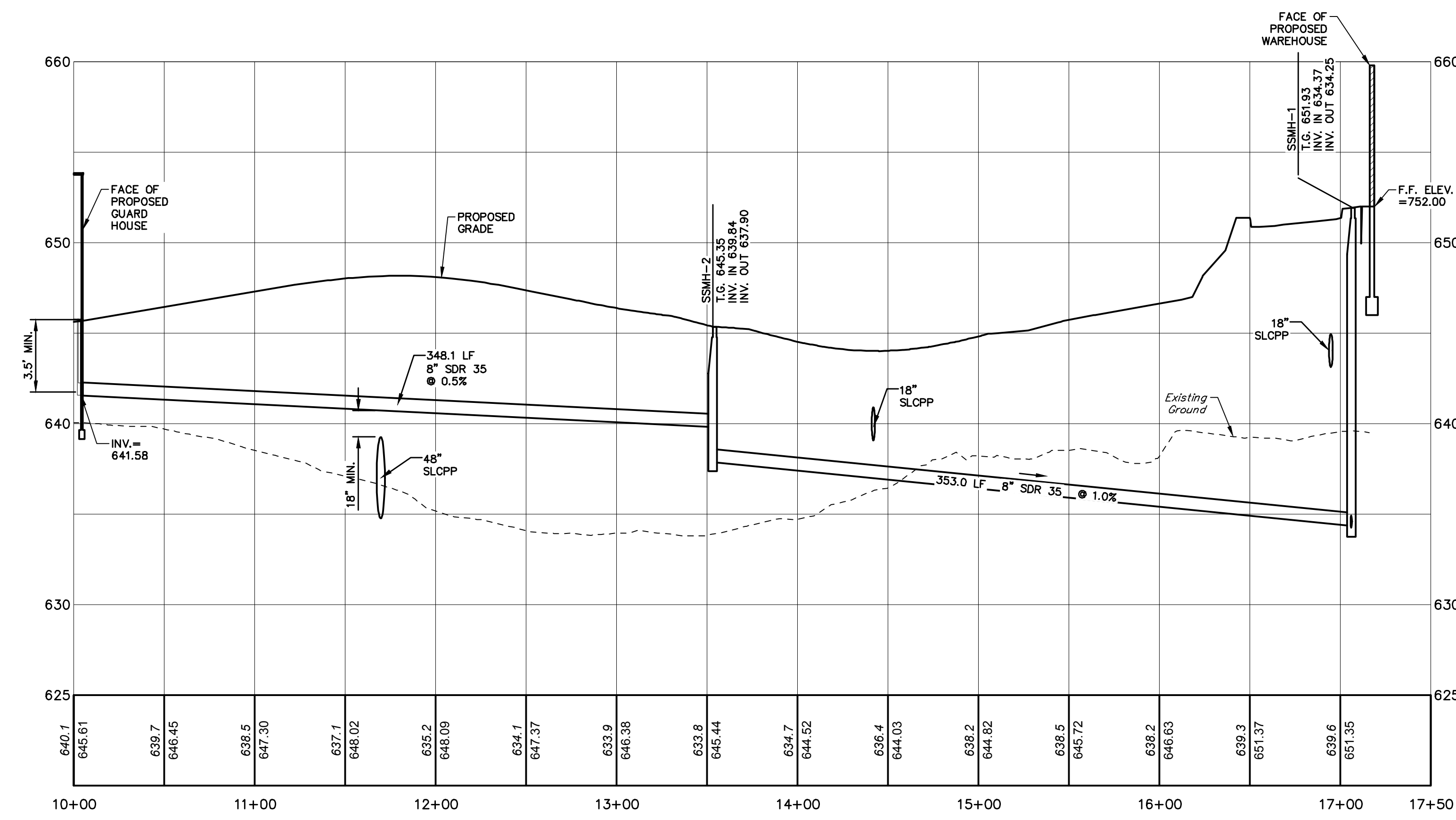
GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB	DRAWING NO.
DESIGN - HED/CAC	PP-WAT-4
CADD - TLB	SHEET NO.
CHECKED - SBB	32 OF 51
SCALE - AS SHOWN	PROJECT R008499.0425
DATE - 2021.08.24	



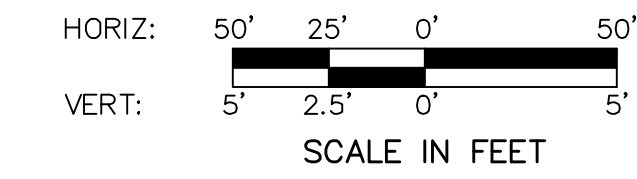
PUMP STATION SANITARY SEWER TO BILING PROFILE

SCALE:
 HORIZONTAL: 1" = 50'
 VERTICAL: 1" = 5'

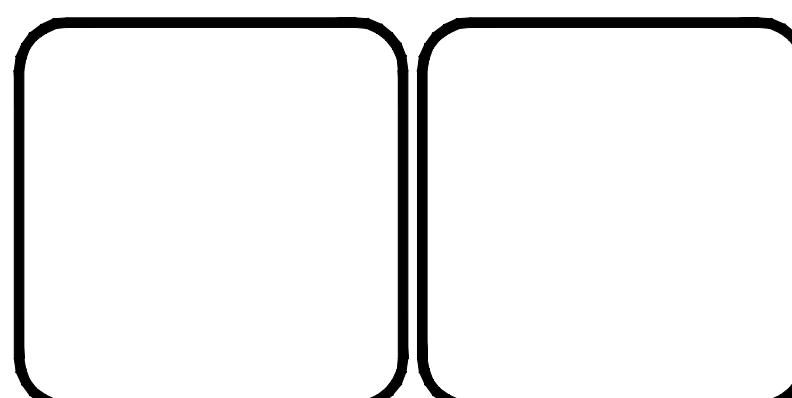


GUARD HOUSE GRAVITY SANITARY SEWER LINE TO SSMH-1

SCALE:
 HORIZONTAL: 1" = 50'
 VERTICAL: 1" = 5'



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
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SANITARY SEWER PROFILES
 FOR
 ALLEMAN ROAD PROPERTY, LLC

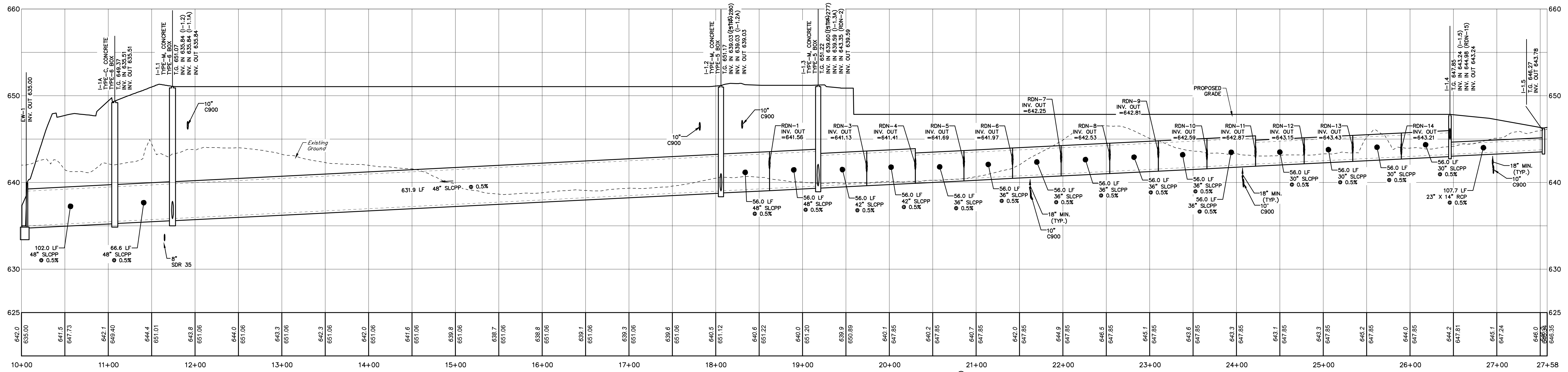
GUILFORD TOWNSHIP
 FRANKLIN COUNTY
 PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN- HED/CAC
CADD- TLB
CHECKED- SBB
SCALE- AS SHOWN
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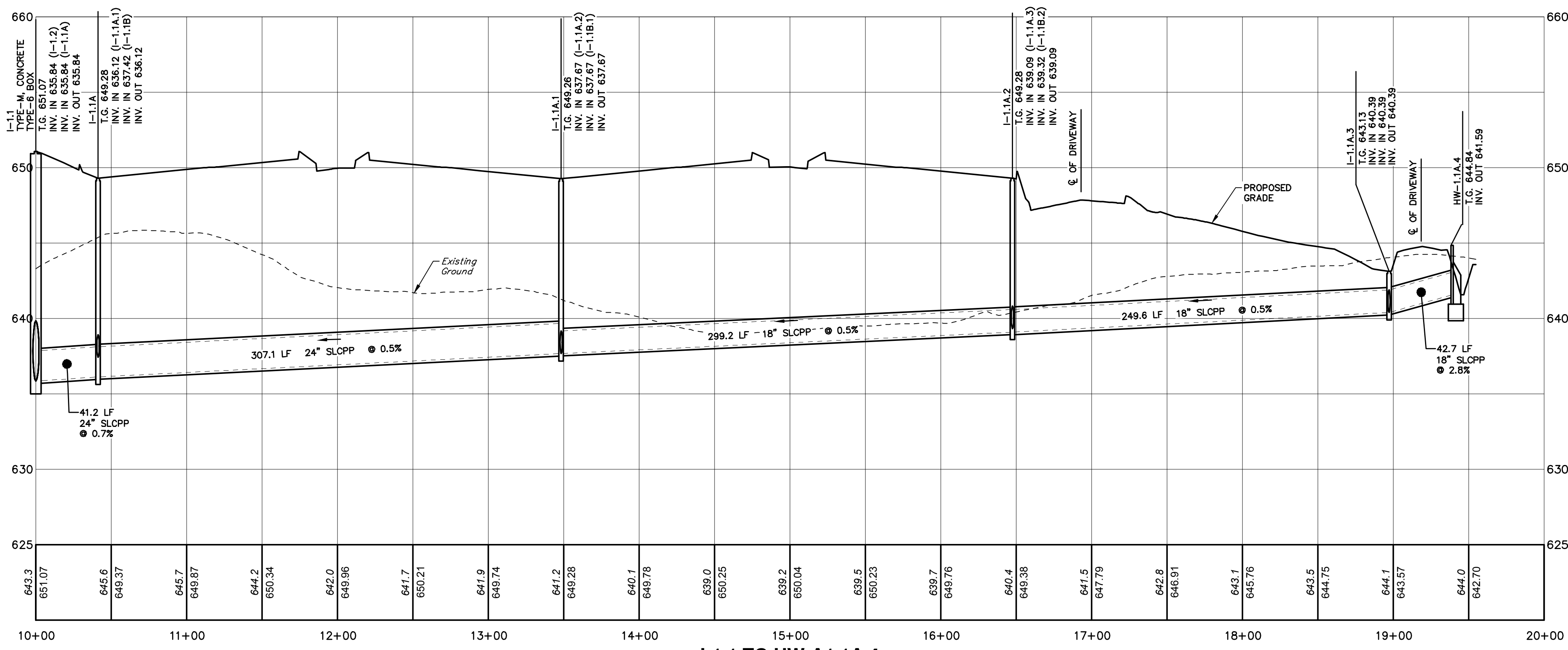
DRAWING NO.
PR-SAN-1

SHEET NO.
33 OF 51

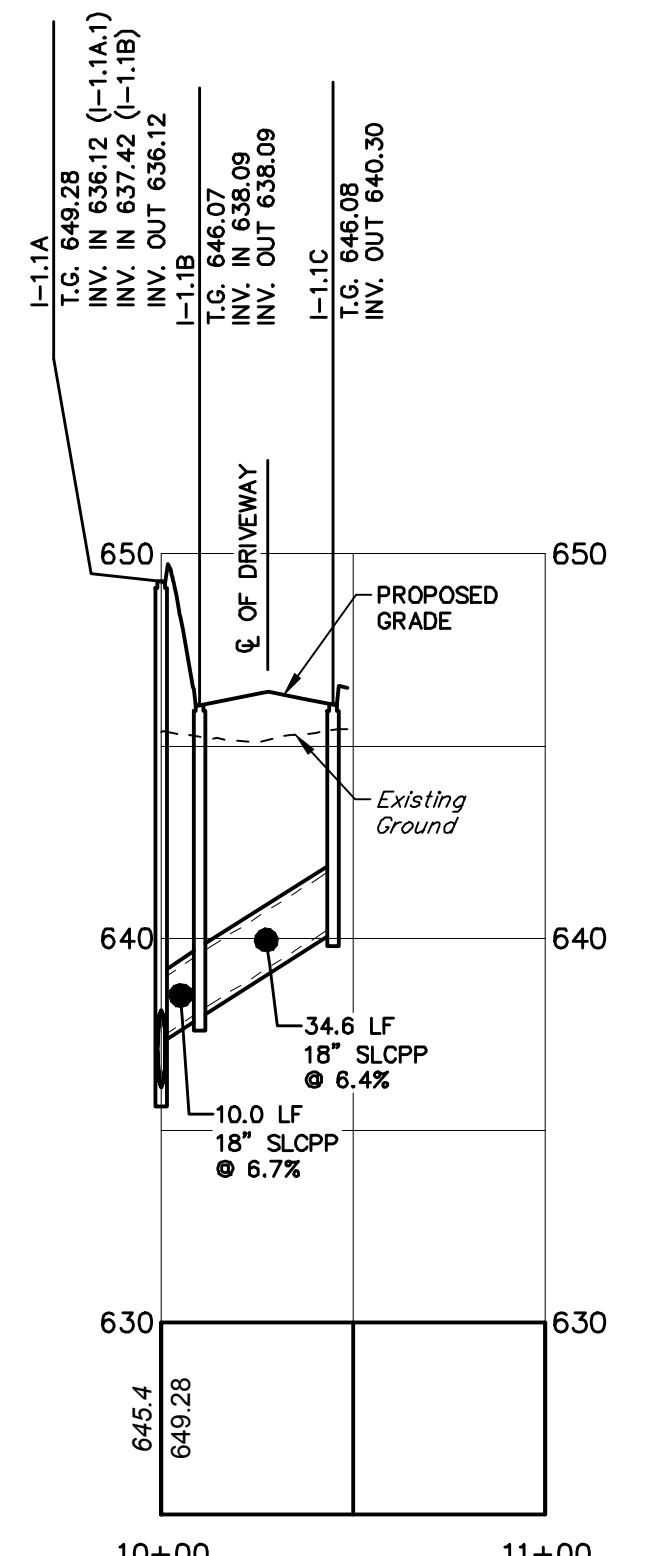
PROJECT R008499.0425



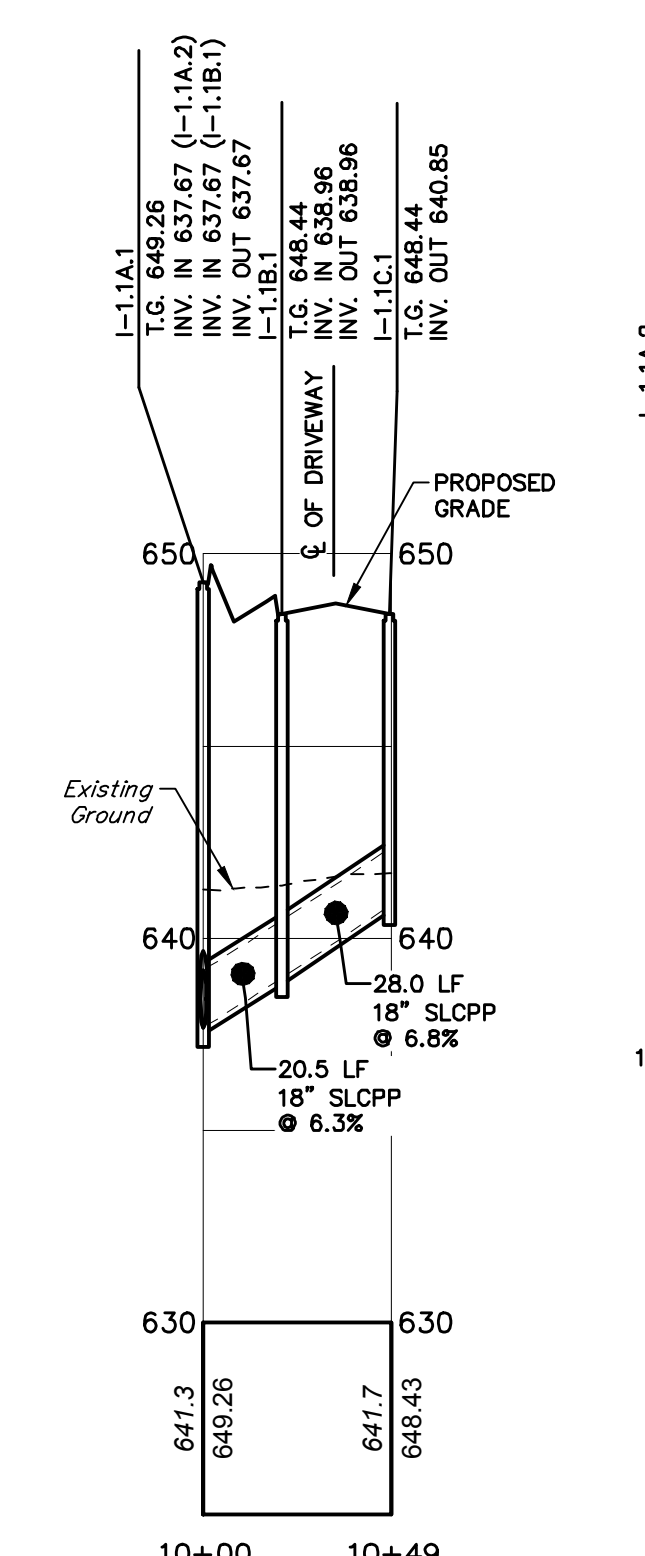
EW-1 TO I-1.5



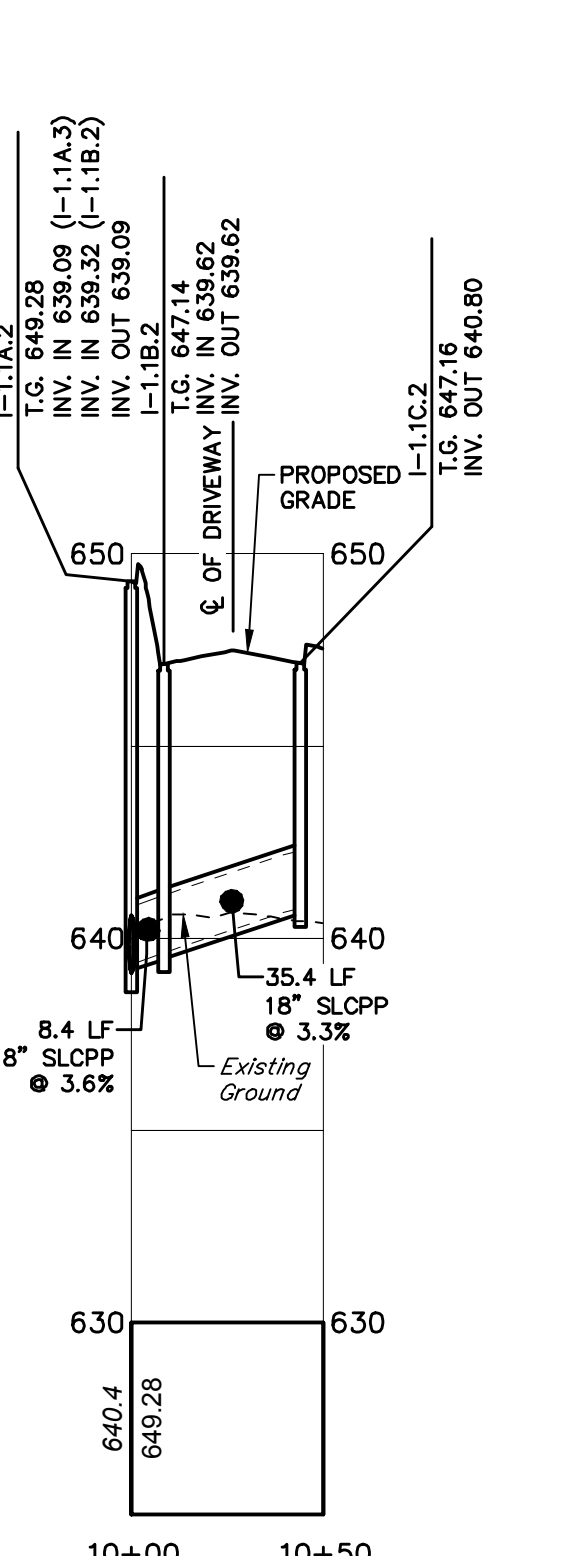
I-1.1 TO HW-A1.1A.4



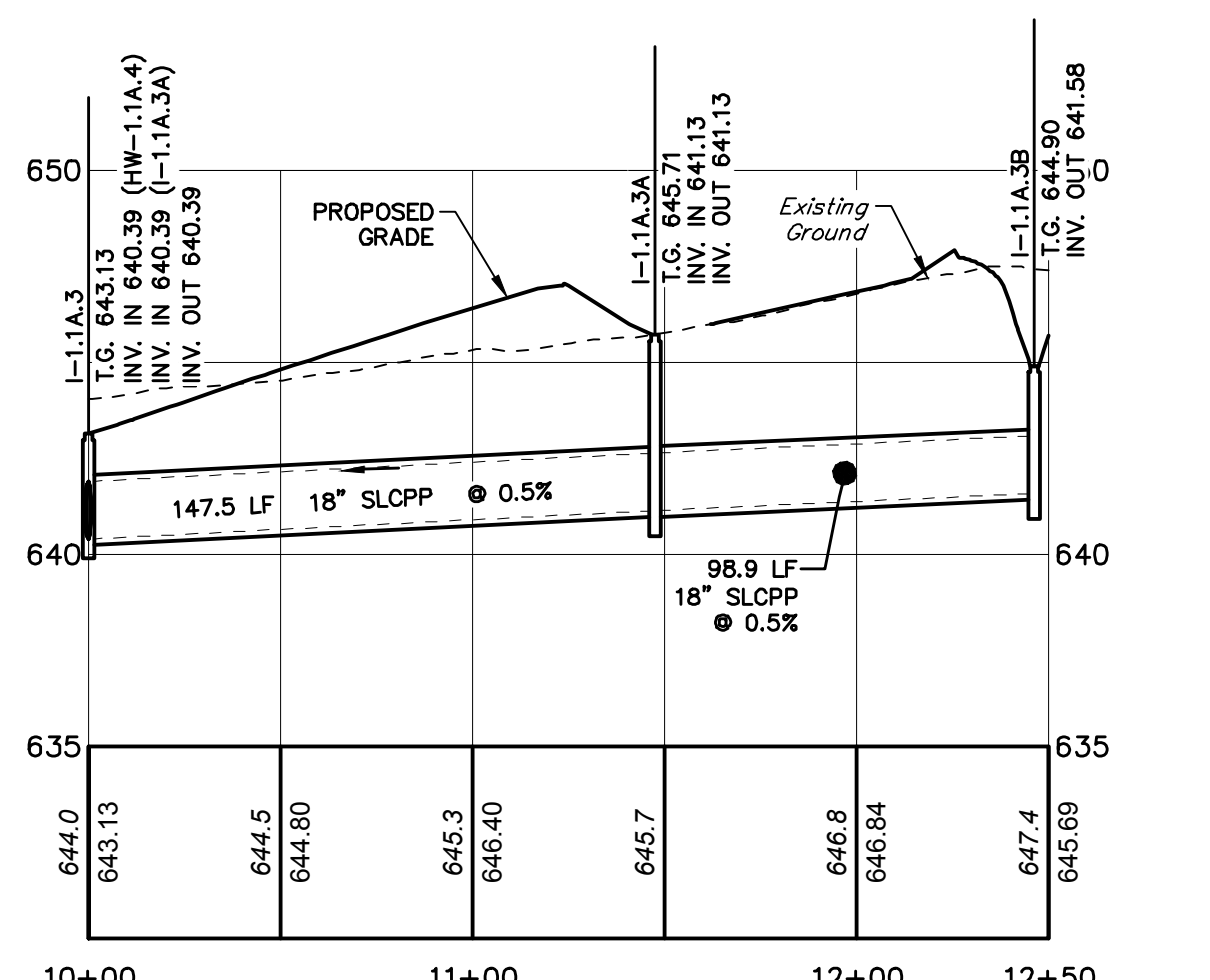
I-1.1A TO I-1.1C



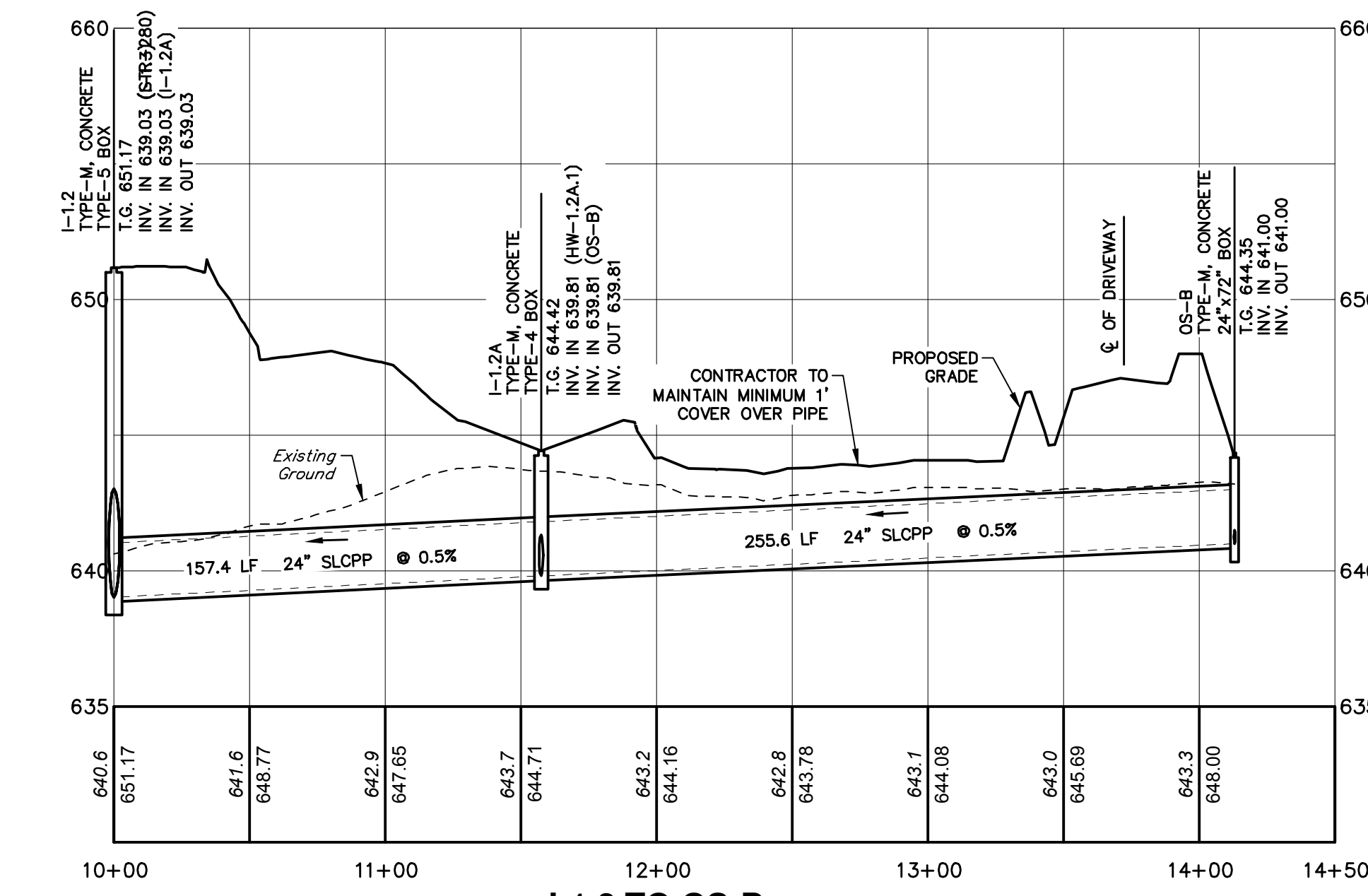
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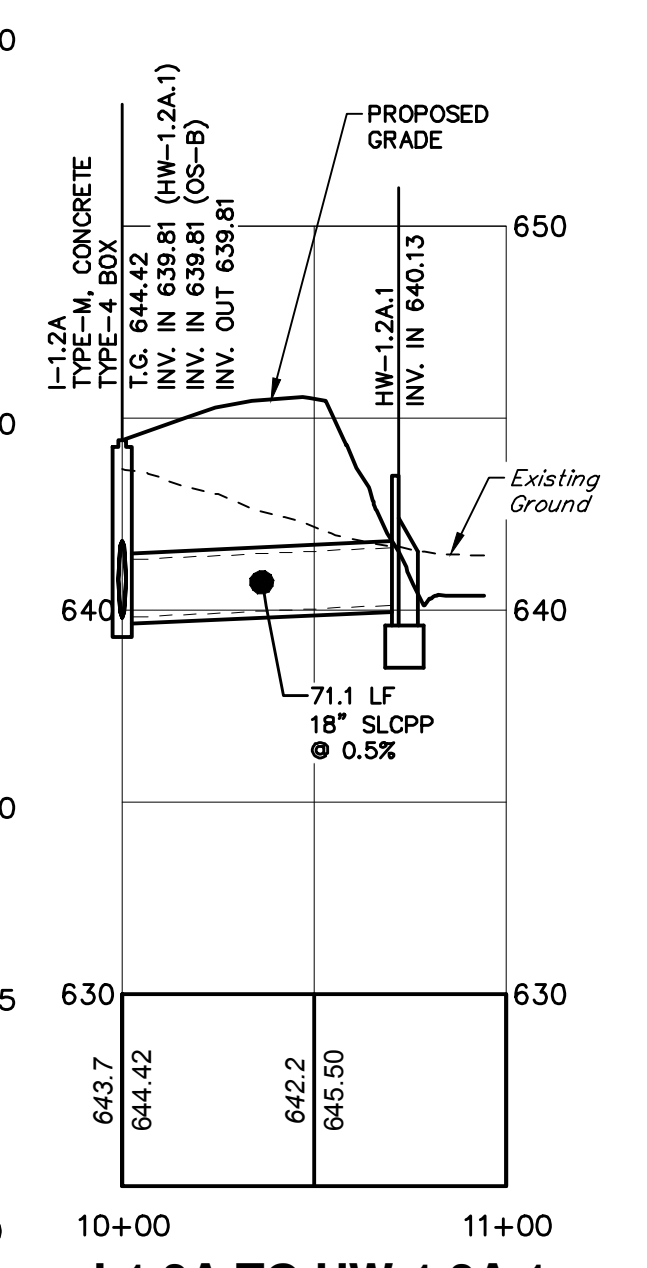
I-1.1A.2 TO I-1.1C.2



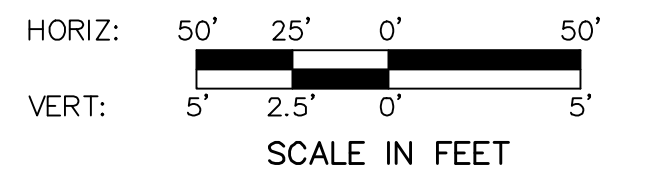
I-1.1A.3 TO I-1.1A.3B



I-1.2 TO OS-B



I-1.2A TO HW-1.2A.1



NO.	REVISION	DATE	BY
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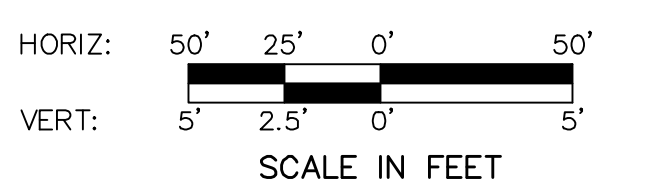
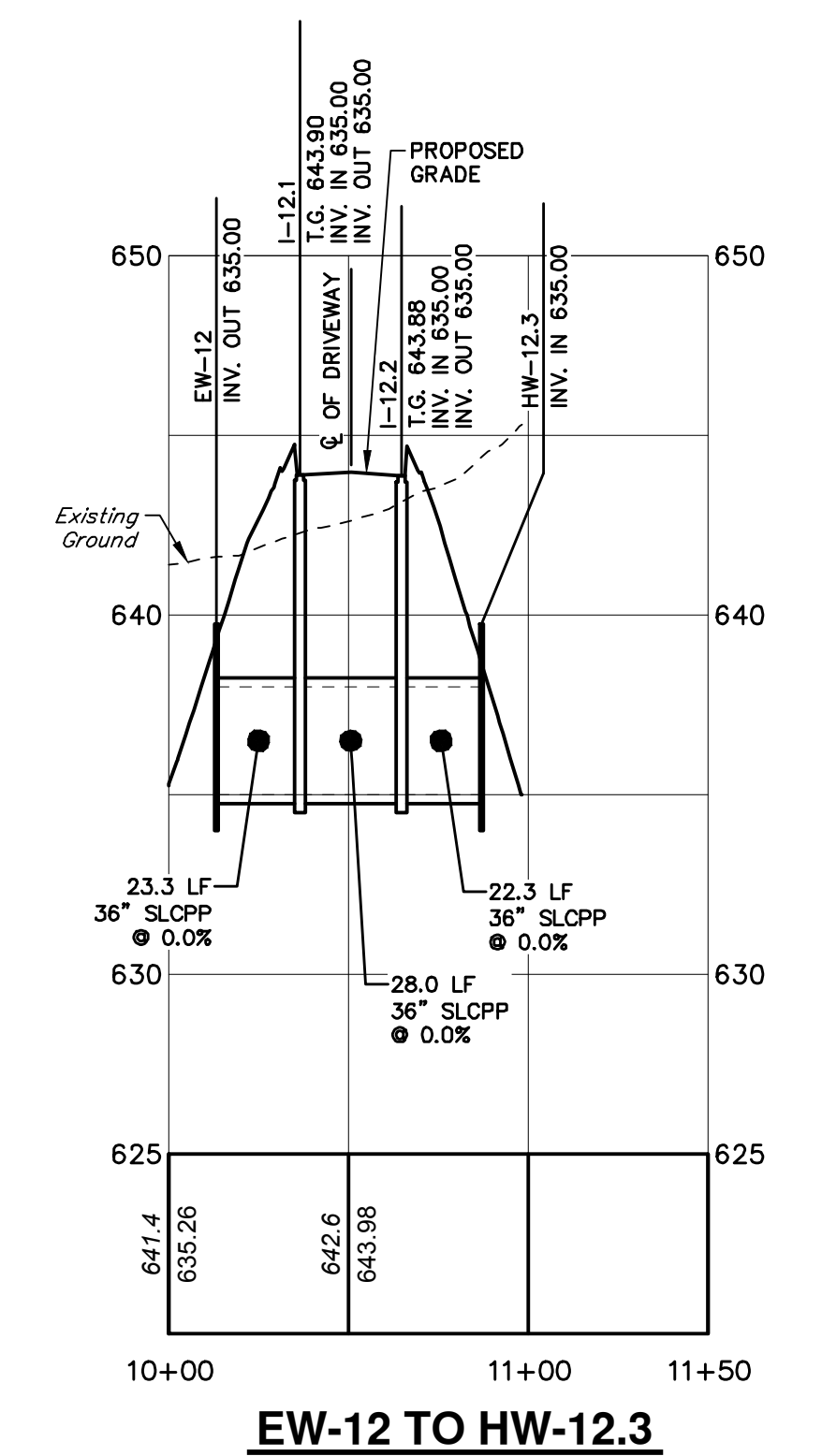
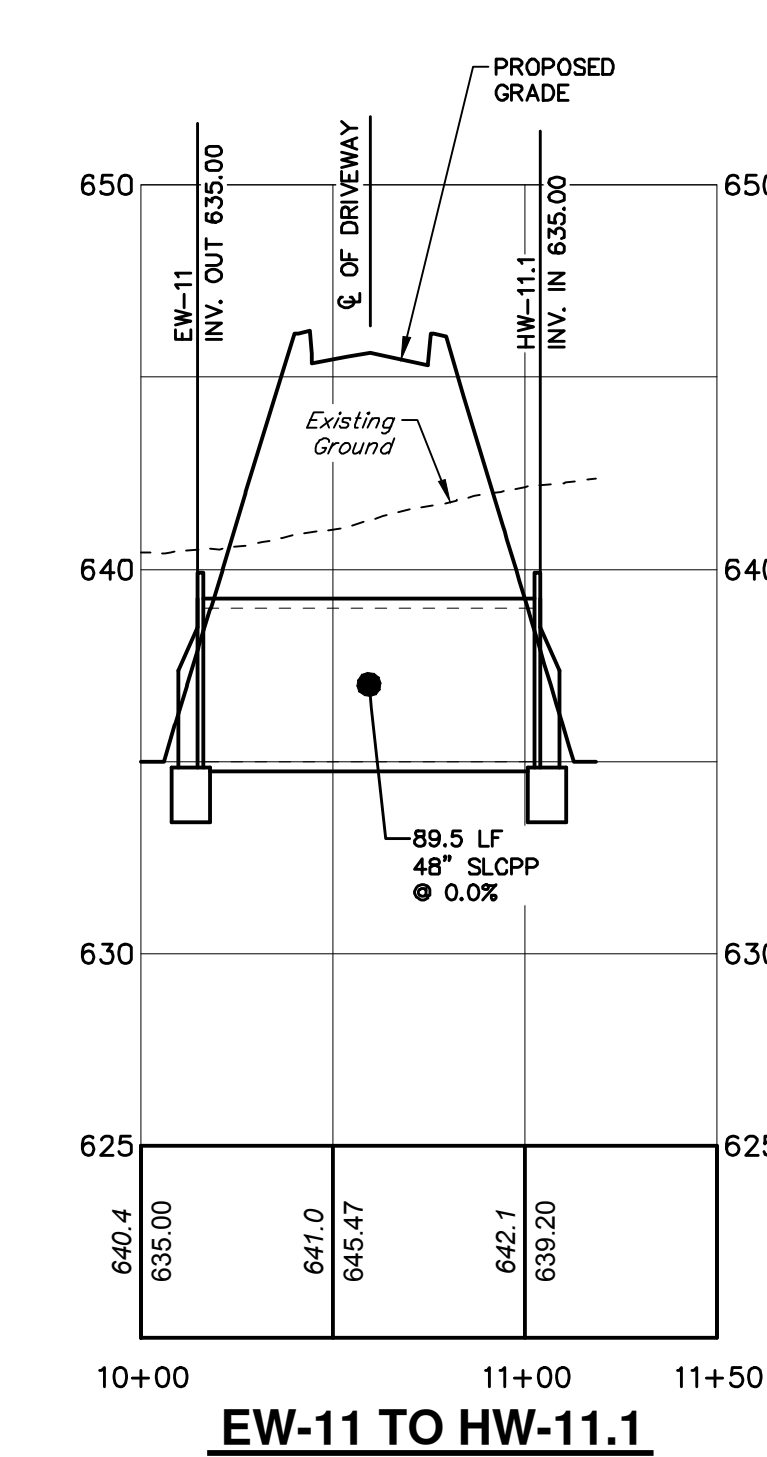
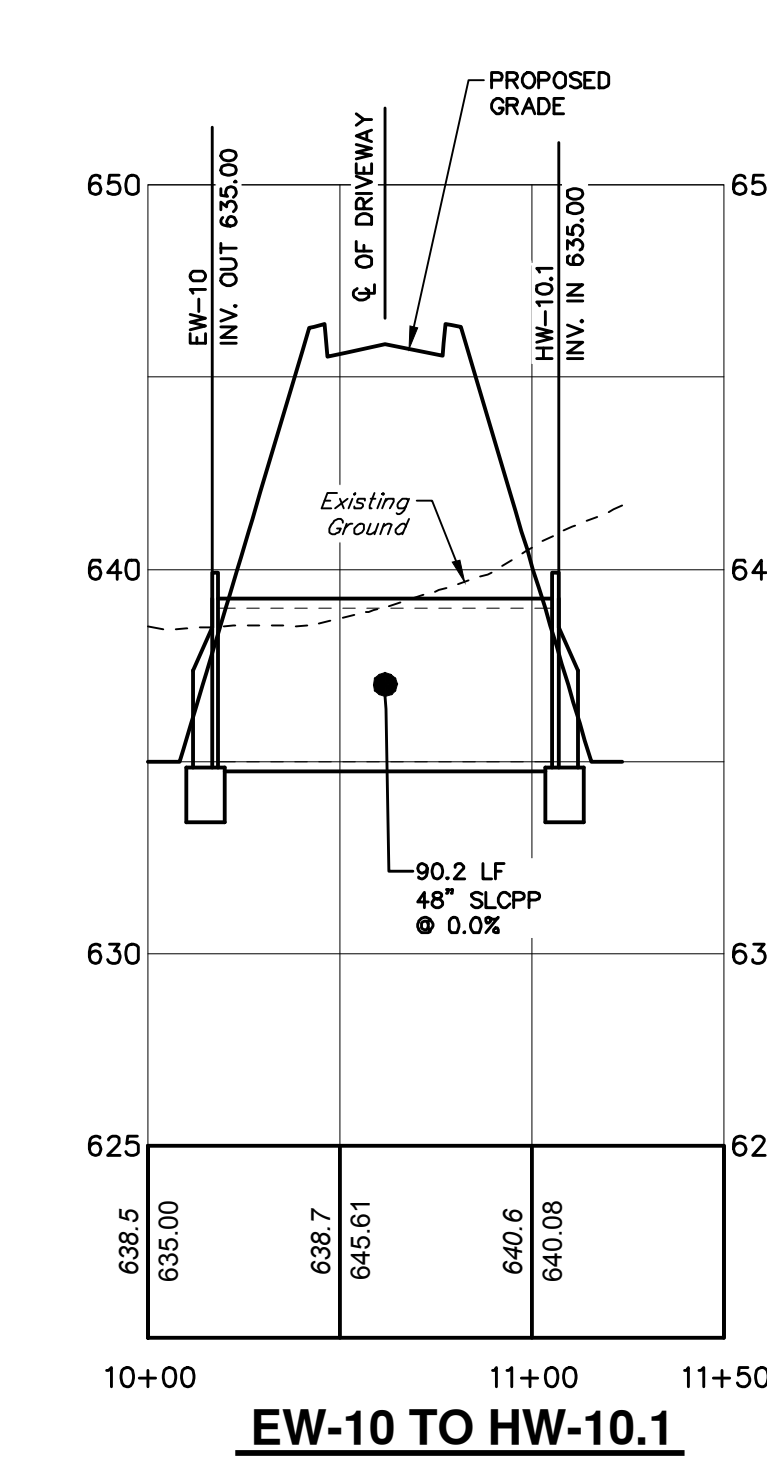
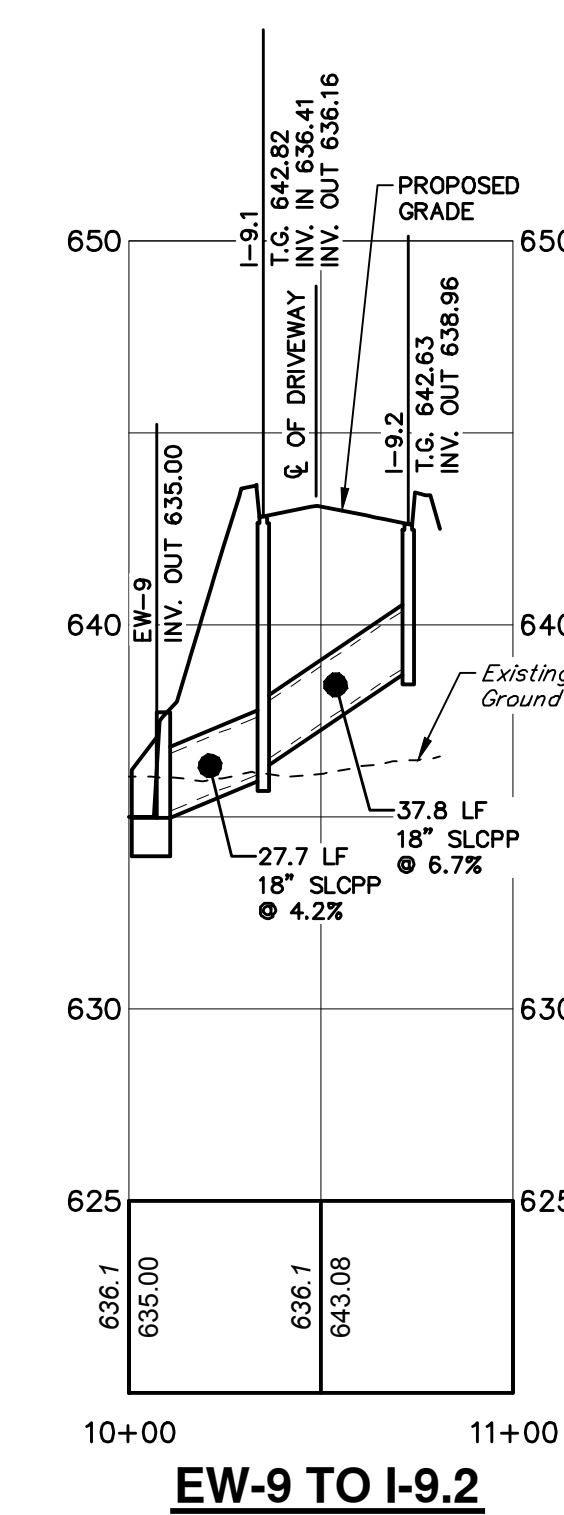
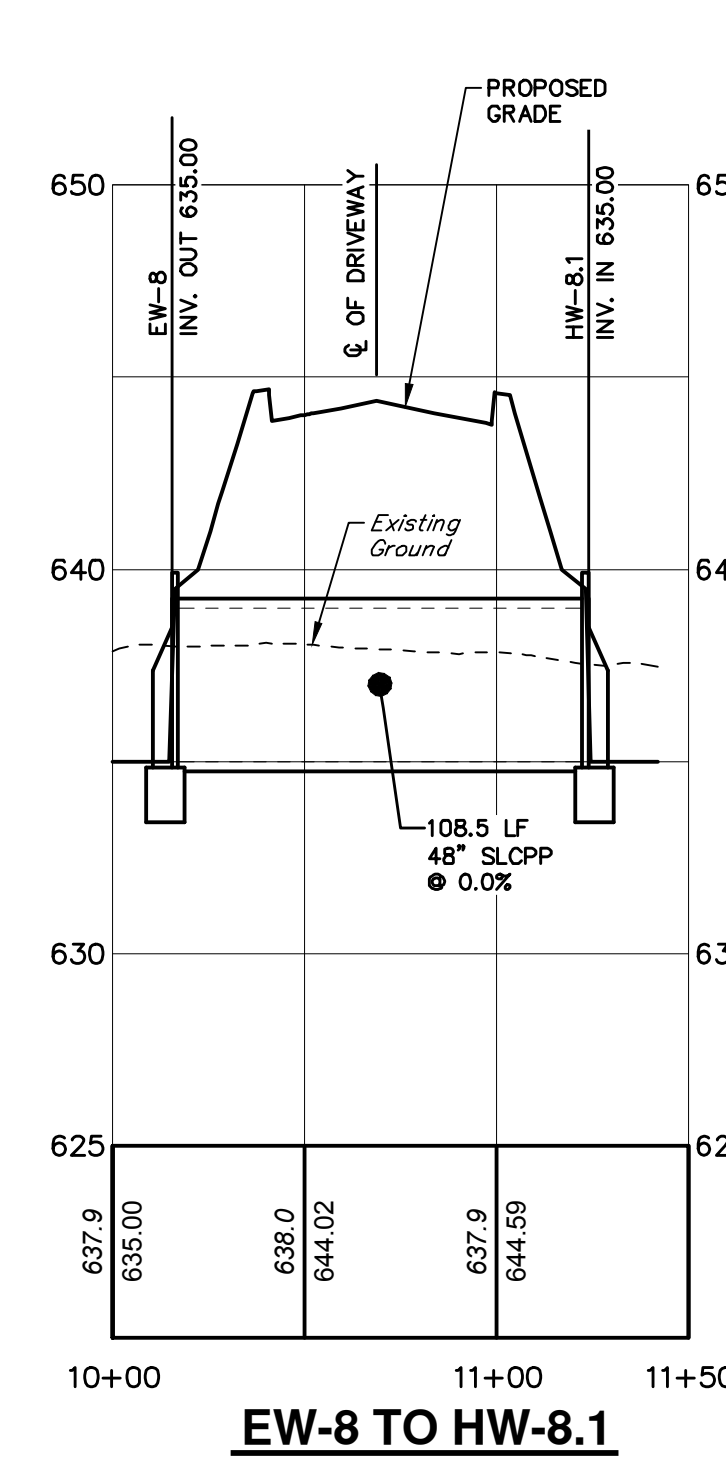
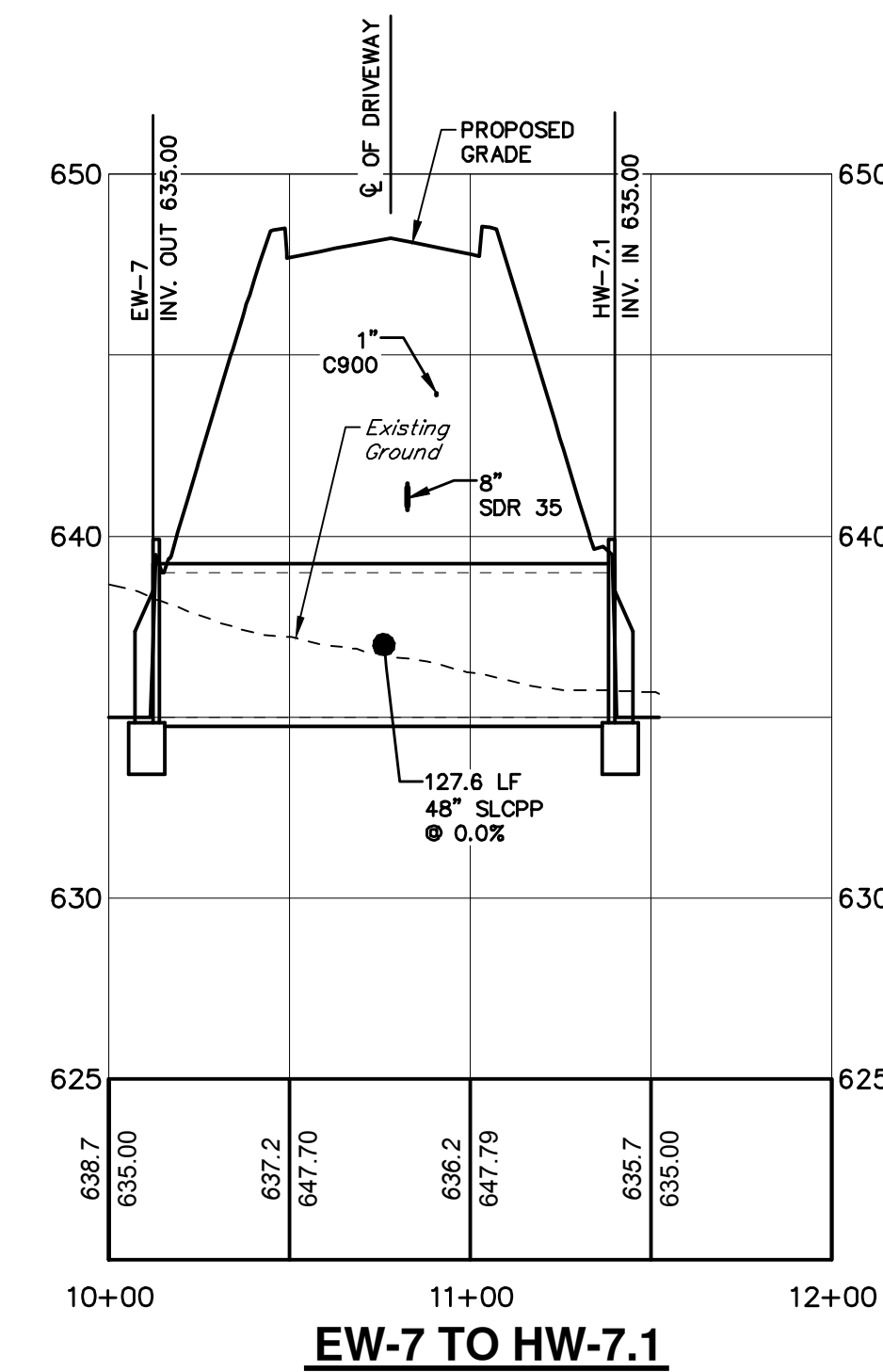
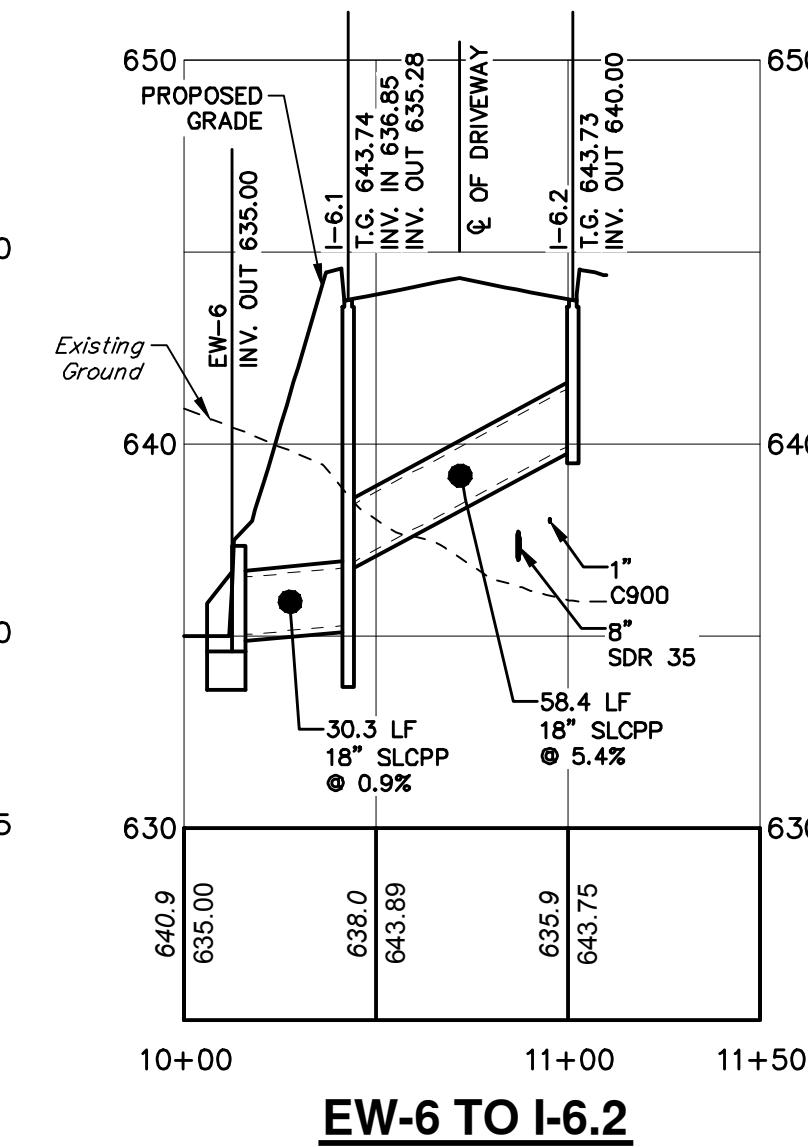
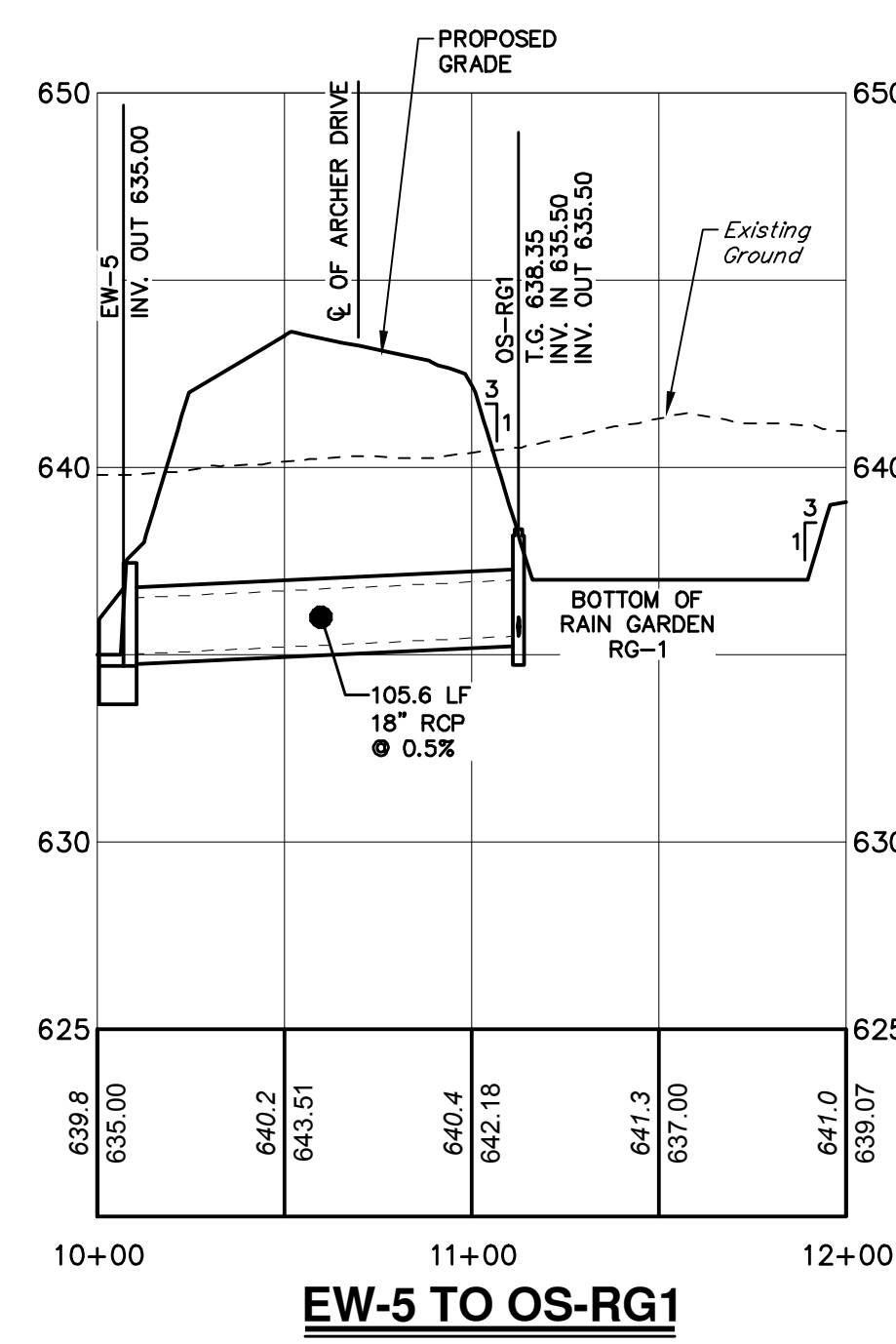
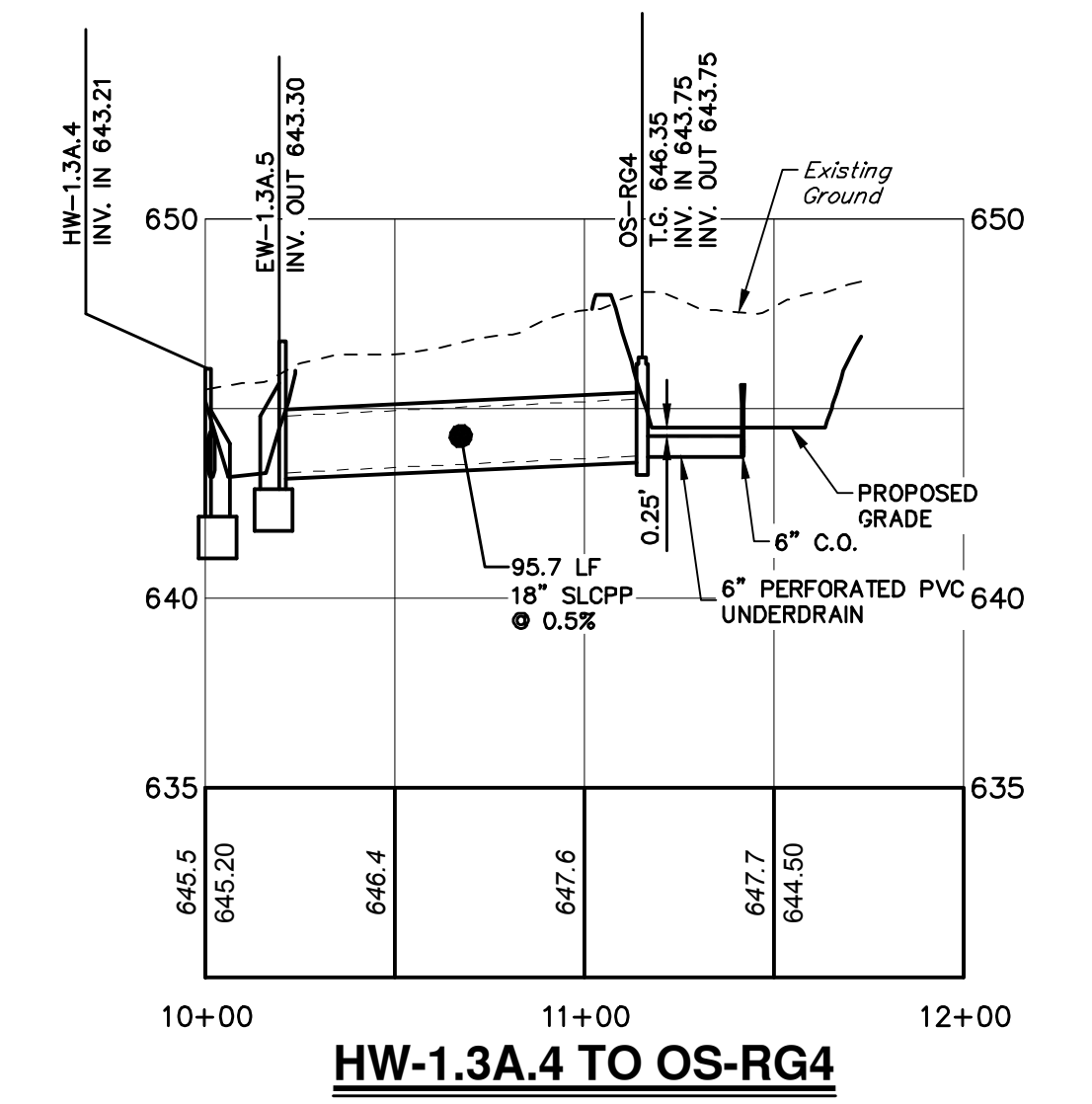
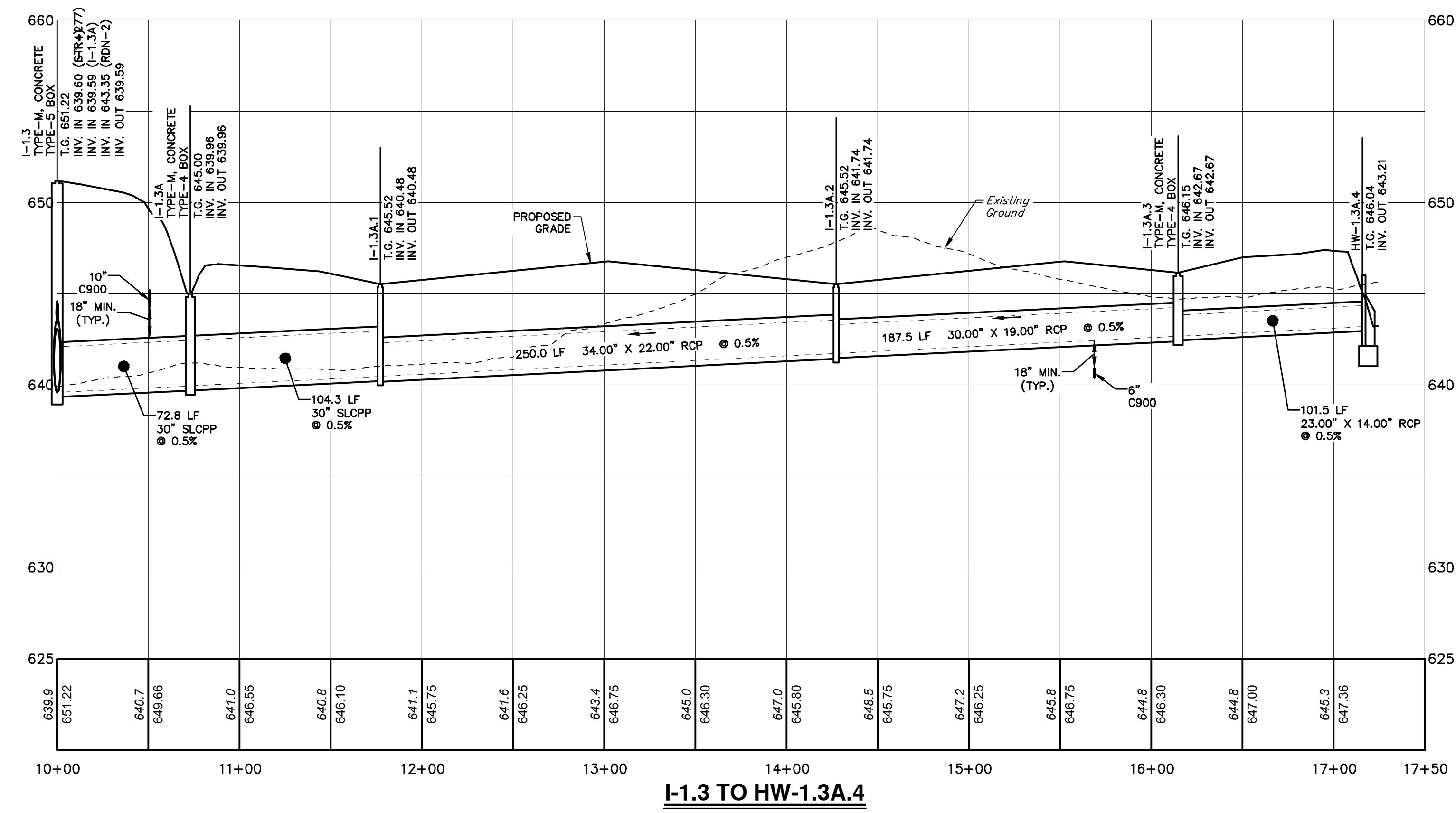
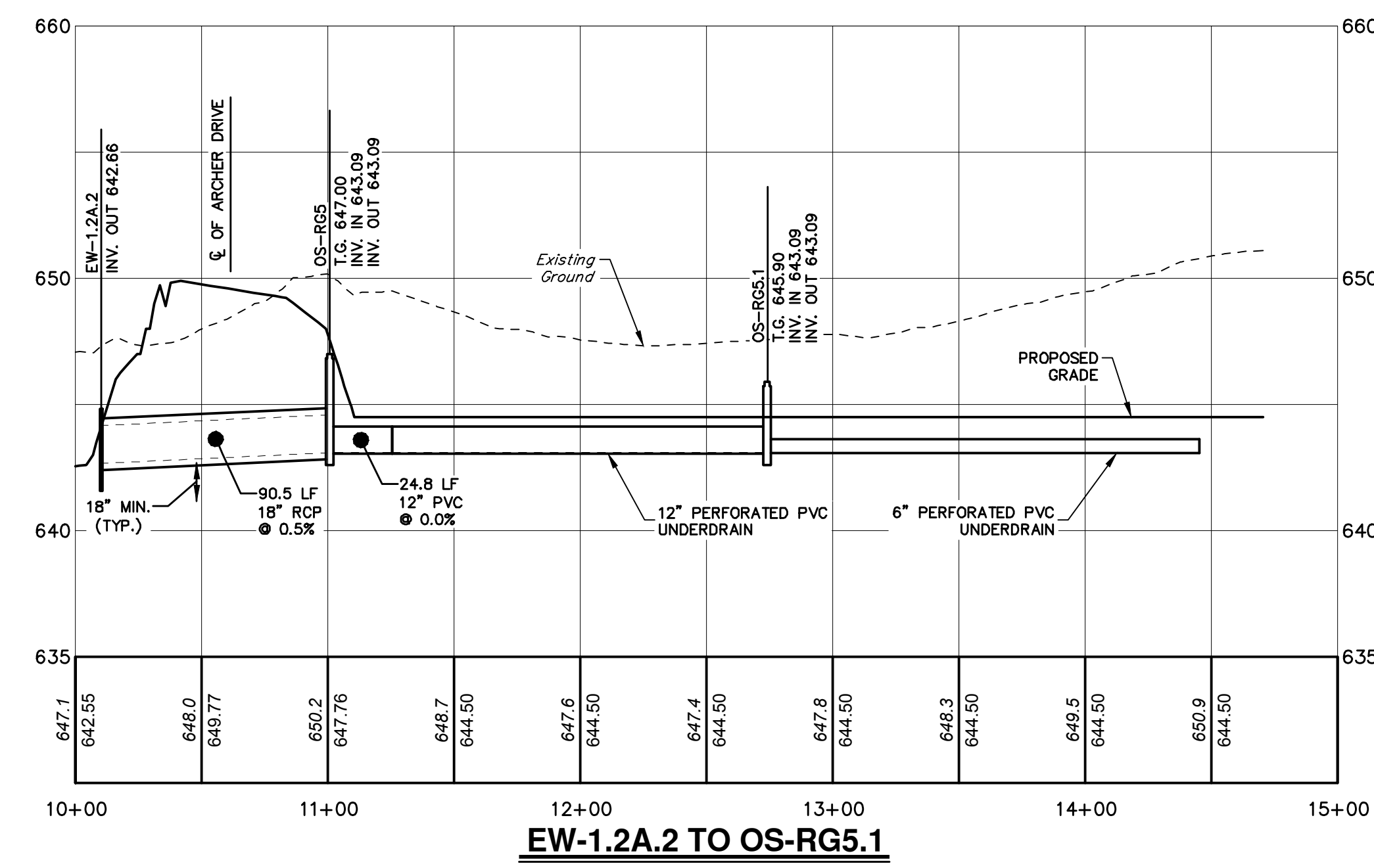
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STORMWATER PIPE PROFILES - BASIN A1
FOR
ALLEMAN ROAD PROPERTY, LLC

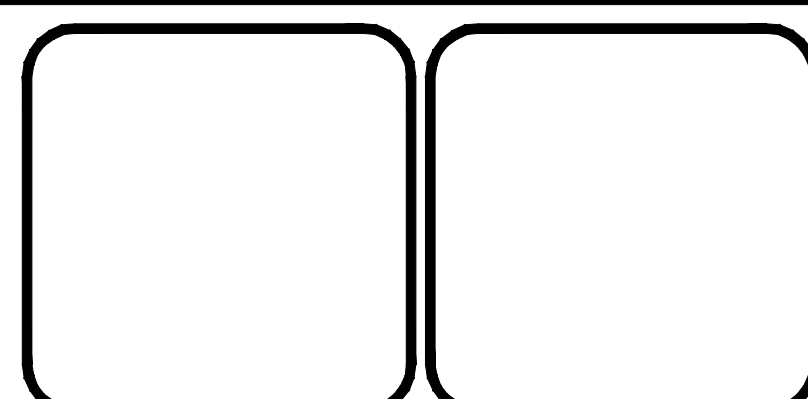
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
PR-STM-1
SHEET NO.
34 OF 51
PROJECT R008499.0425



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
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STORMWATER PIPE PROFILES - BASIN A1
FOR
ALLEMAN ROAD PROPERTY, LLC

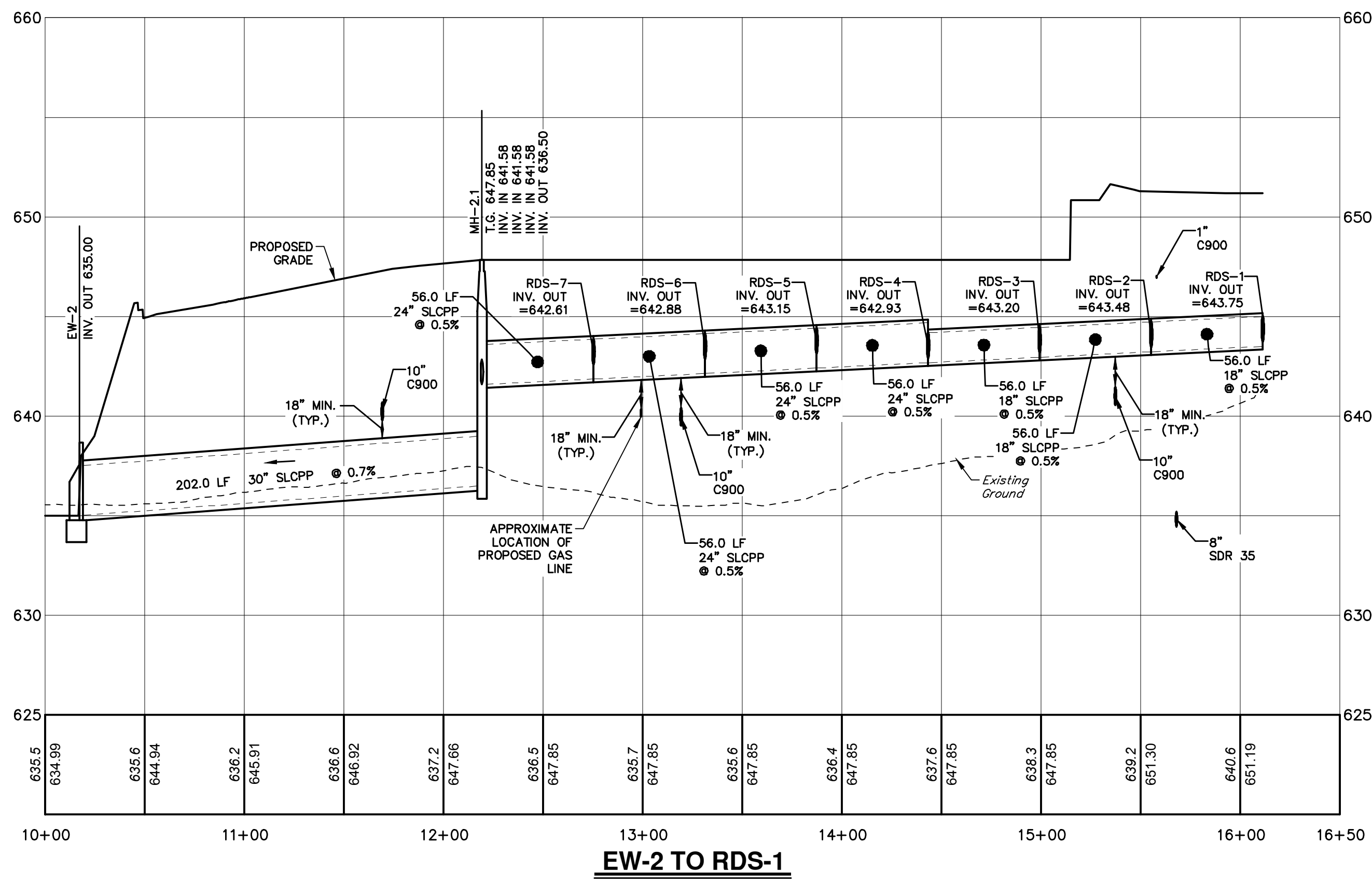
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FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB
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CHECKED - SBB
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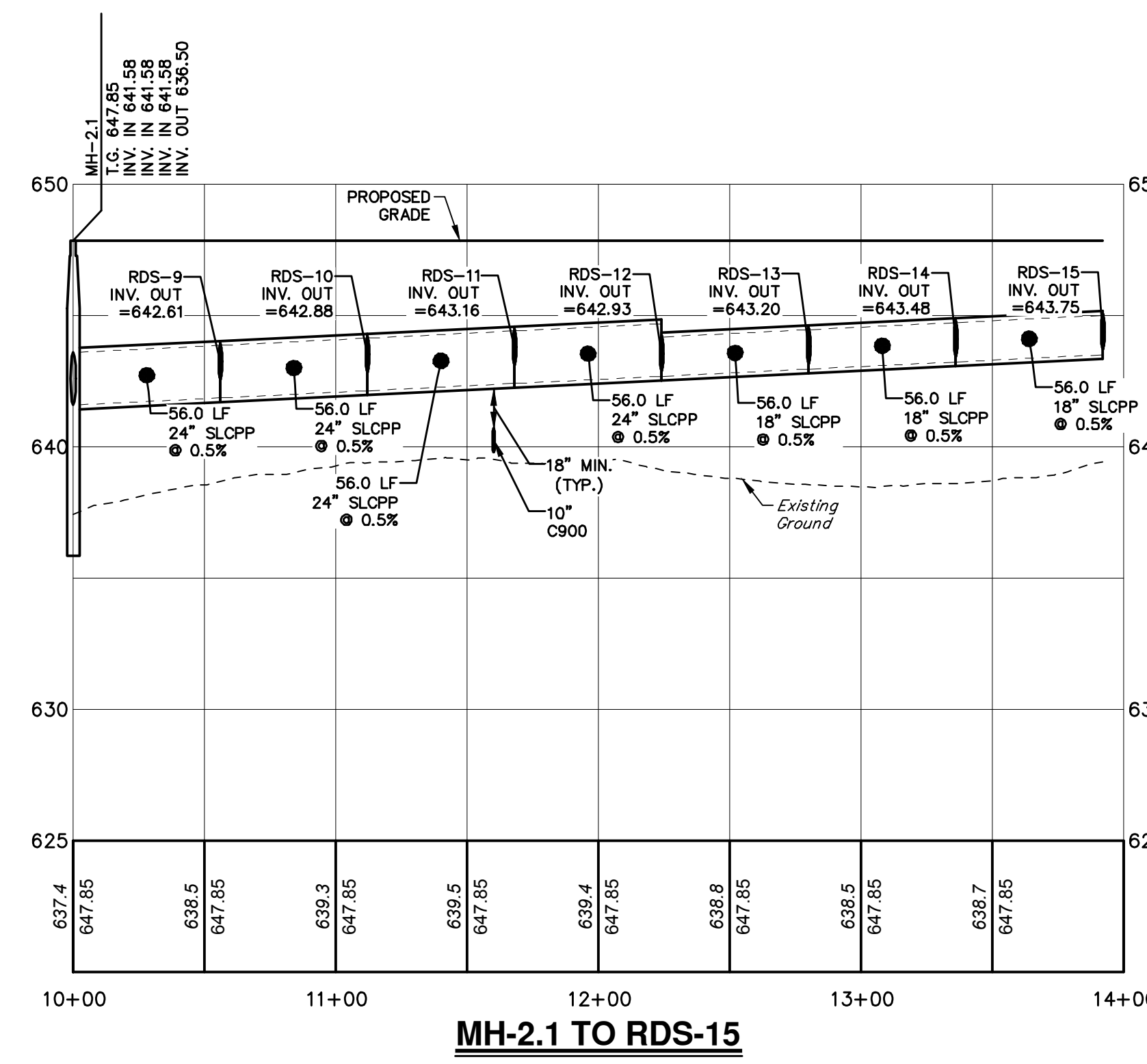
DRAWING NO.
PR-STM-2

SHEET NO.
35 OF 51

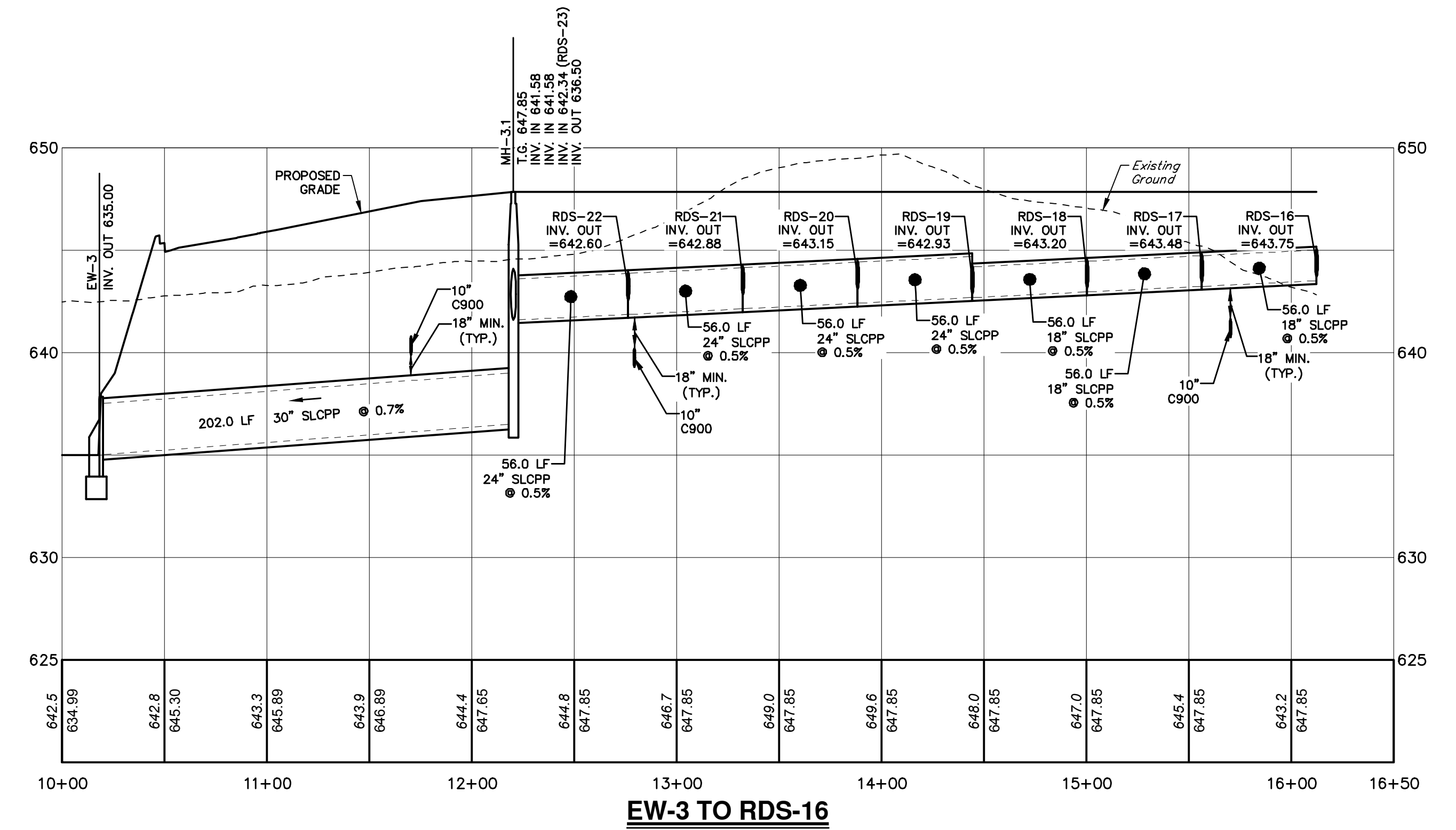
PROJECT R008499.0425



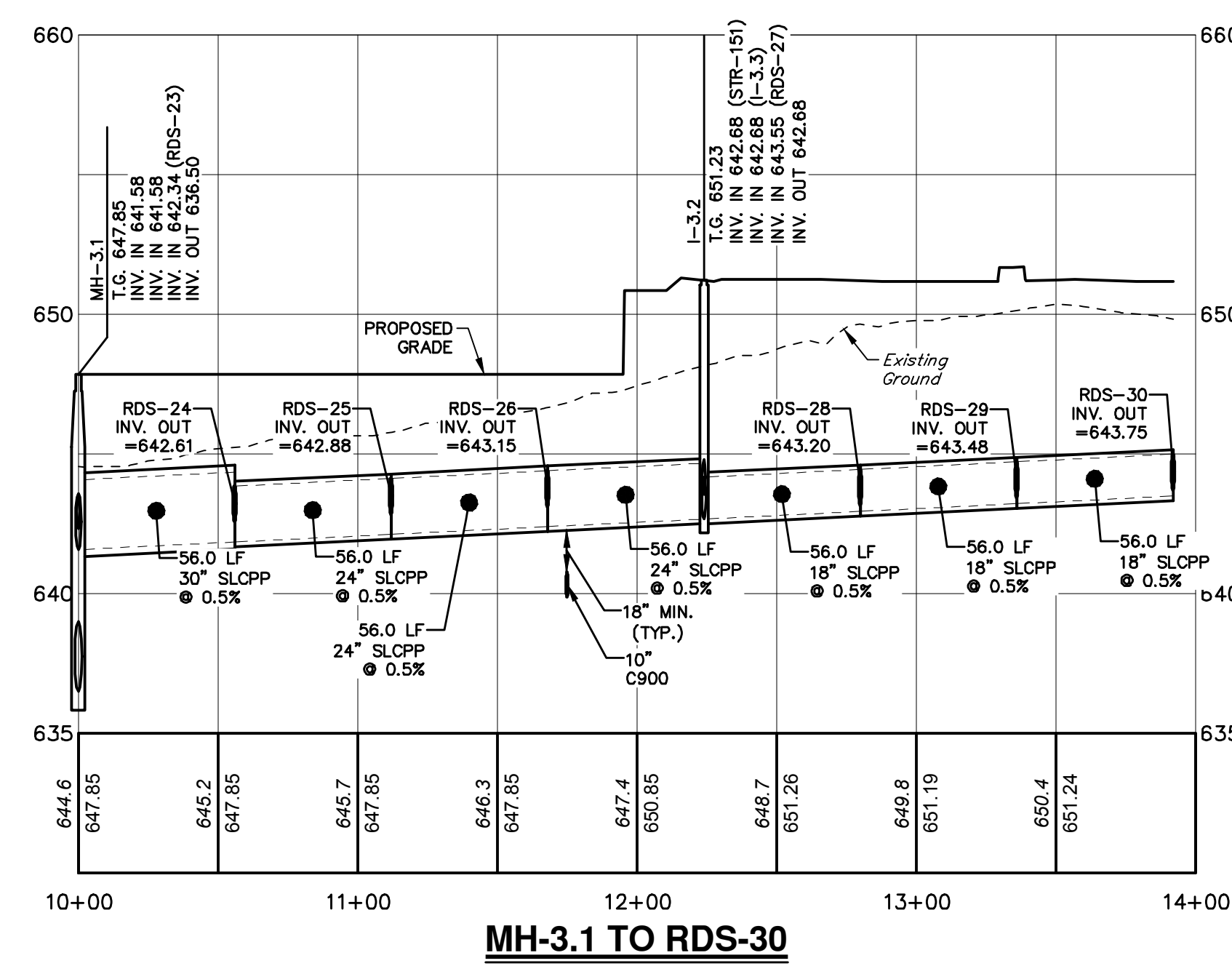
EW-2 TO RDS-1



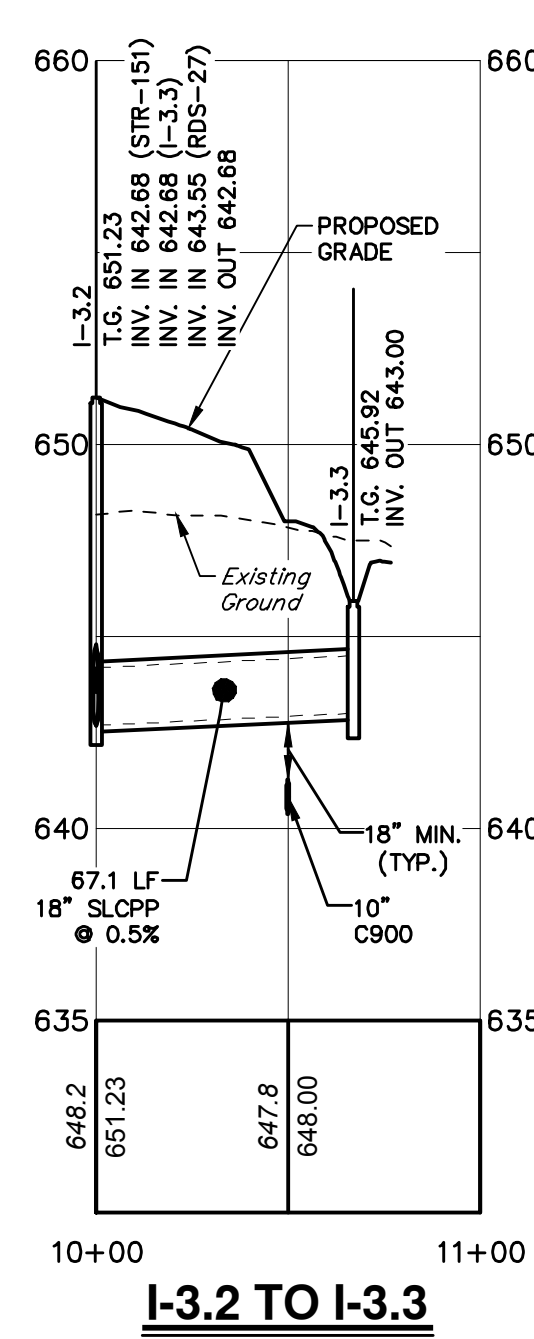
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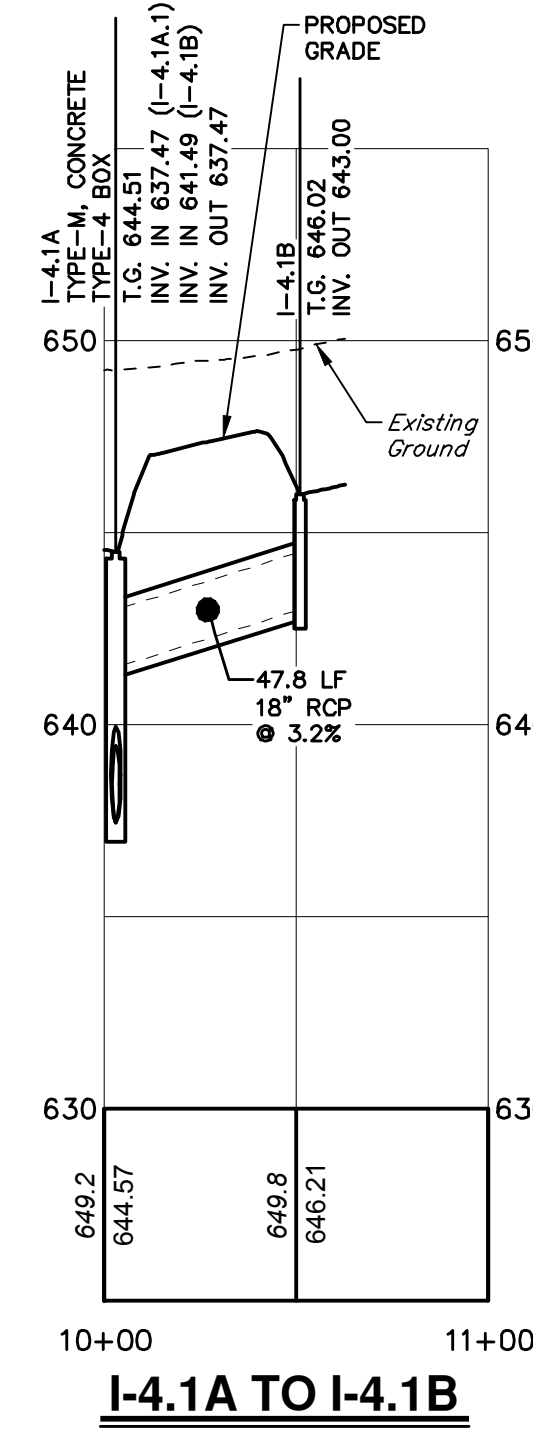
EW-3 TO RDS-16



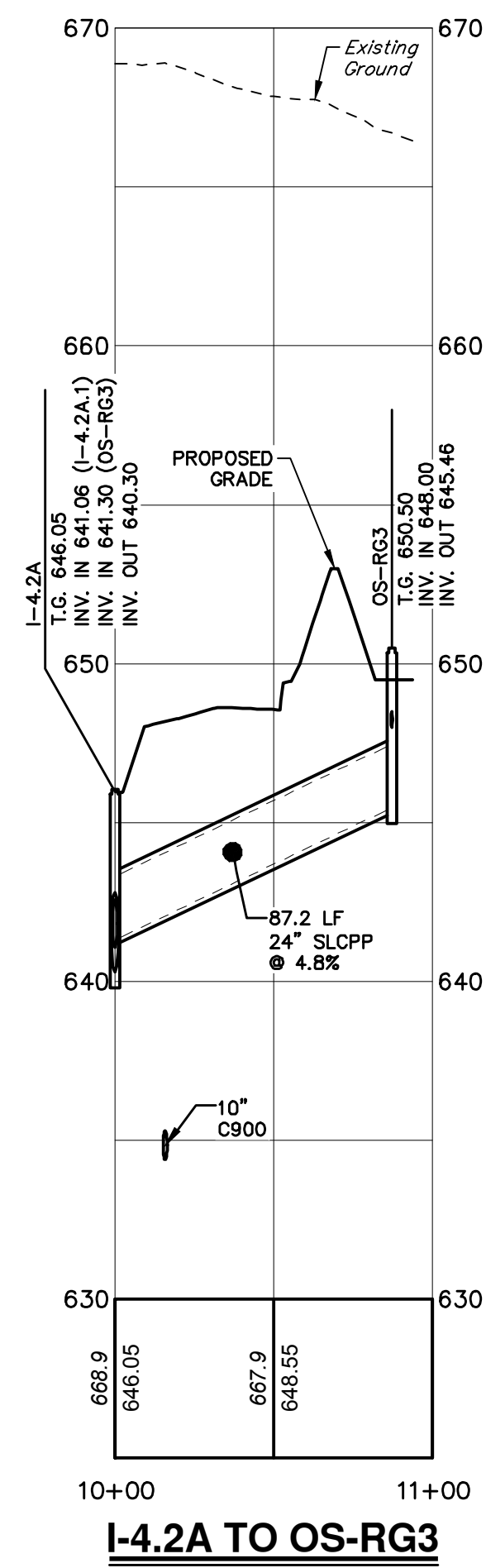
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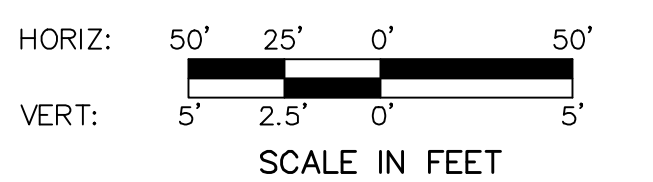
I-3.2 TO I-3.3



I-4.1A TO I-4.1B



I-4.2A TO OS-RG3



NO.	REVISION	DATE	BY
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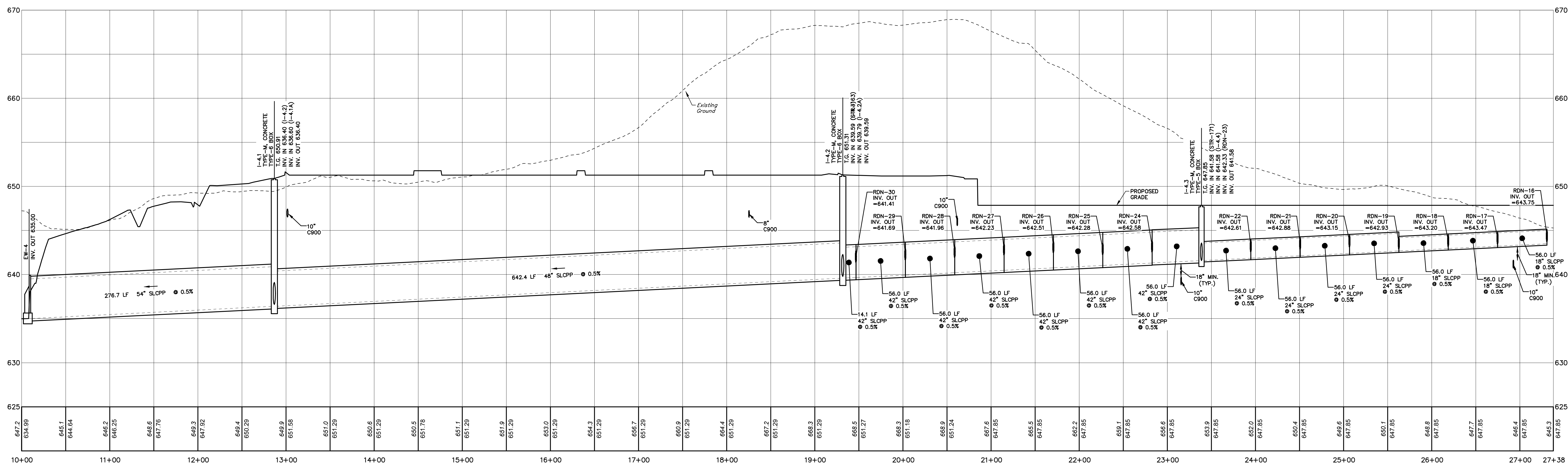
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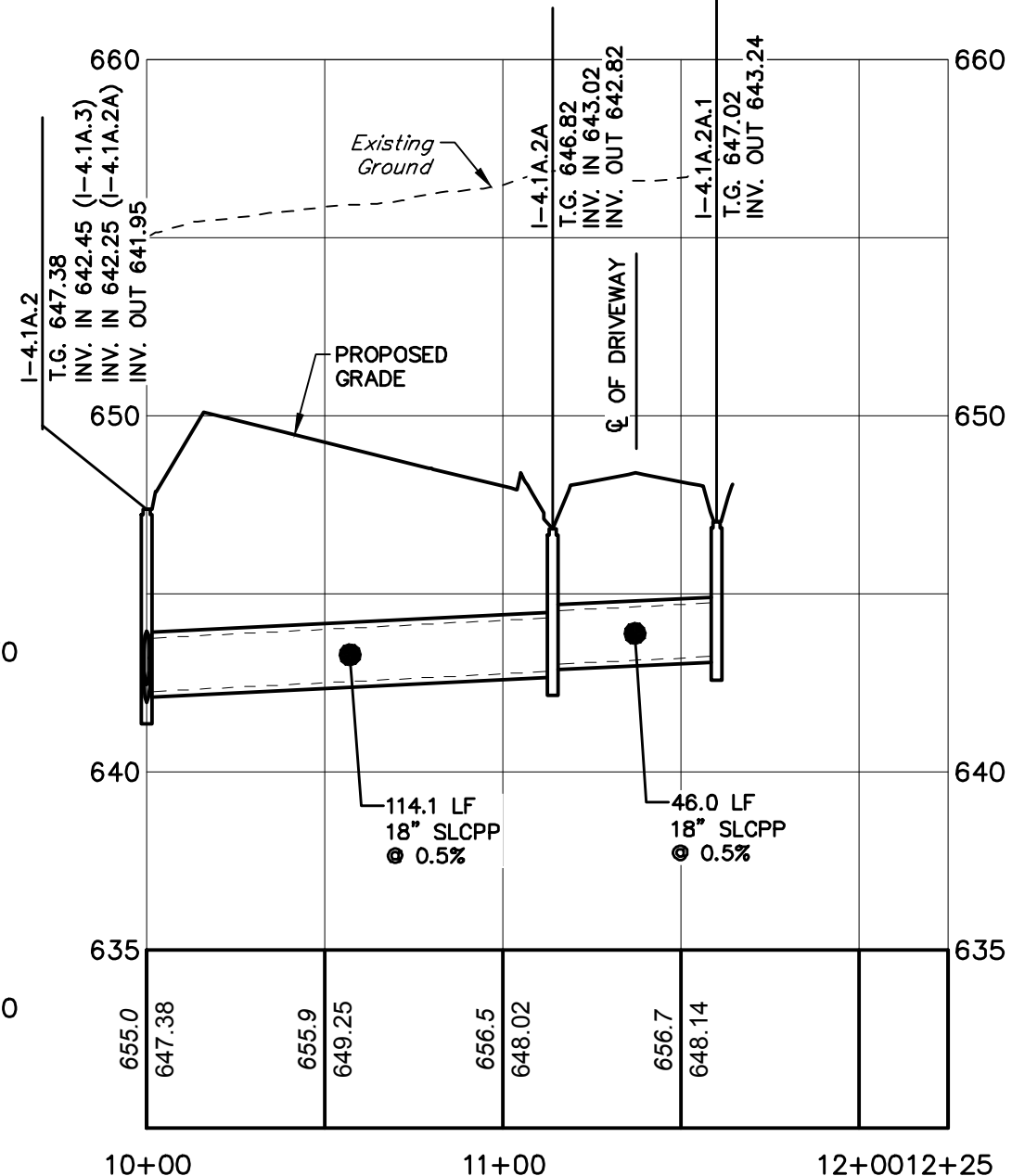
STORMWATER PIPE PROFILES - BASIN A2
FOR
ALLEMAN ROAD PROPERTY, LLC

PROJ. MGR. - SBB
DESIGN- HED/CAC
CADD- TLB
CHECKED- SBB
SCALE- AS SHOWN
DATE- 2021.08.24

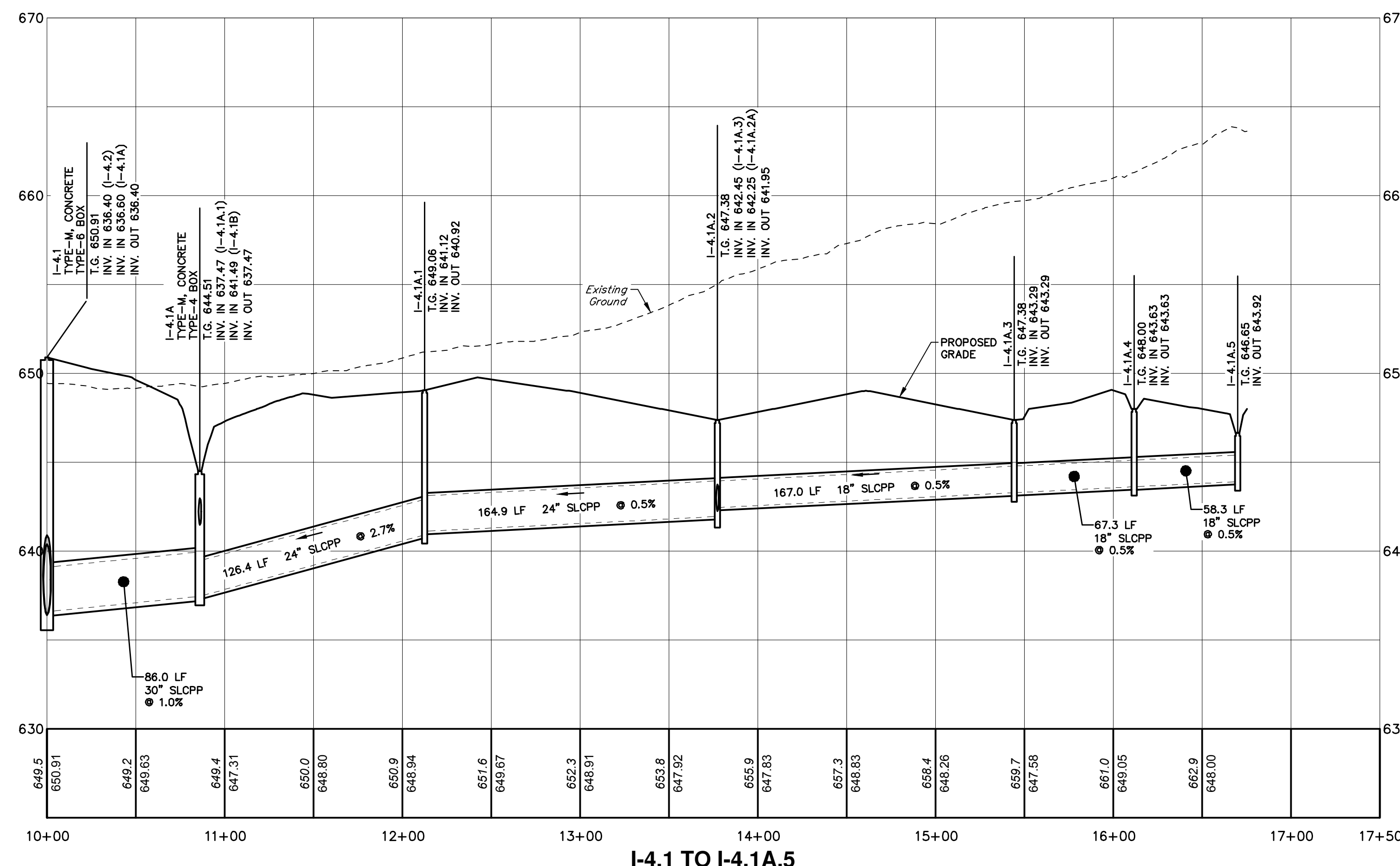
DRAWING NO.
PR-STM-3
SHEET NO.
36 OF 51
PROJECT R008499.0425



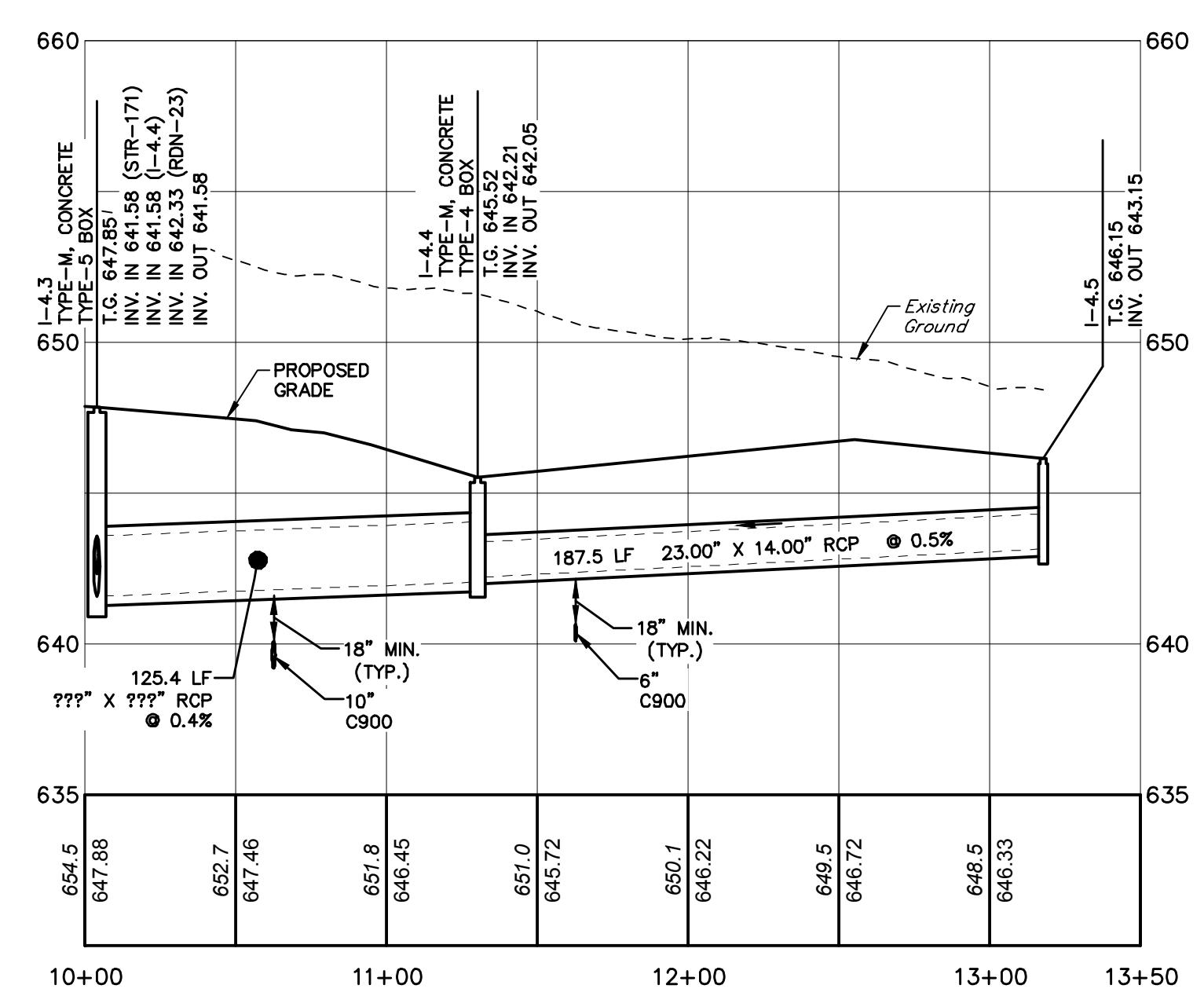
EW-4 TO RDN-16



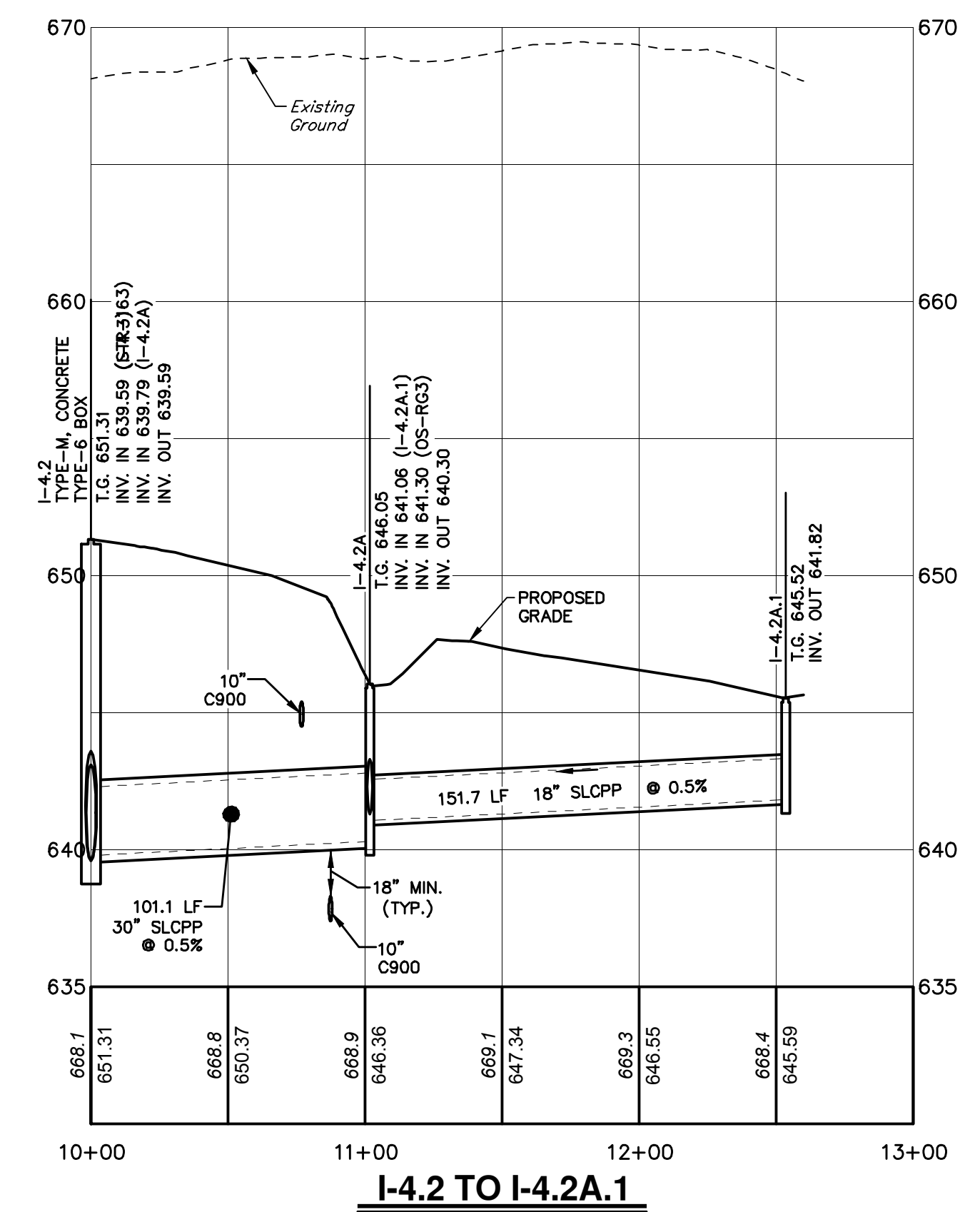
I-4.1A.2 TO I-4.1A.2A.1



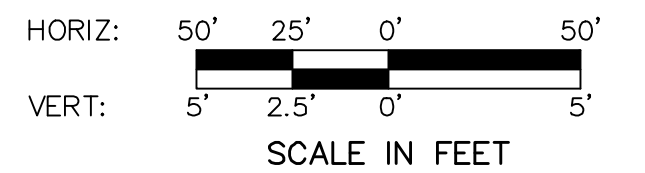
I-4.1 TO I-4.1A.5



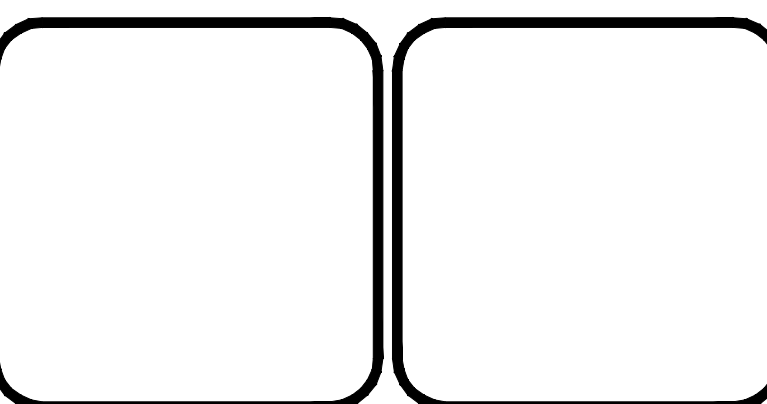
I-4.3 TO I-4.5



I-4.2 TO I-4.2A.1



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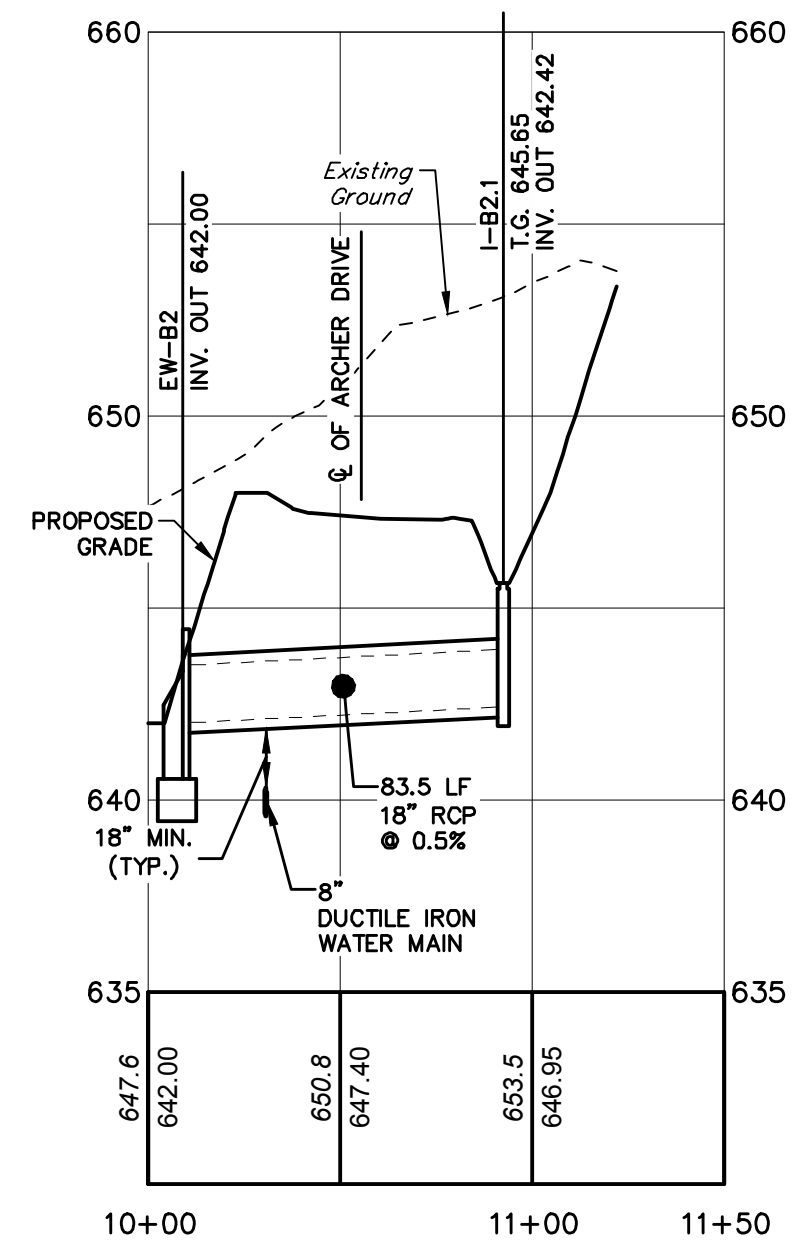
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STORMWATER PIPE PROFILES - BASIN A2
FOR
ALLEMAN ROAD PROPERTY, LLC

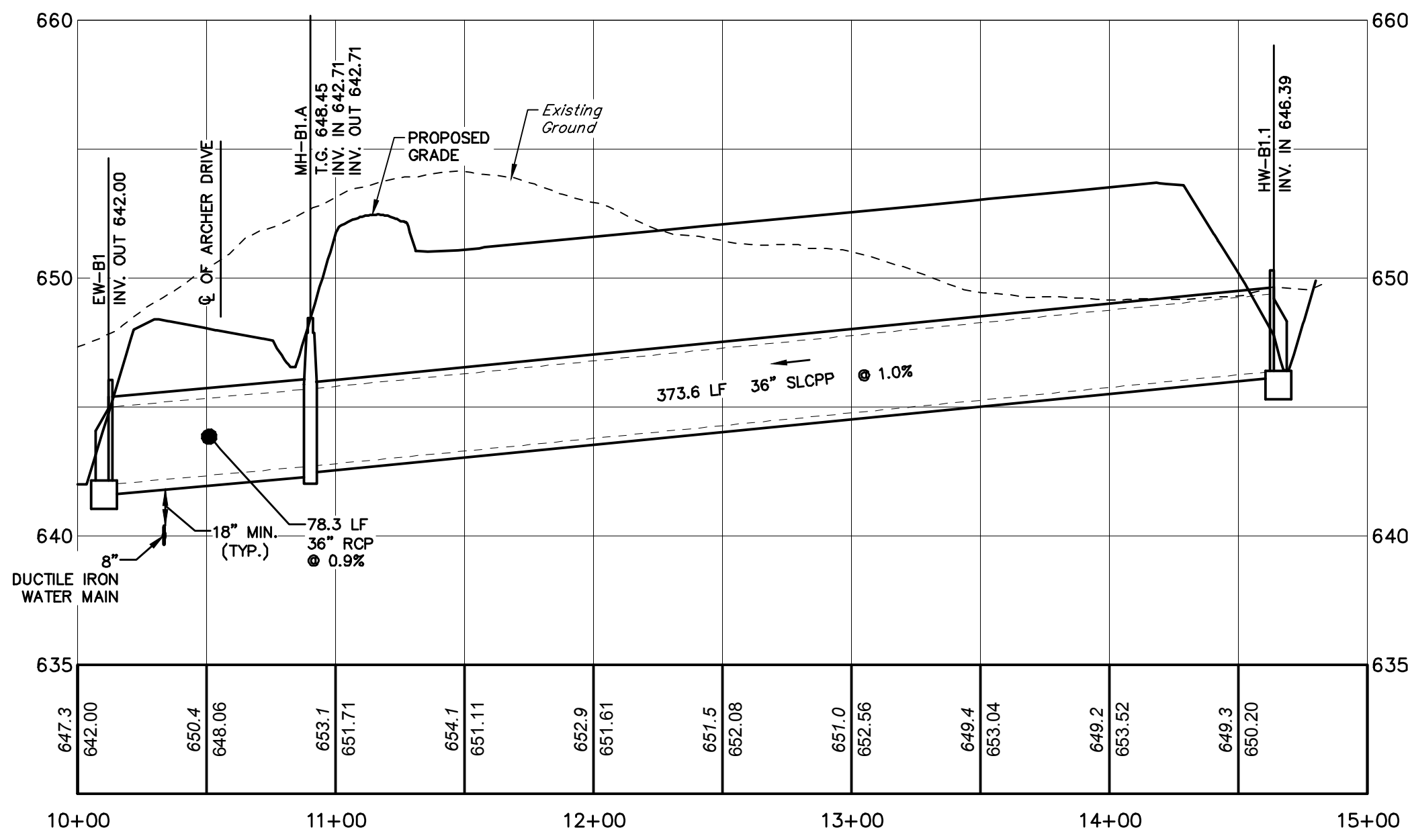
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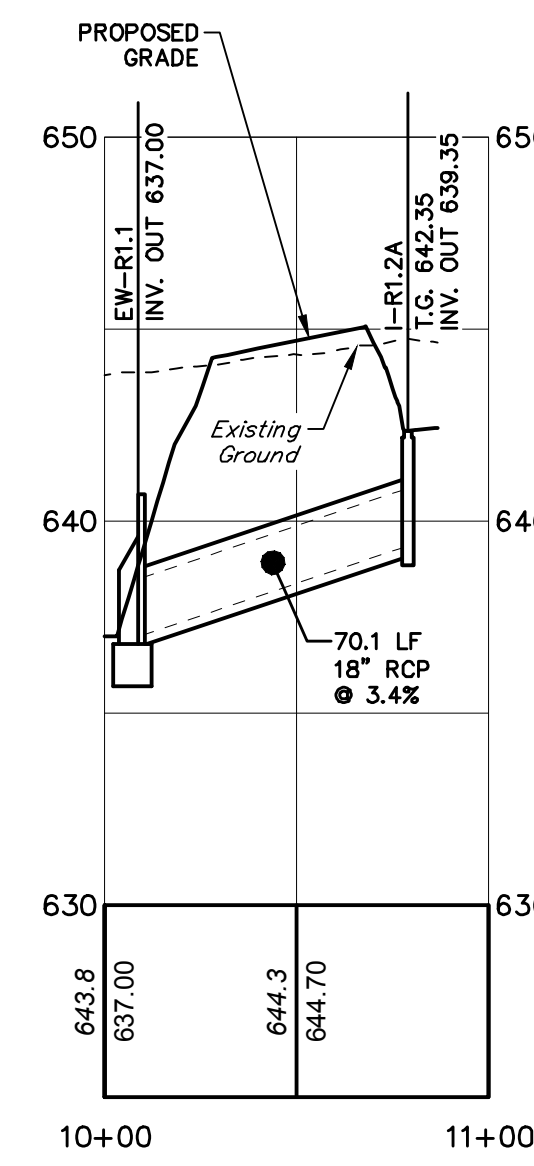
DRAWING NO.
PR-STM-4
SHEET NO.
37 OF 51
PROJECT R008499.0425



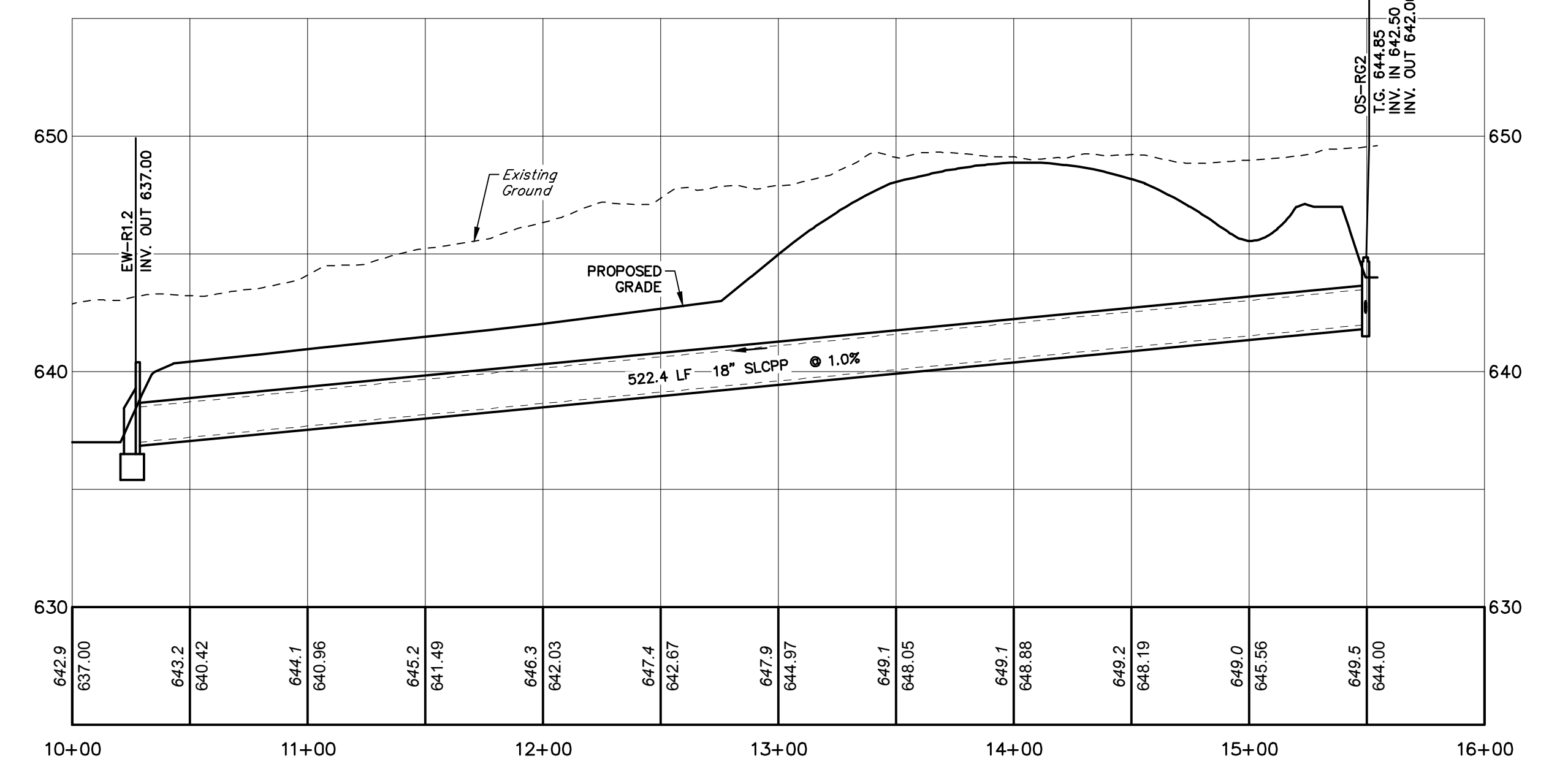
EW-B2 TO I-B2.1



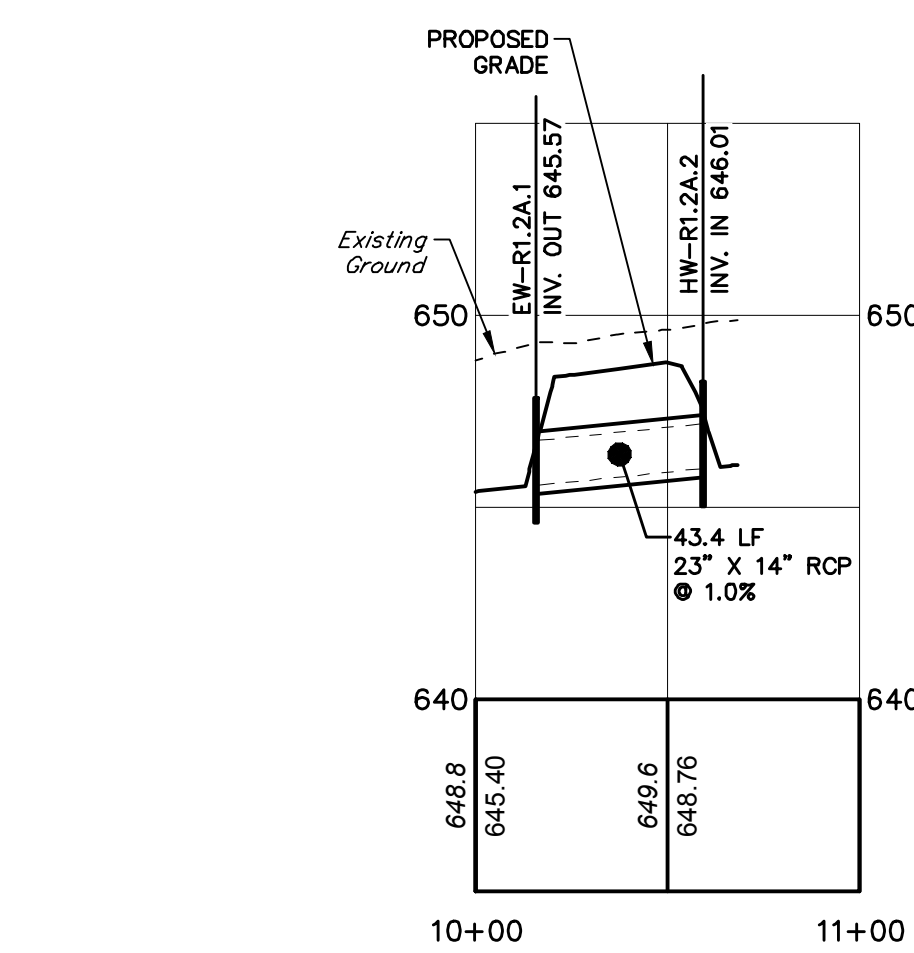
EW-B1 TO HW-B1.1



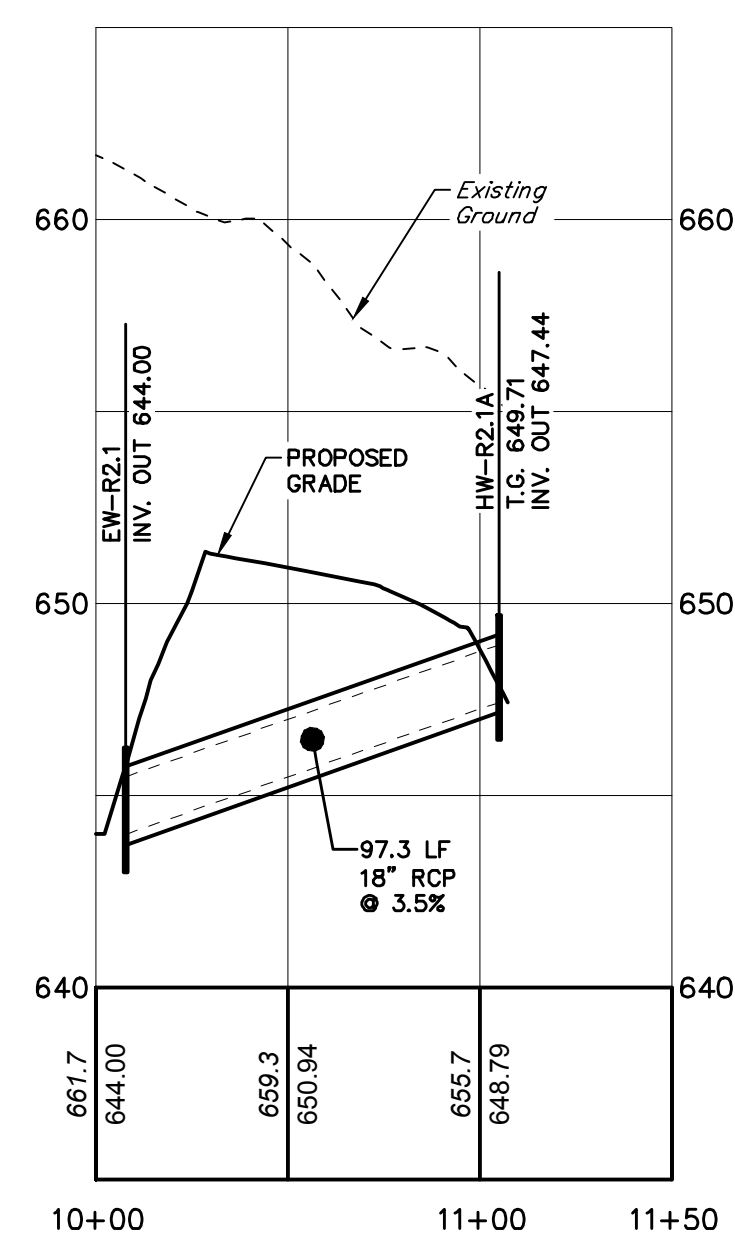
EW-R1.1 TO I-R1.2A



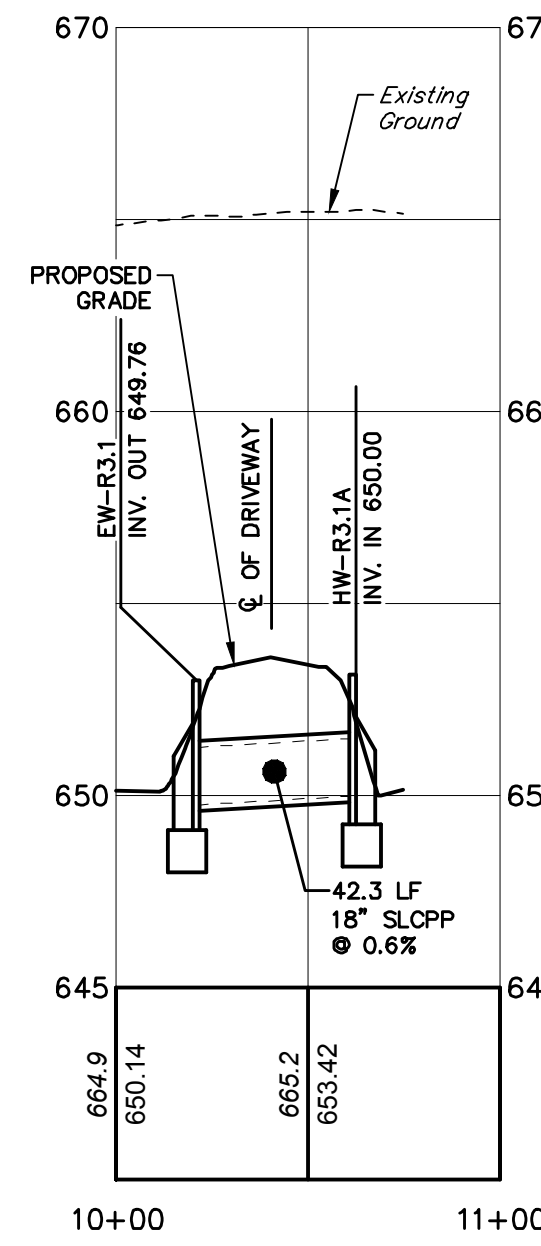
EW-R1.2 TO OS-R2



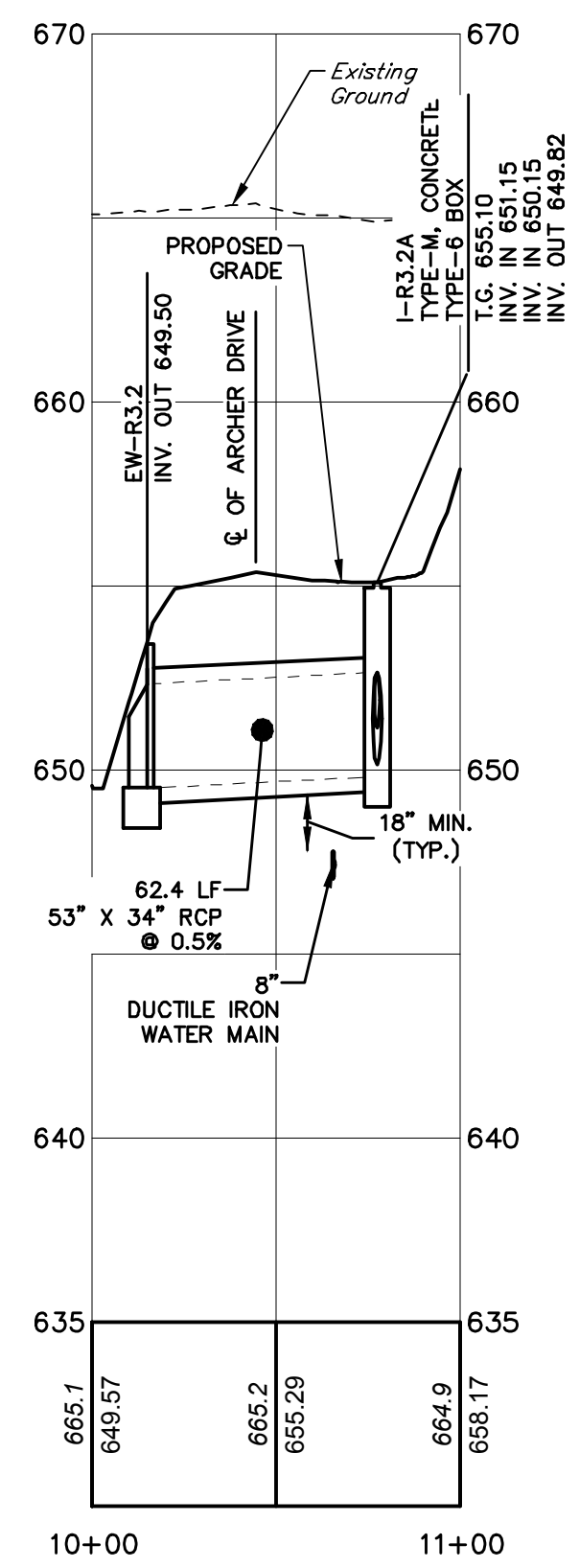
EW-R1.2A.1 TO HW-R1.2A.2



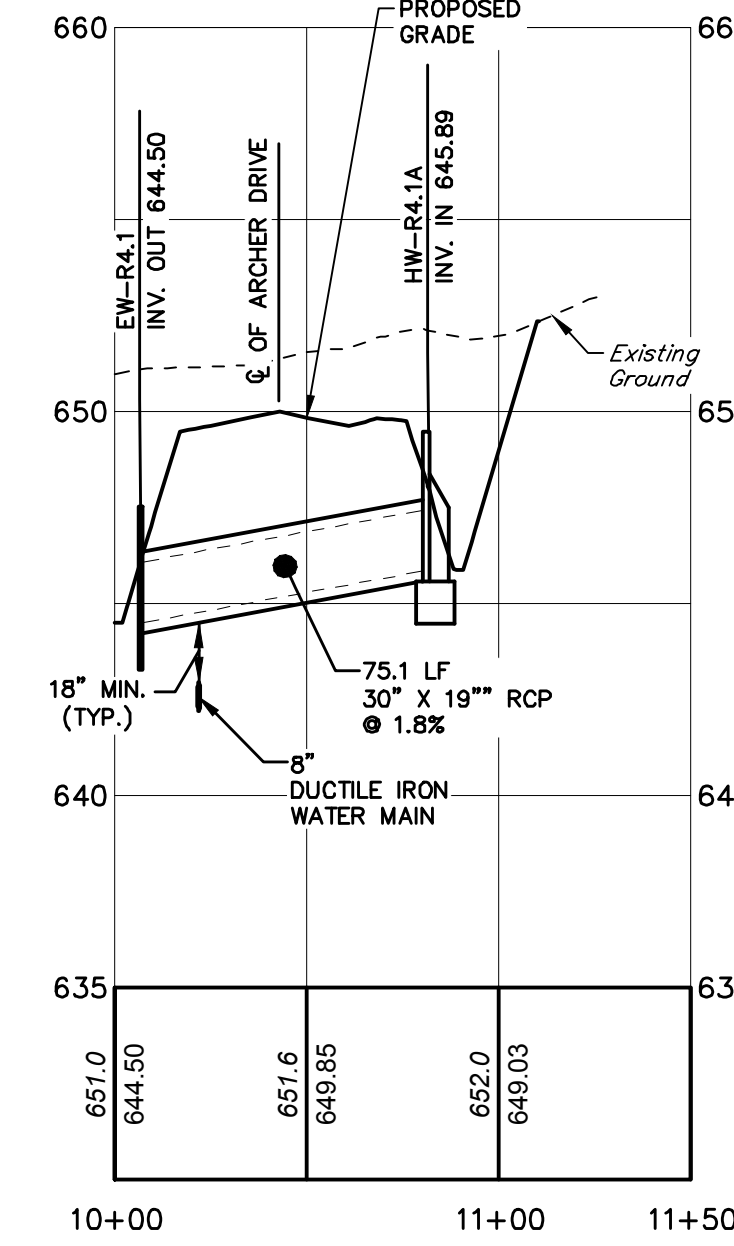
EW-R2.1 TO HW-R2.1A



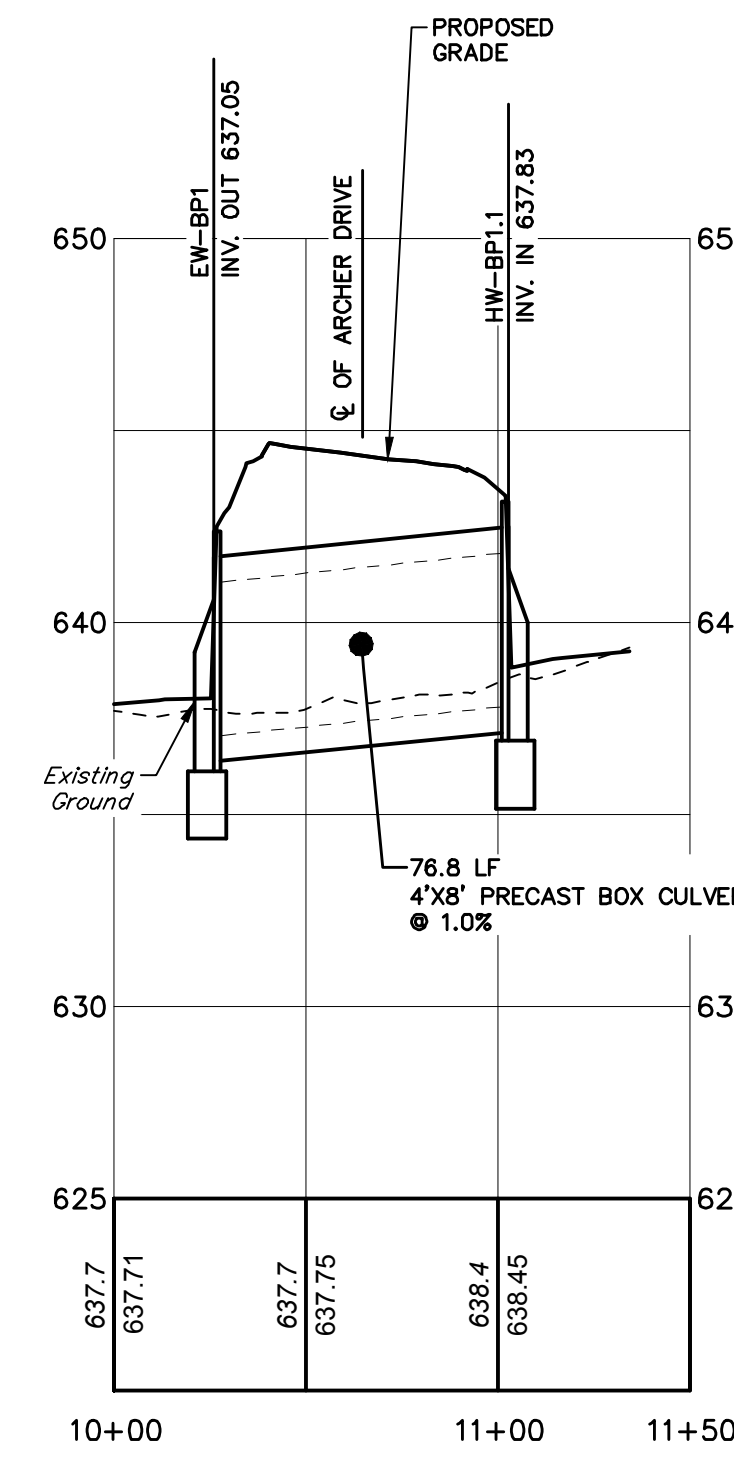
EW-R3.1 TO I-R3.1A



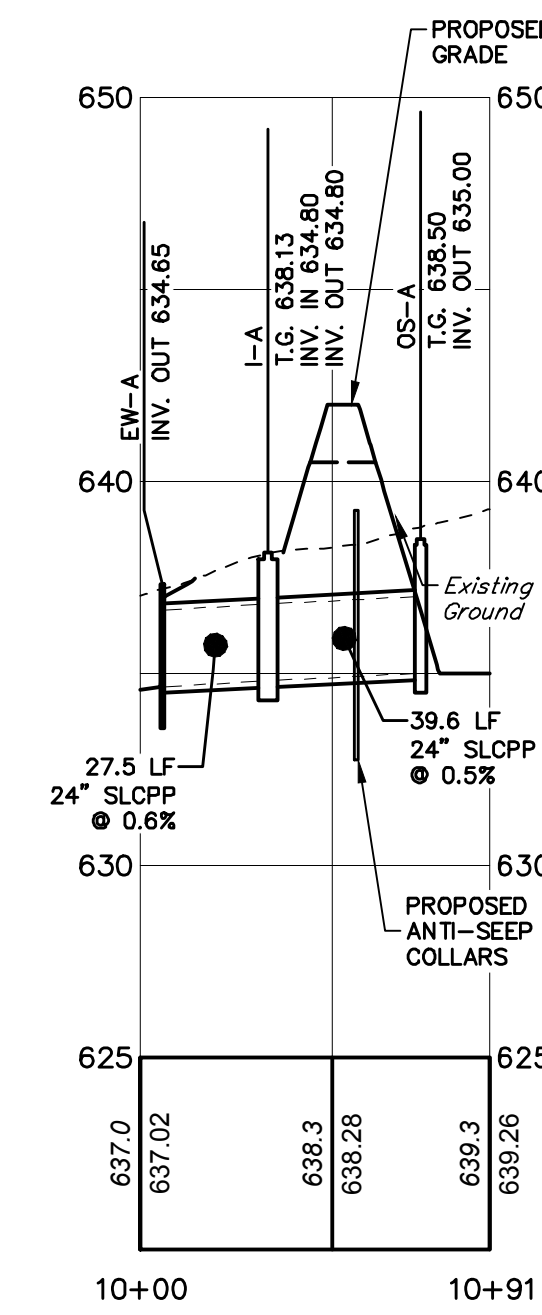
EW-R3.2 TO I-R3.2A



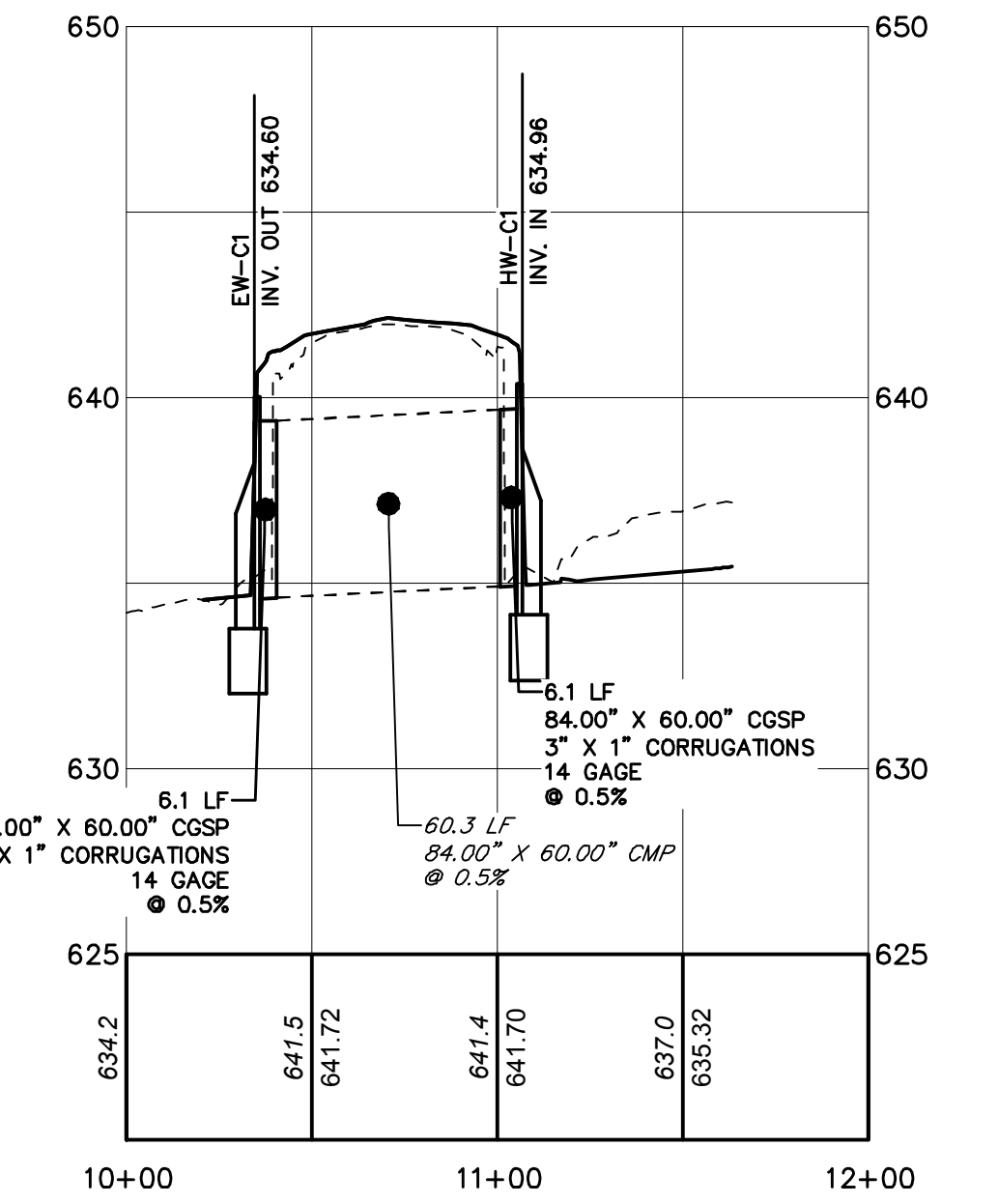
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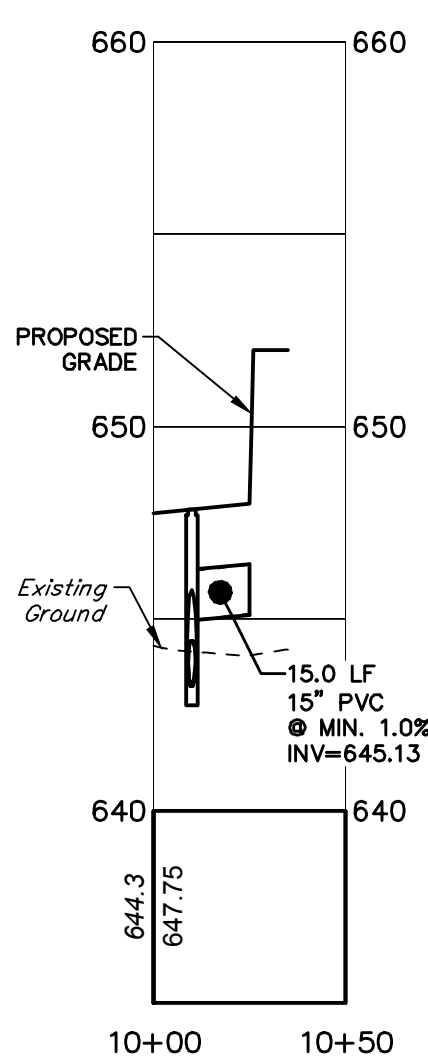
EW-BP1 TO HW-BP1.1



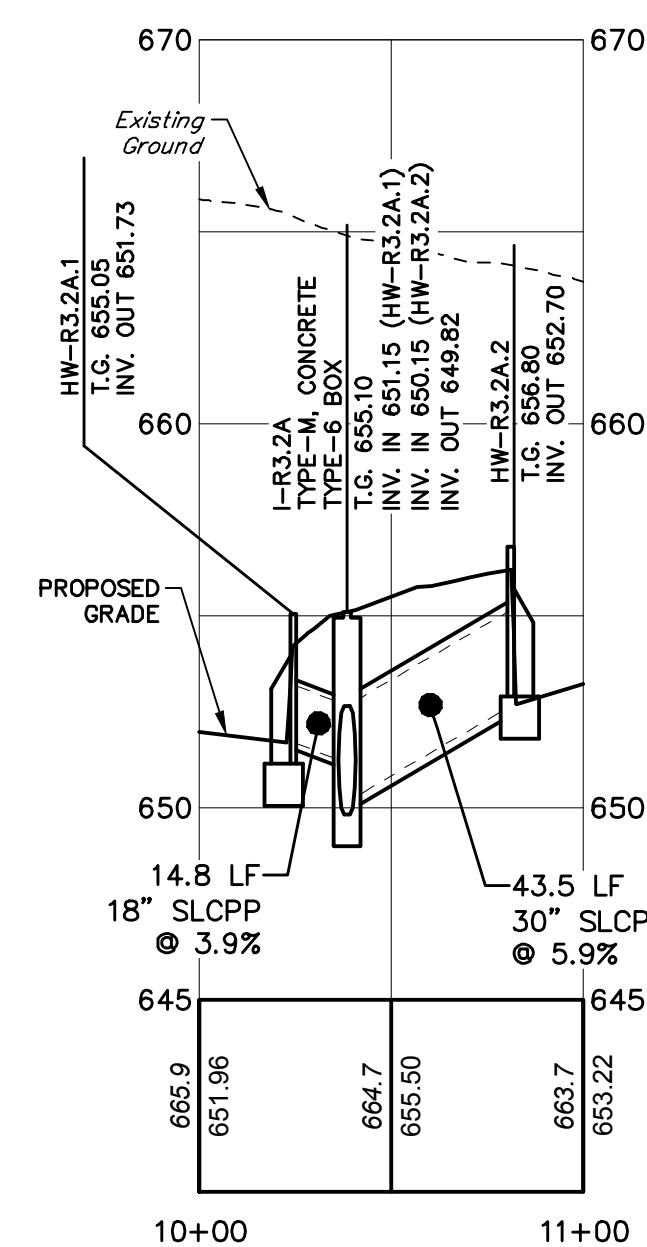
EW-A TO OS-A



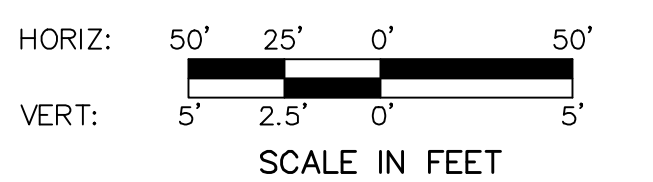
SWAMP FOX ROAD (S.R. 0914) STA. 114 + 64



TYPICAL ROOF LEADERS (NORTH AND SOUTH)



HW-R3.2A.1 TO HW-R3.2A.2



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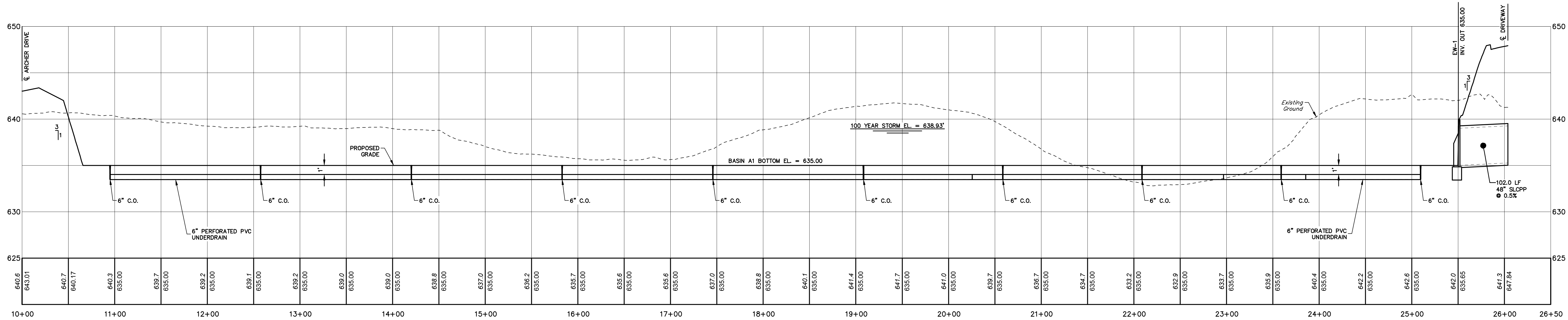
484-320-7808 OFFICE

STORMWATER PIPE PROFILES - BASIN B AND MISCELLANEOUS
FOR
ALLEMAN ROAD PROPERTY, LLC

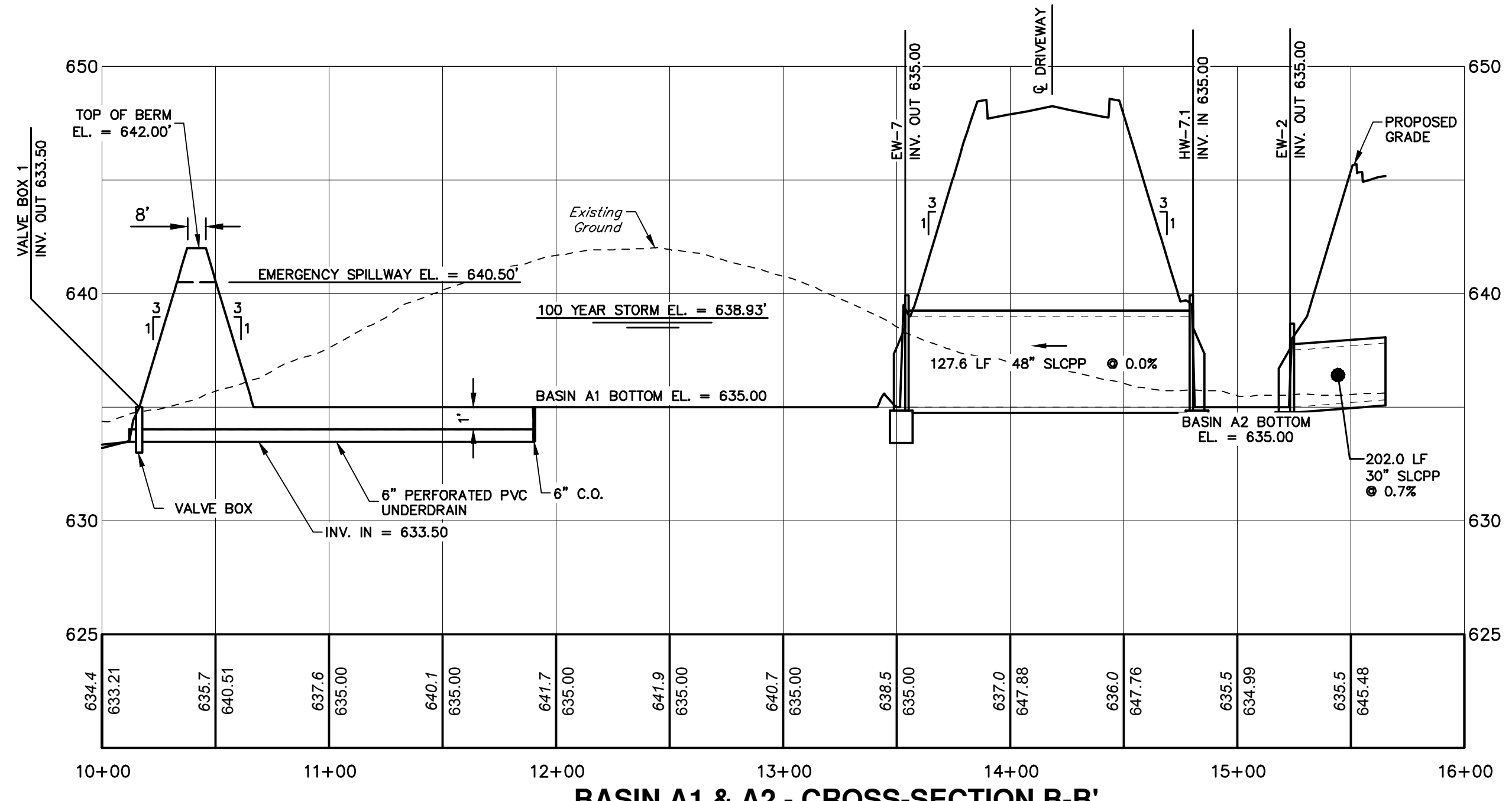
GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB
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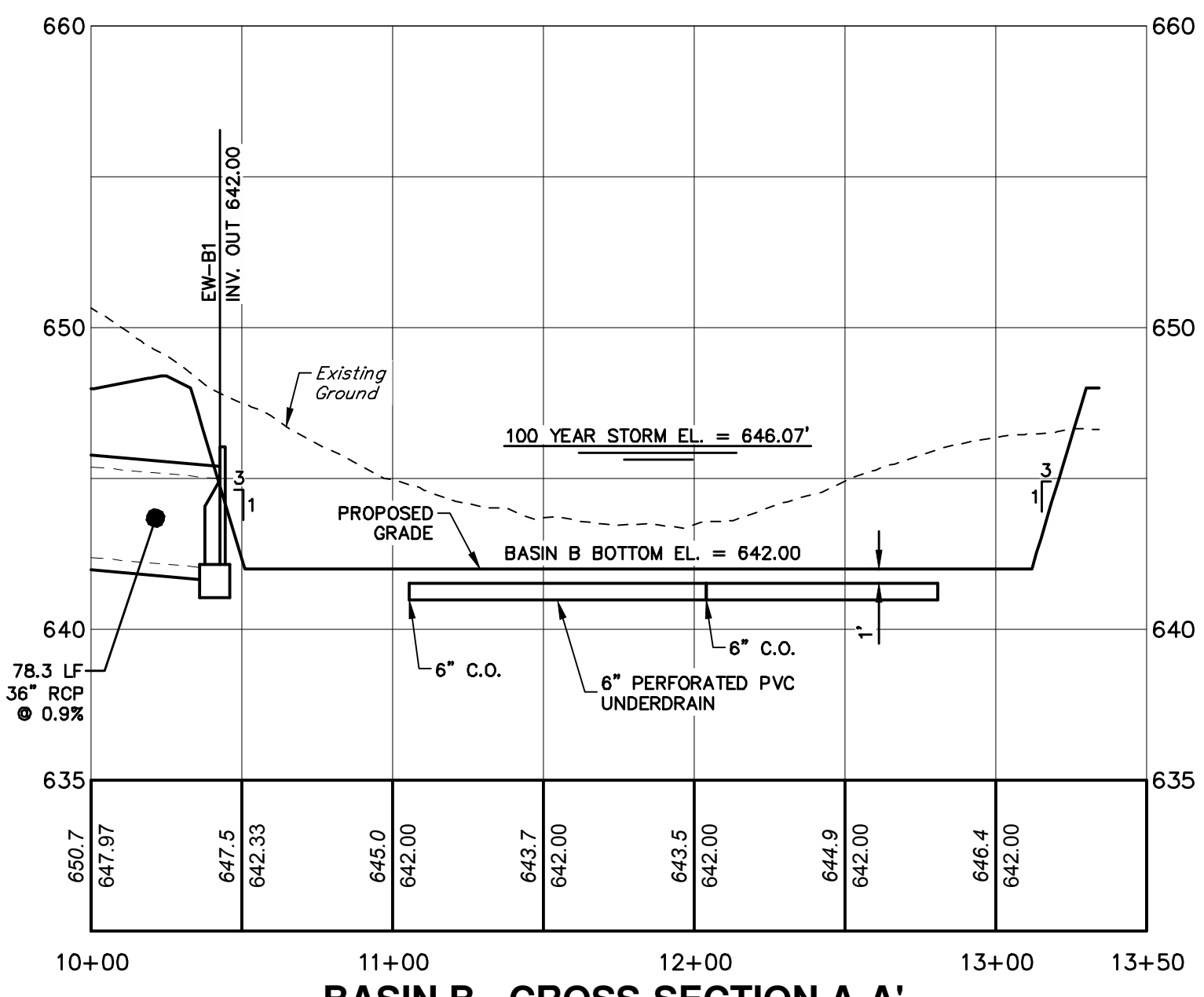
DRAWING NO.
PR-STM-5
SHEET NO.
38 OF 51
PROJECT R008499.0425



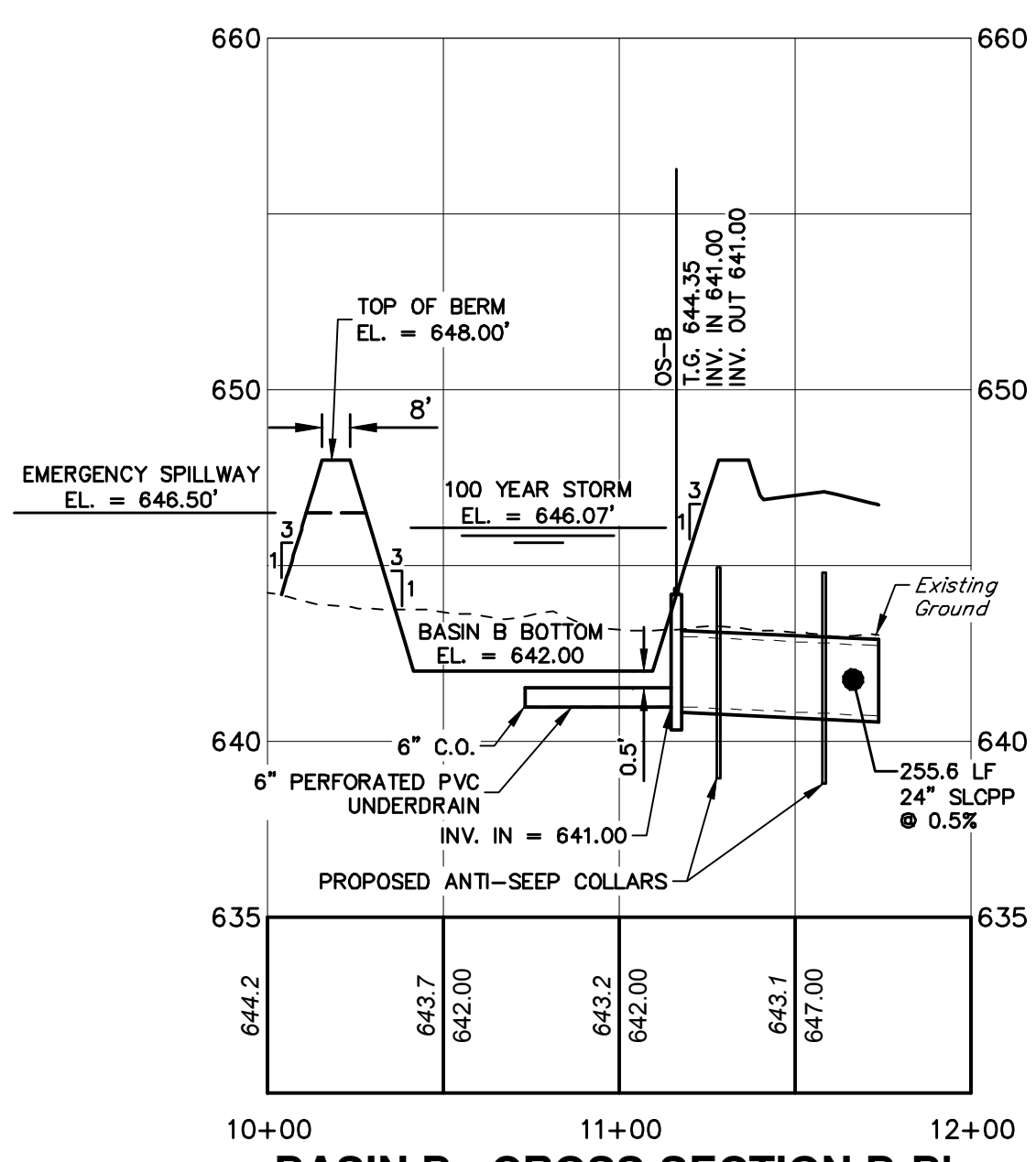
BASIN A1 - CROSS-SECTION A-A'



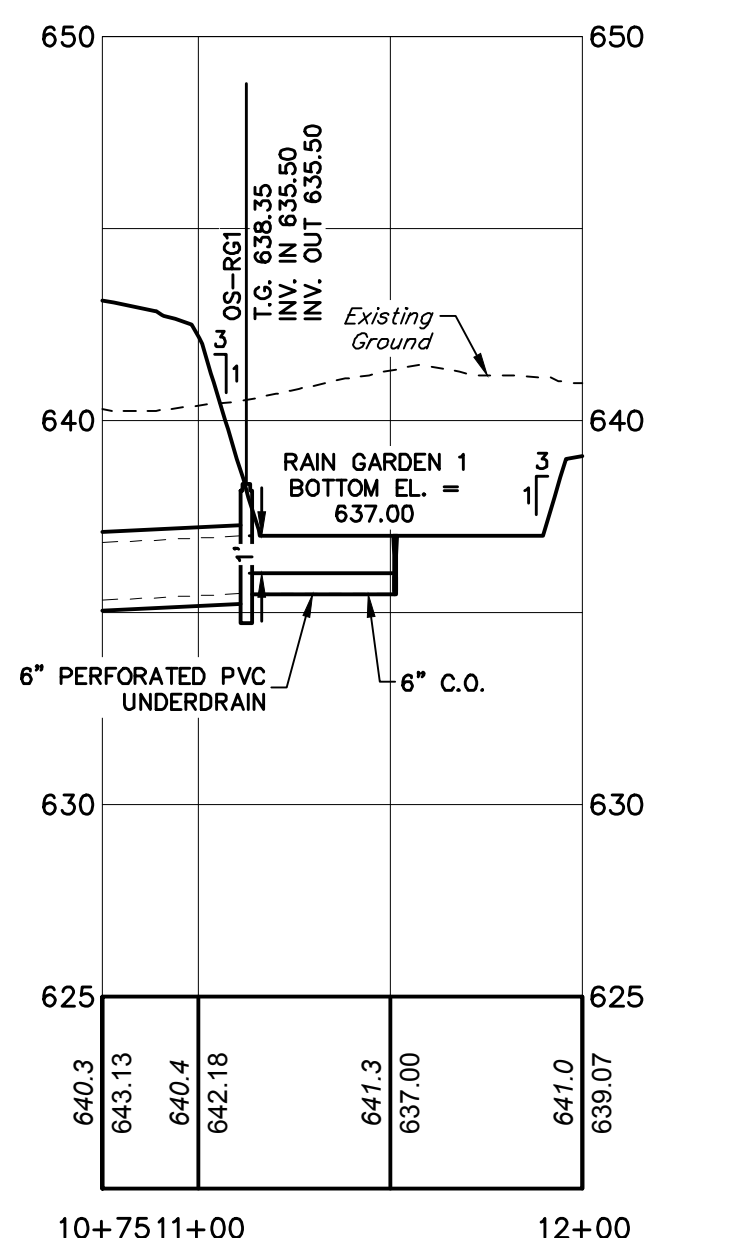
BASIN A1 & A2 - CROSS-SECTION B-B'



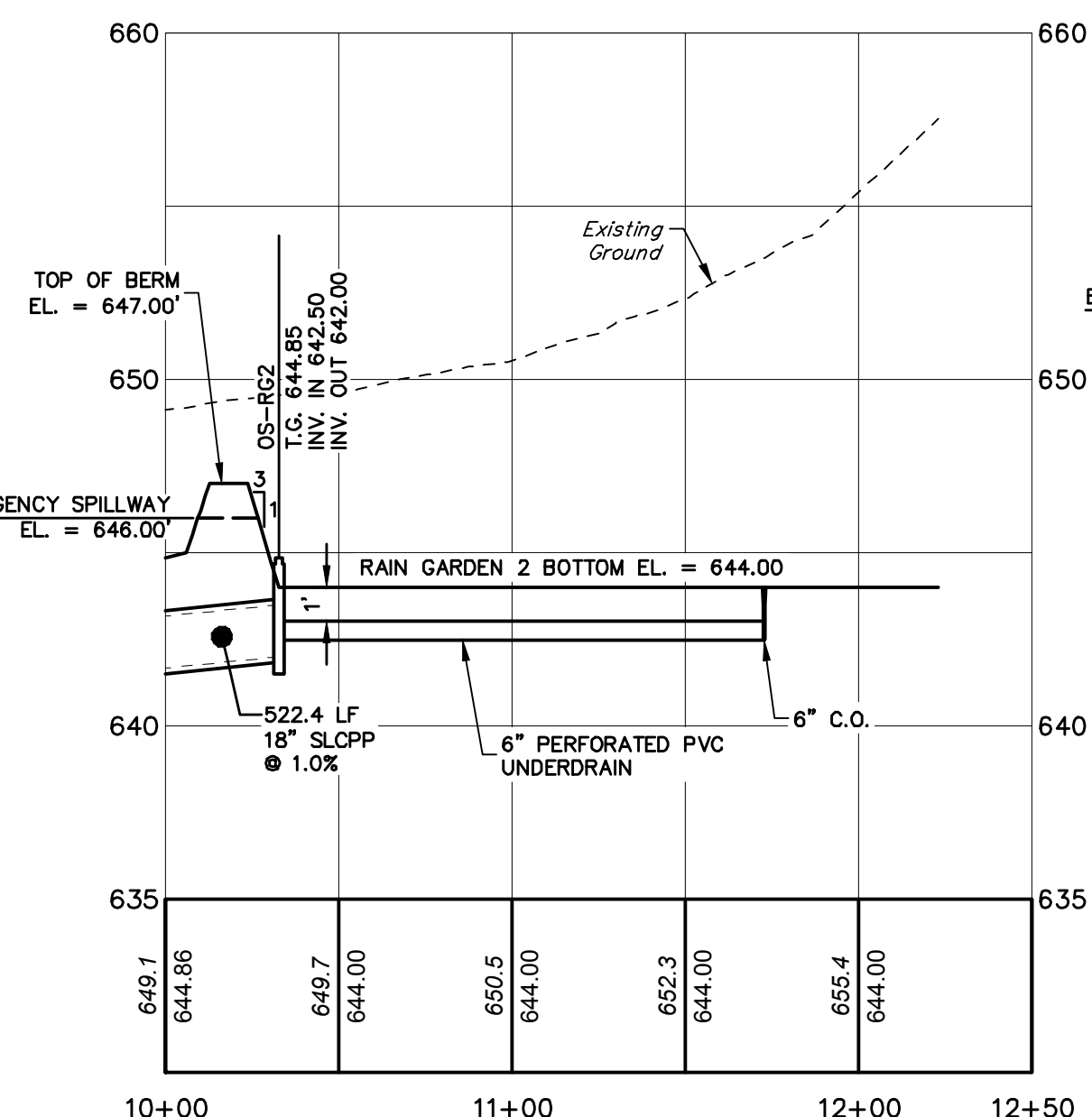
BASIN B - CROSS-SECTION A-A'



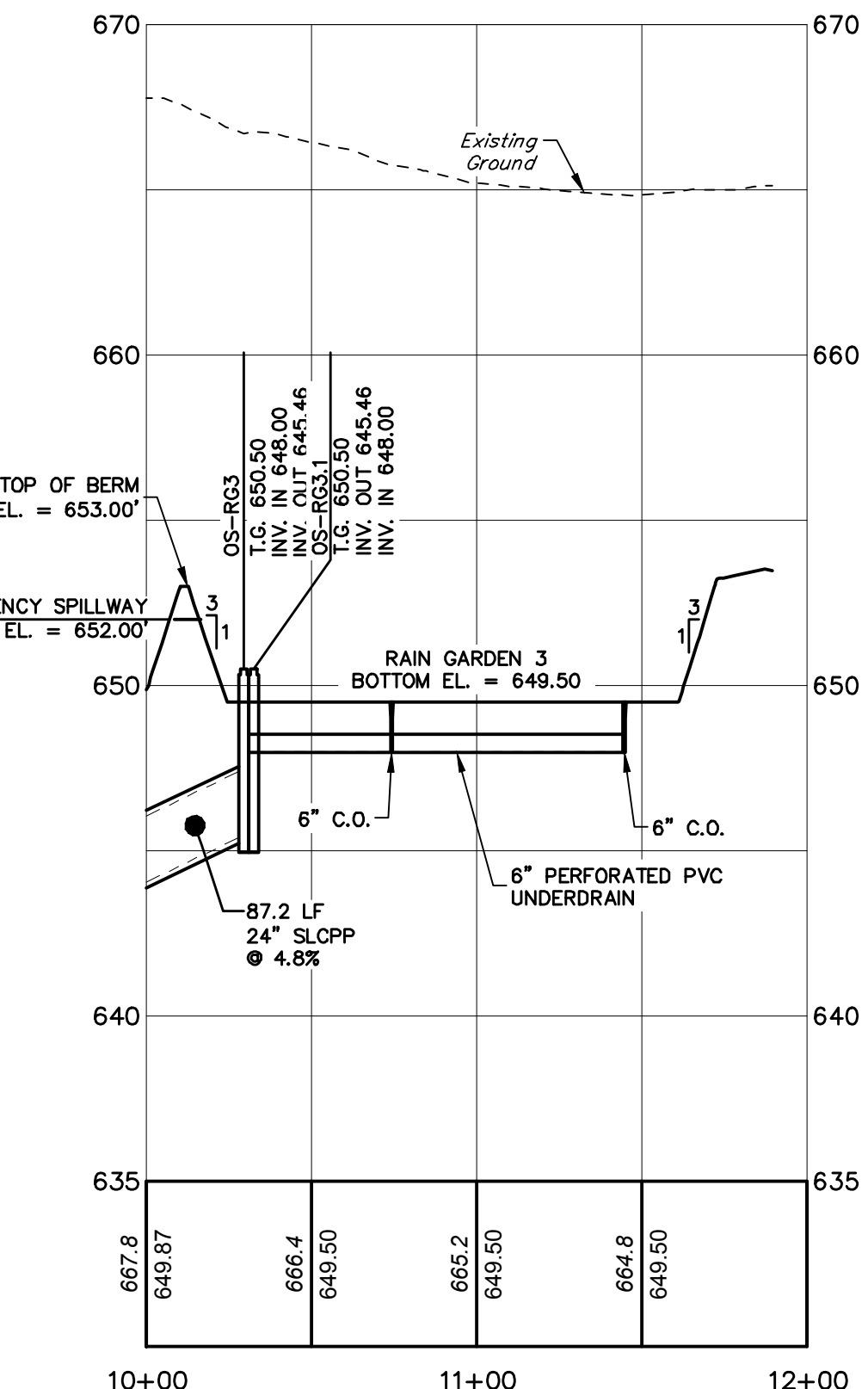
BASIN B - CROSS-SECTION B-B'



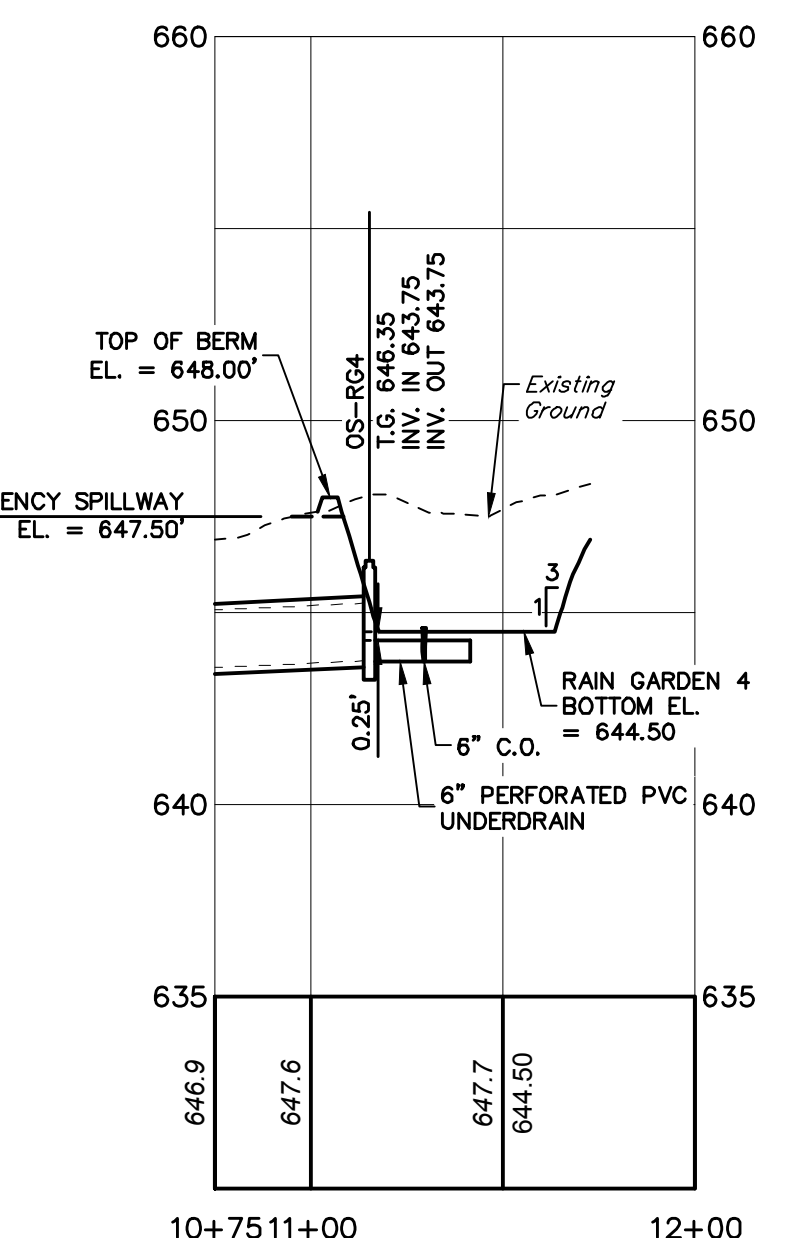
RAINGARDEN 1 - CROSS-SECTION



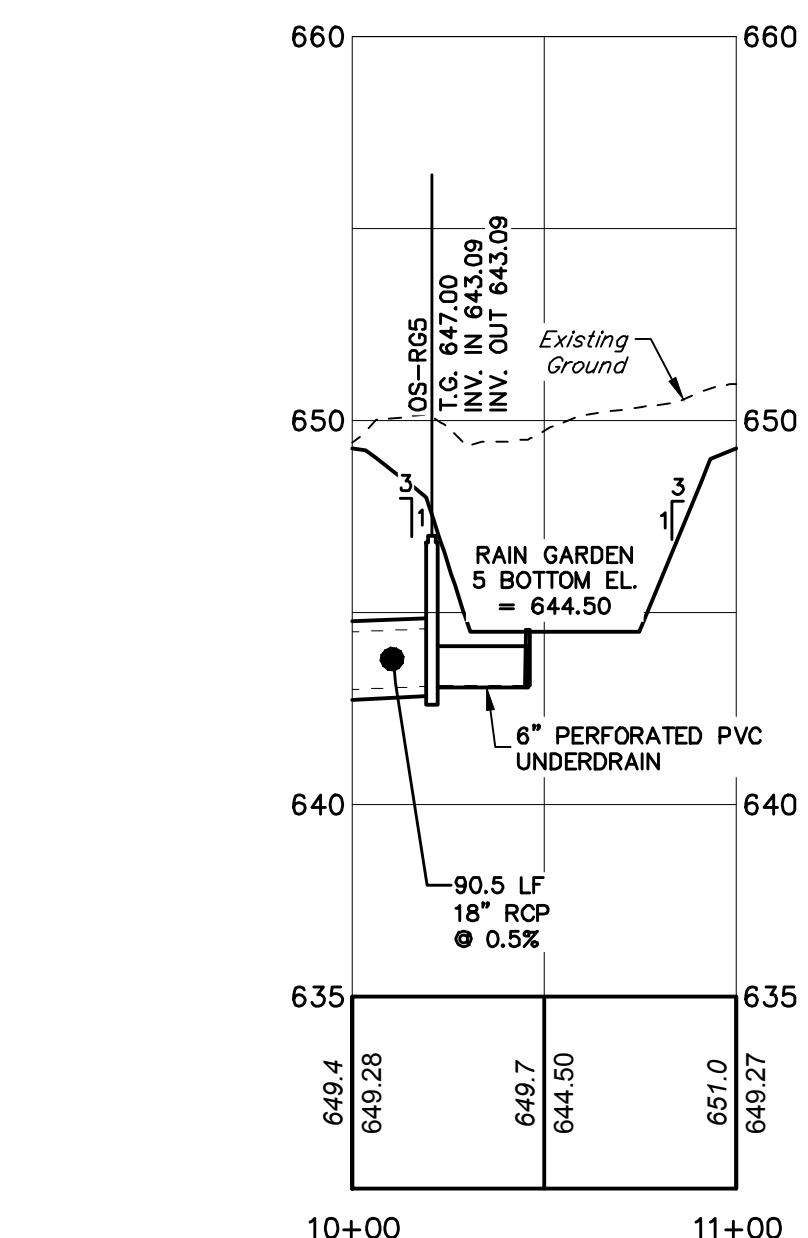
RAINGARDEN 2 - CROSS-SECTION



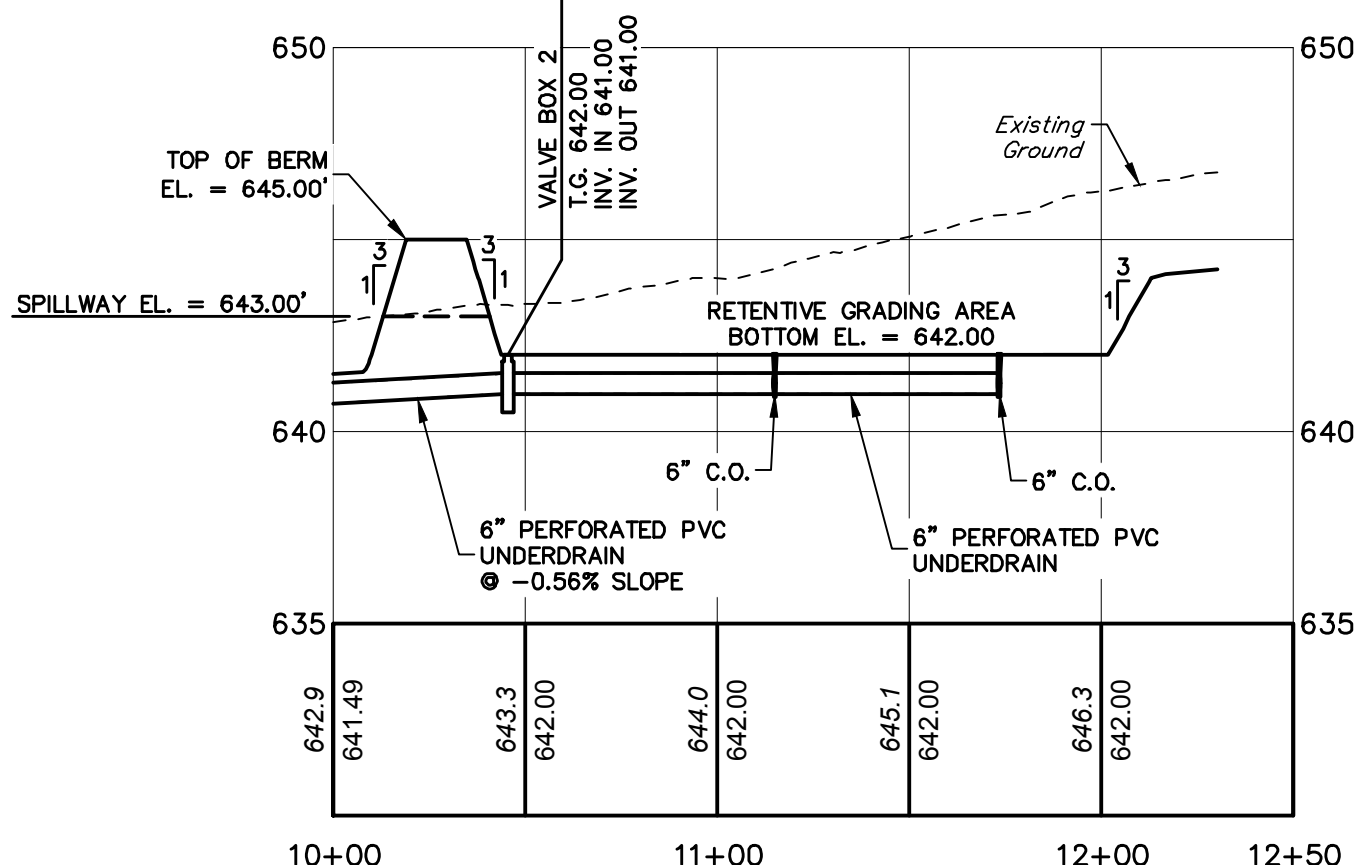
RAINGARDEN 3 - CROSS-SECTION



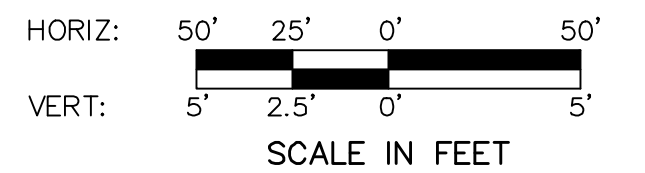
RAINGARDEN 4 - CROSS-SECTION



RAINGARDEN 5 - CROSS-SECTION



RETENTIVE GRADING AREA - RTG-1 - CROSS-SECTION



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB / CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB

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Engineering & Related Services
AN EMPLOYEE-OWNED COMPANY

207 Grant Street
Chambersburg, PA 17201
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hr@hr-inc.com
www.hrg-inc.com

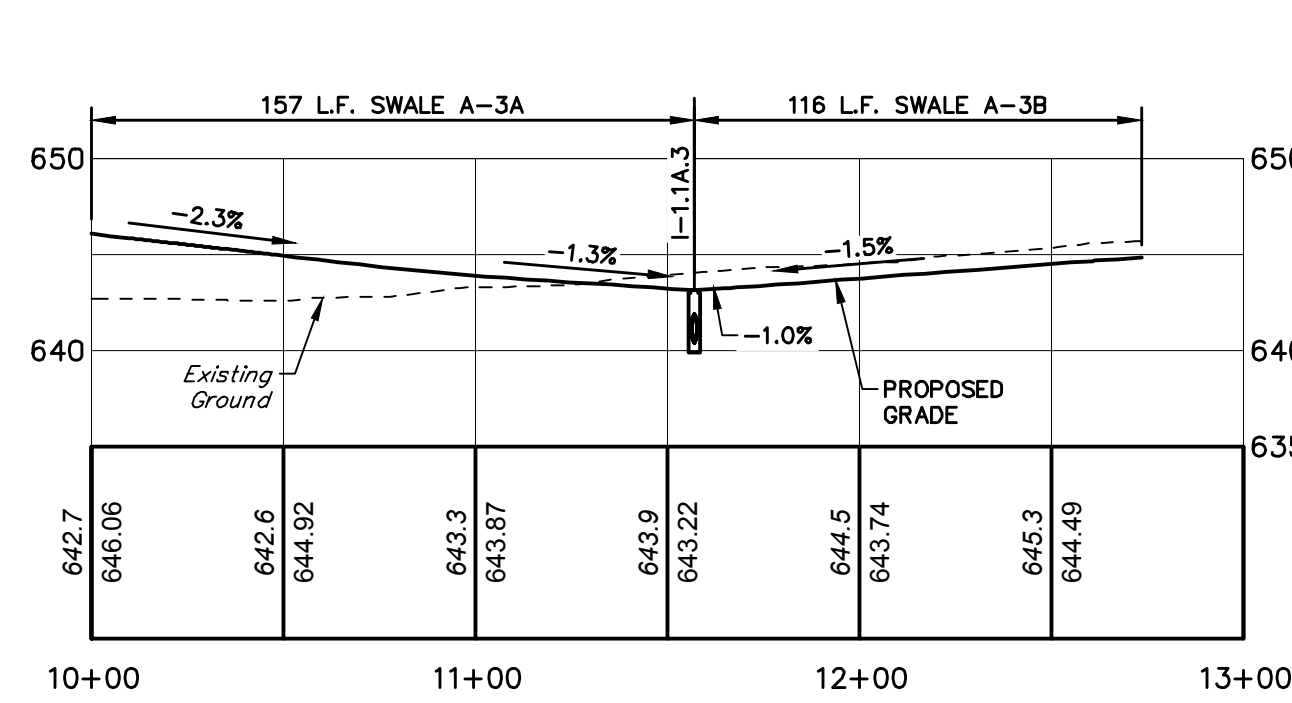
ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

STORMWATER PROFILES - BASIN A1, A2 & B SECTIONS
FOR
ALLEMAN ROAD PROPERTY, LLC

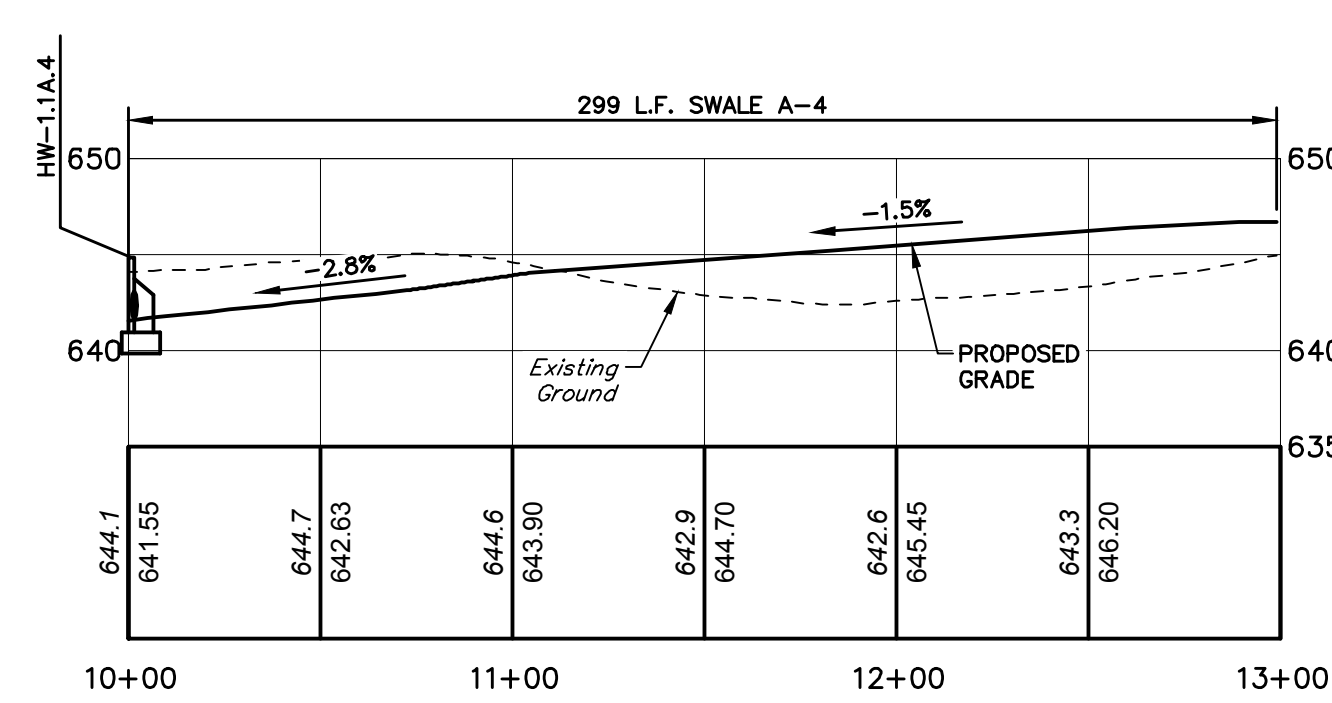
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

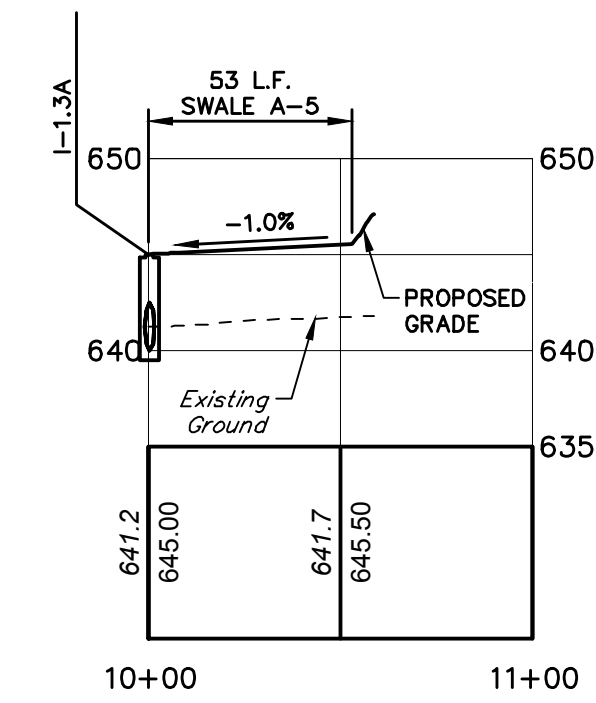
DRAWING NO.
PR-STM-6
SHEET NO.
39 OF 51
PROJECT R008499.0425



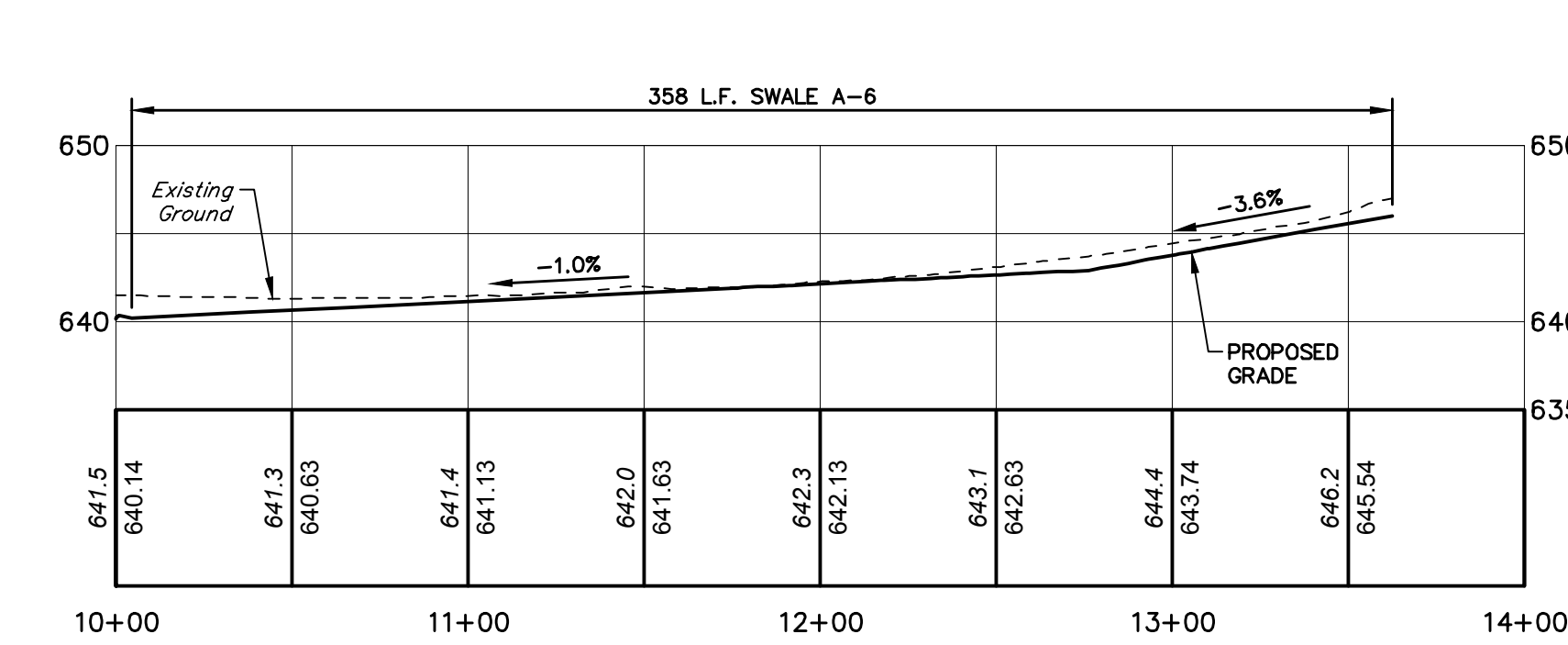
SWALES: A-3A & A-3B



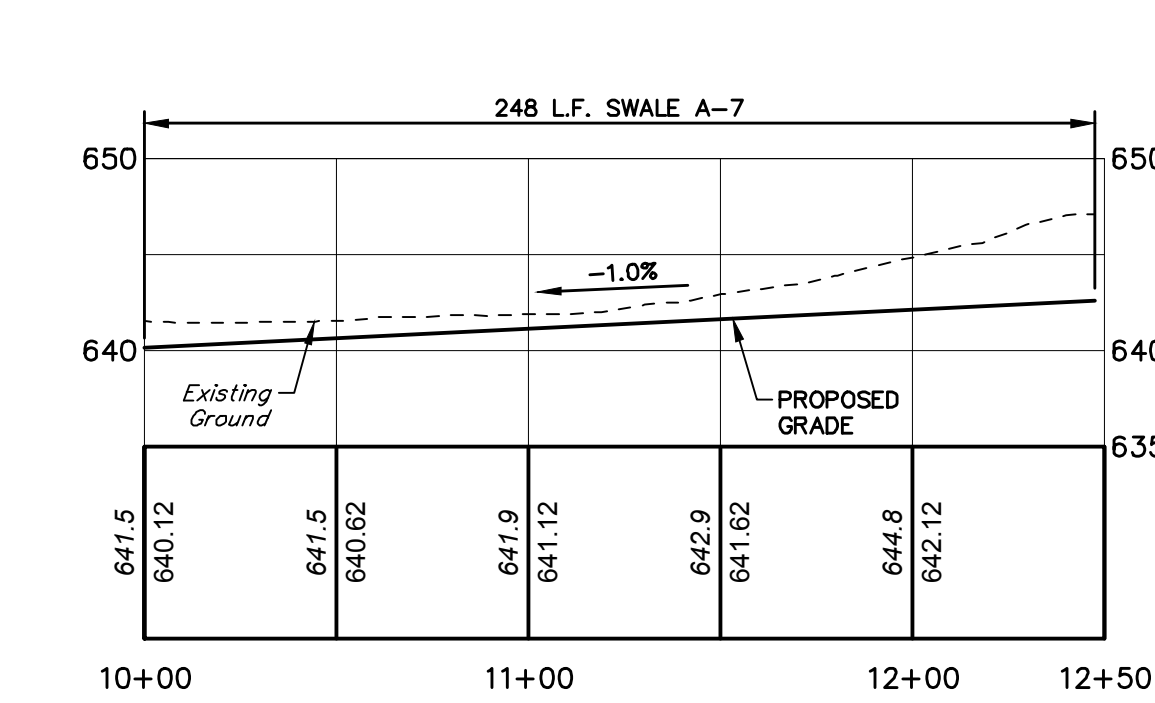
SWALE: A-4



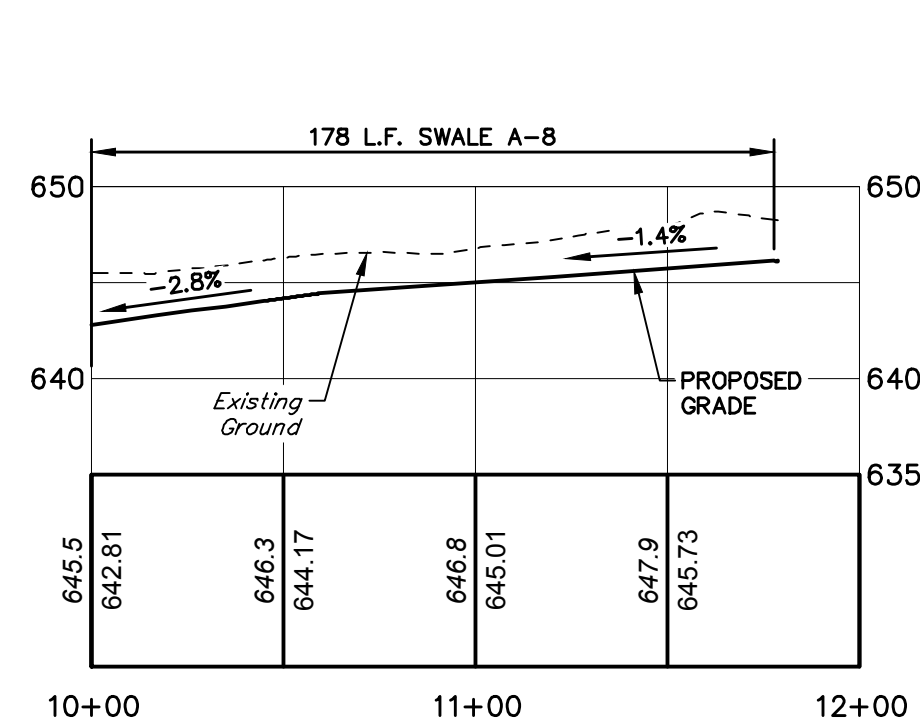
SWALE: A-5



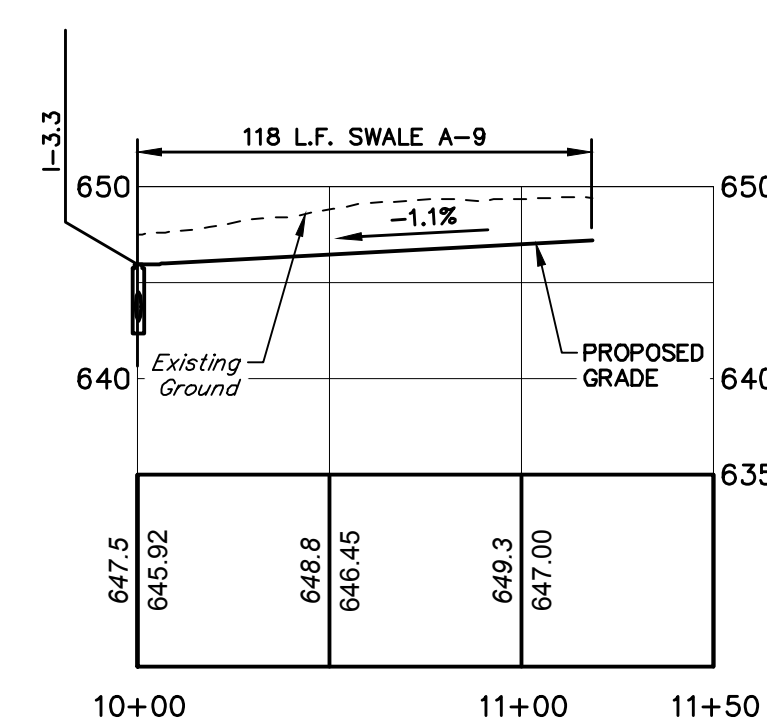
SWALE: A-6



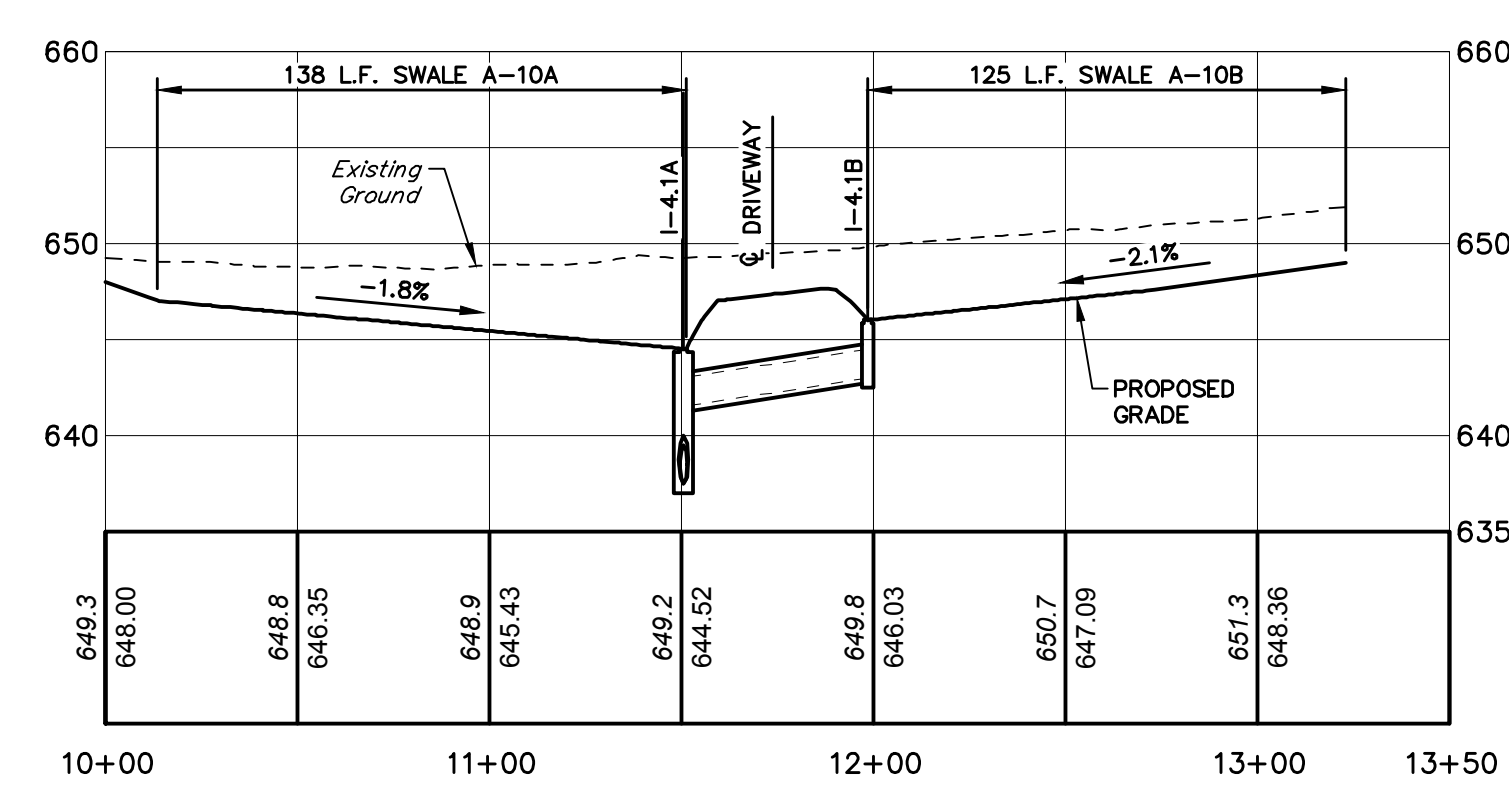
SWALE: A-7



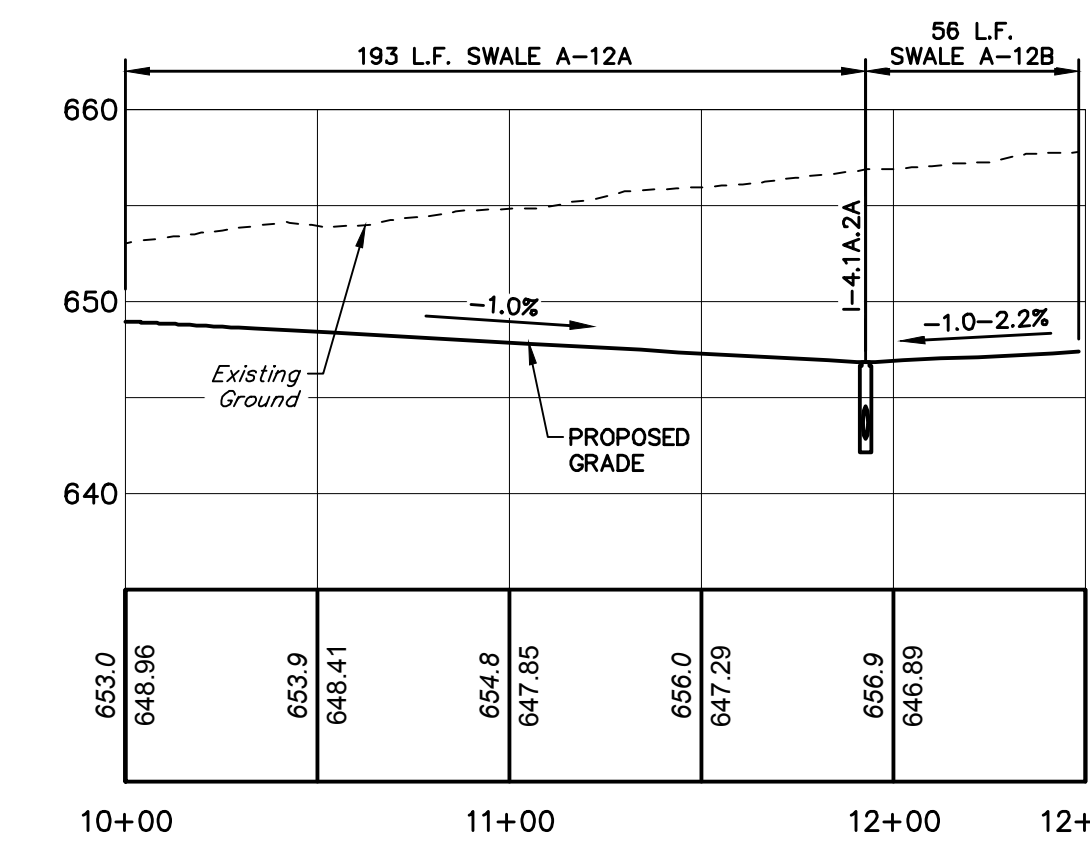
SWALE: A-8



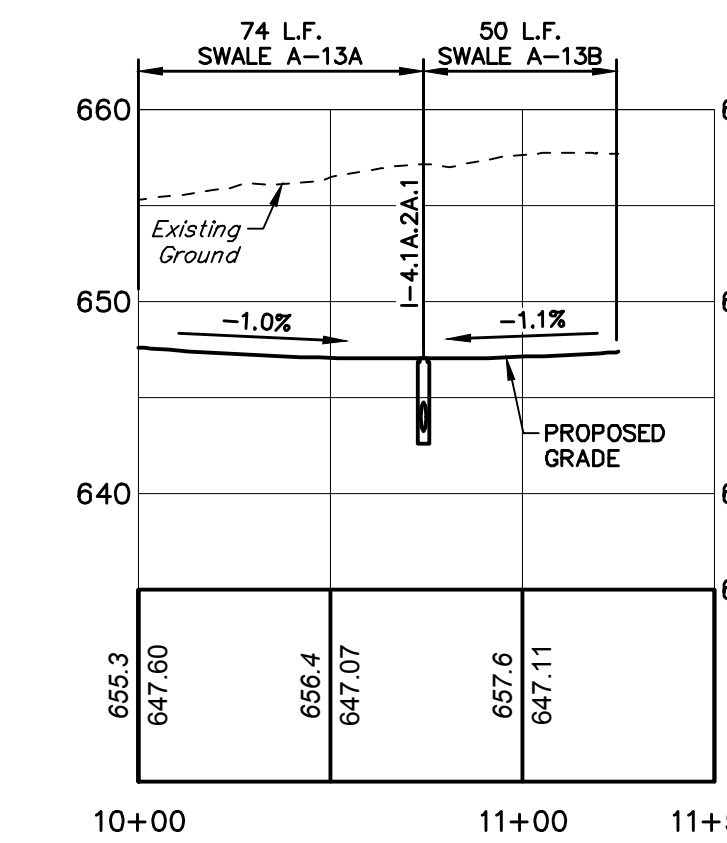
SWALE: A-9



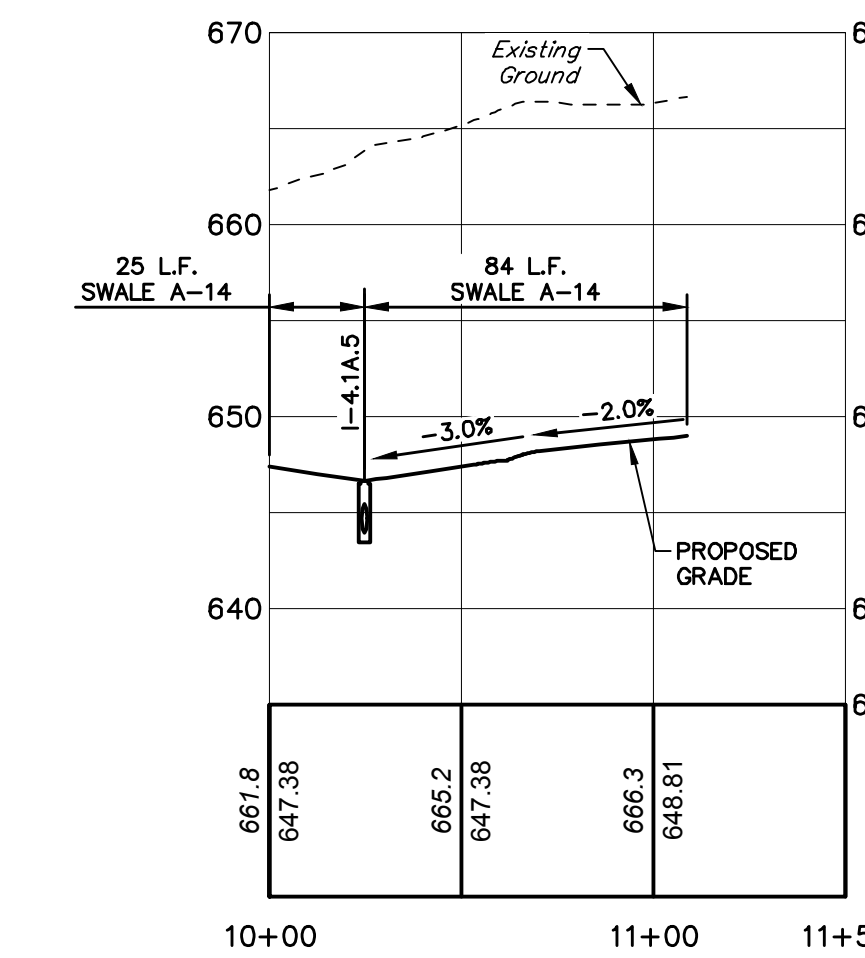
SWALES: A-10A & A-10B



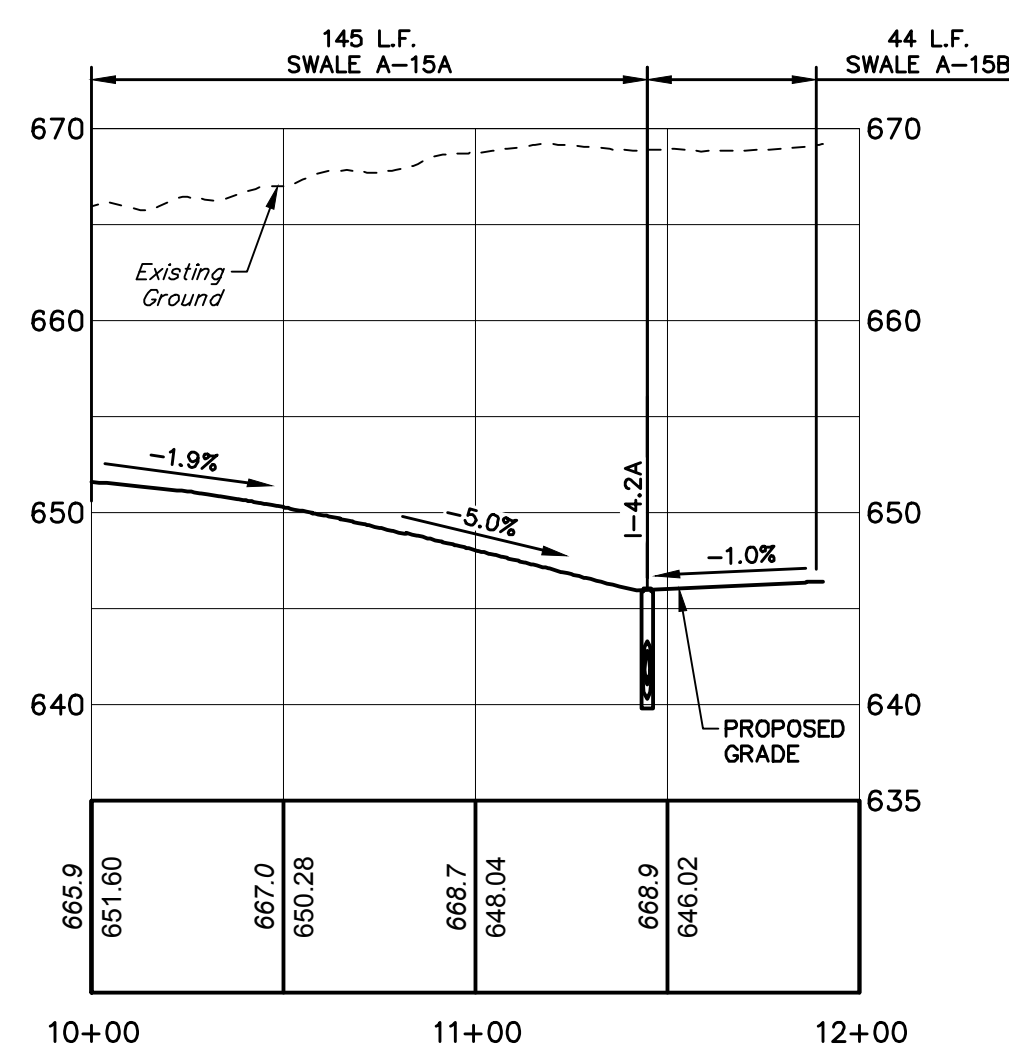
SWALES: A-12A & A-12B



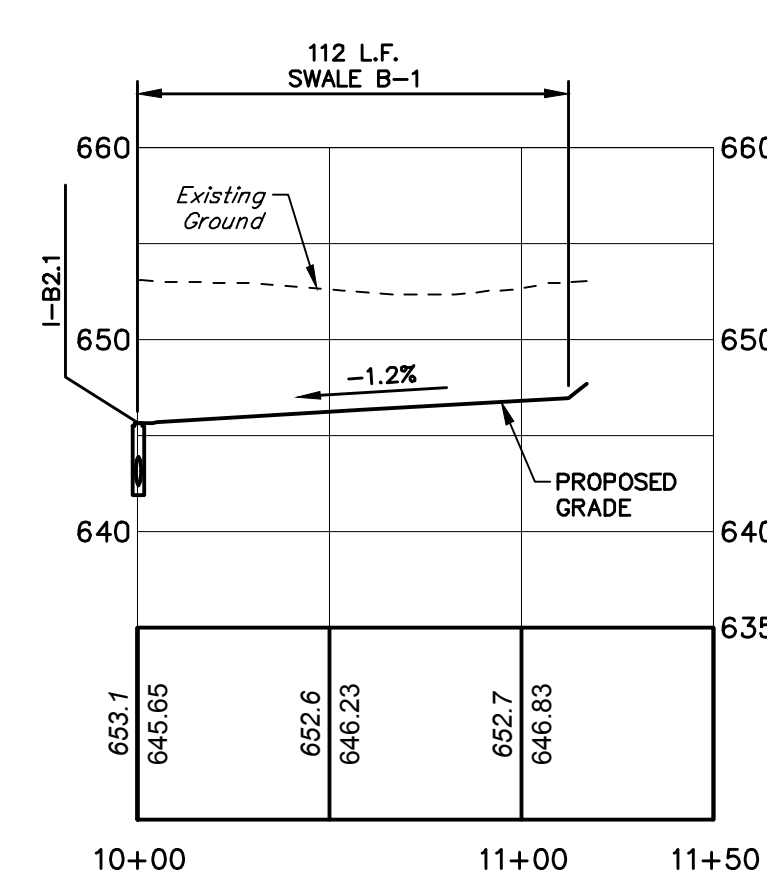
SWALES: A-13A & A-13B



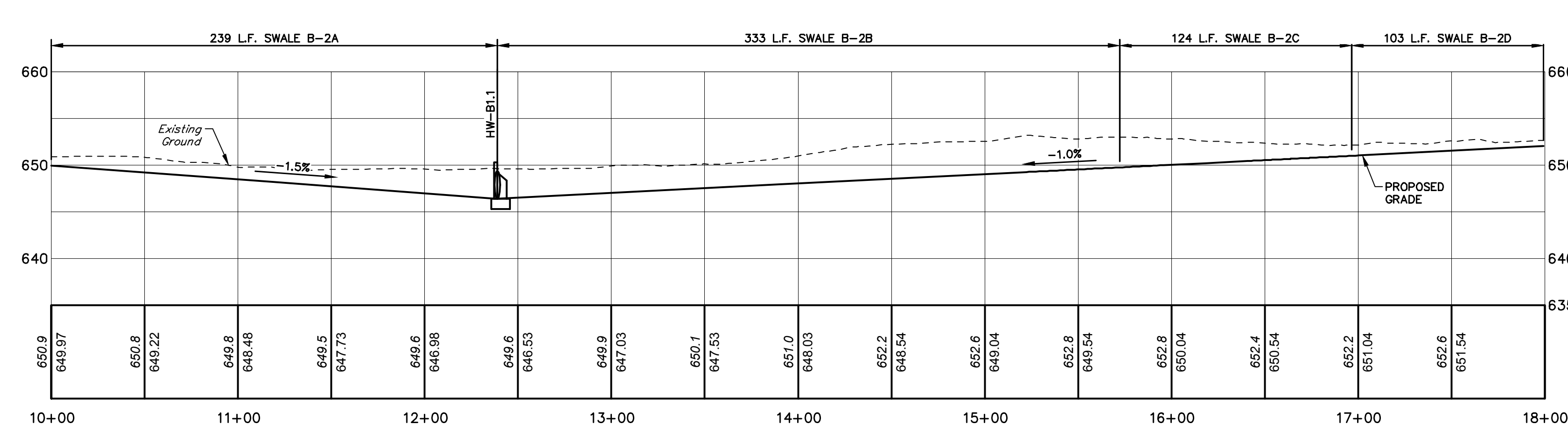
SWALE: A-14



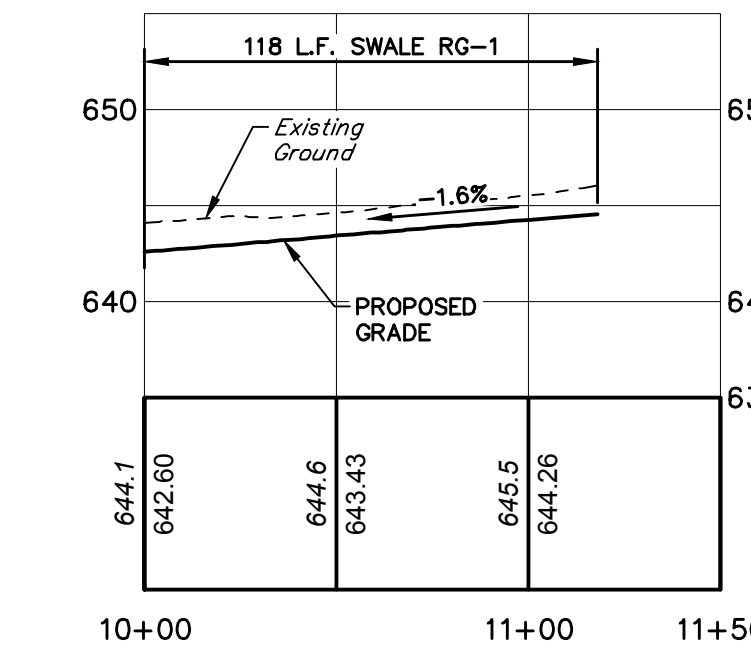
SWALES: A-15A & A-15B



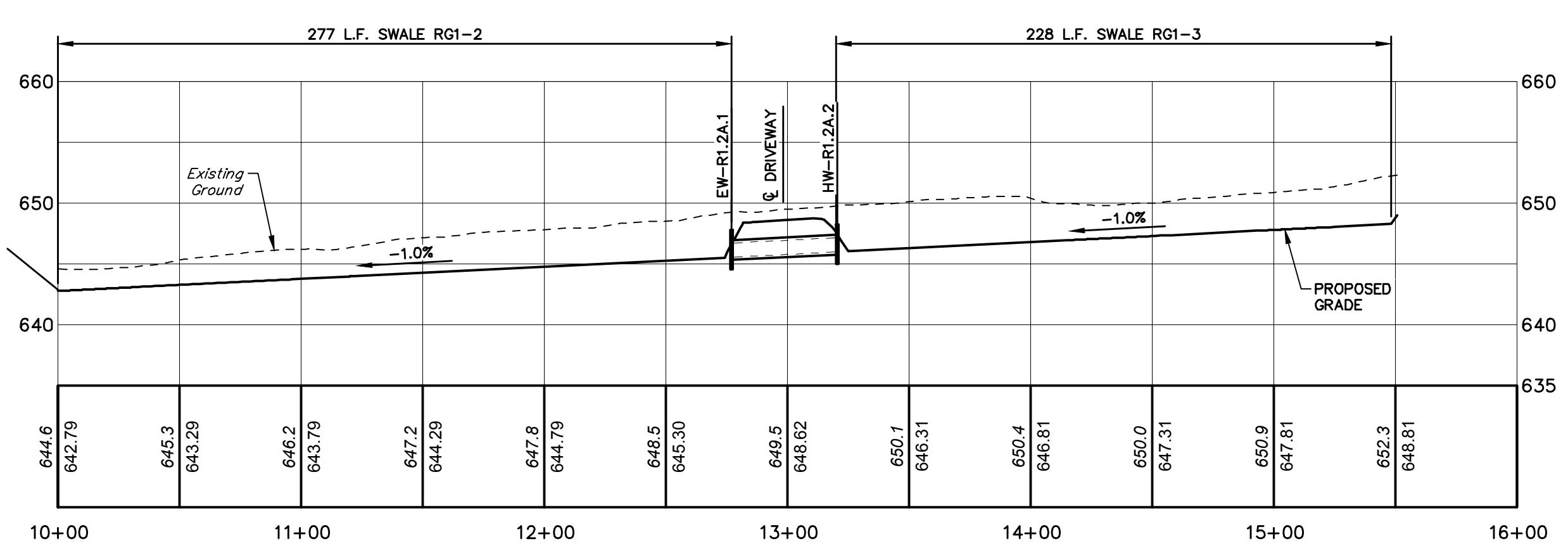
SWALE: B-1



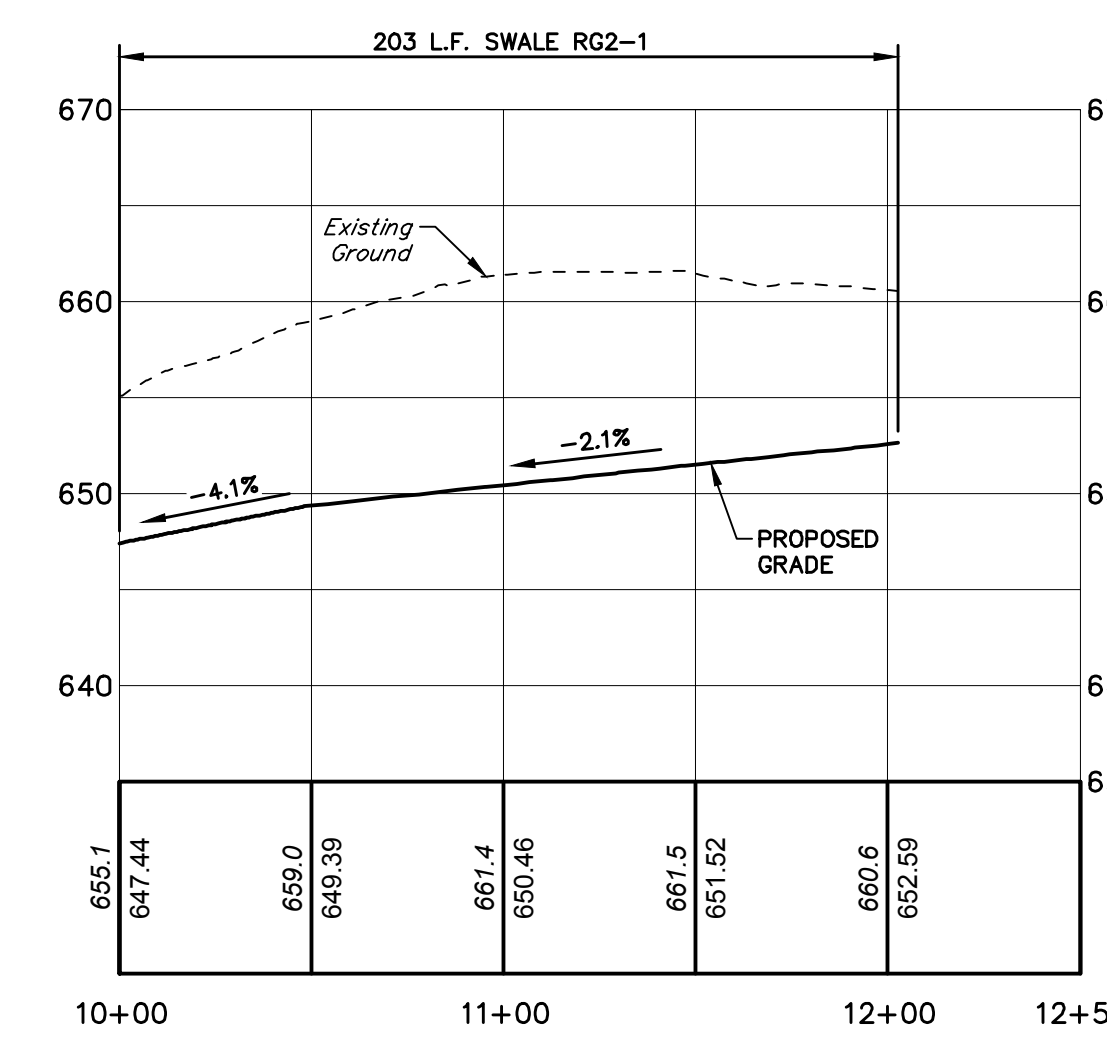
SWALES: B-2A & B-2B THRU B-2D



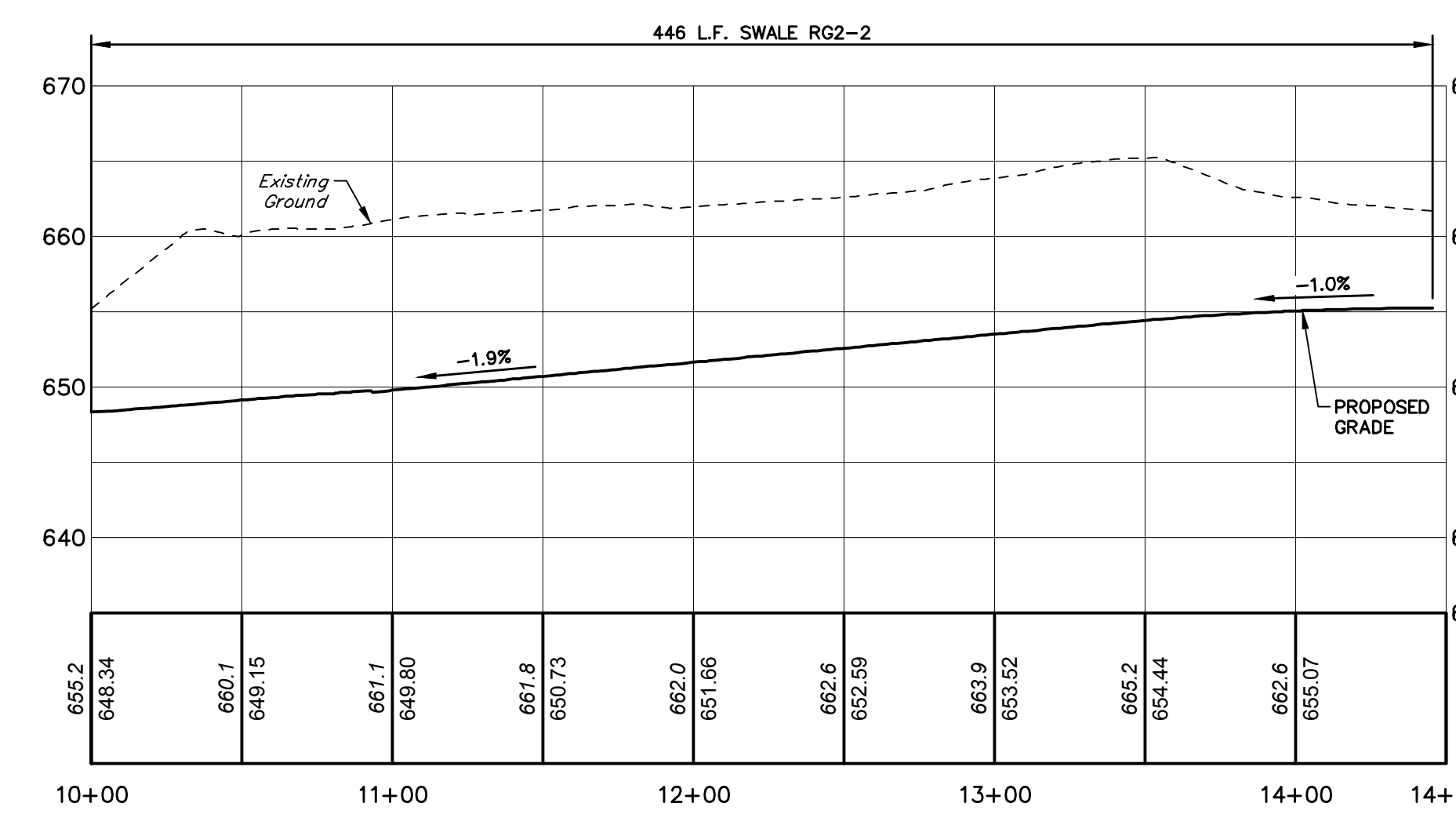
SWALE: RG-1



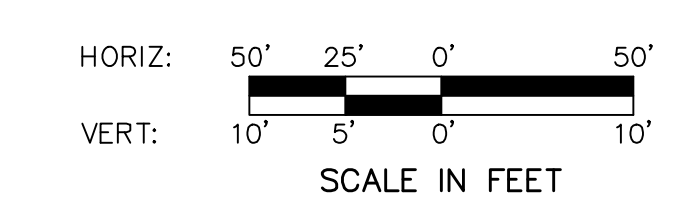
SWALES: RG1-2 & RG1-3



SWALE: RG2-1



SWALE: RG2-2



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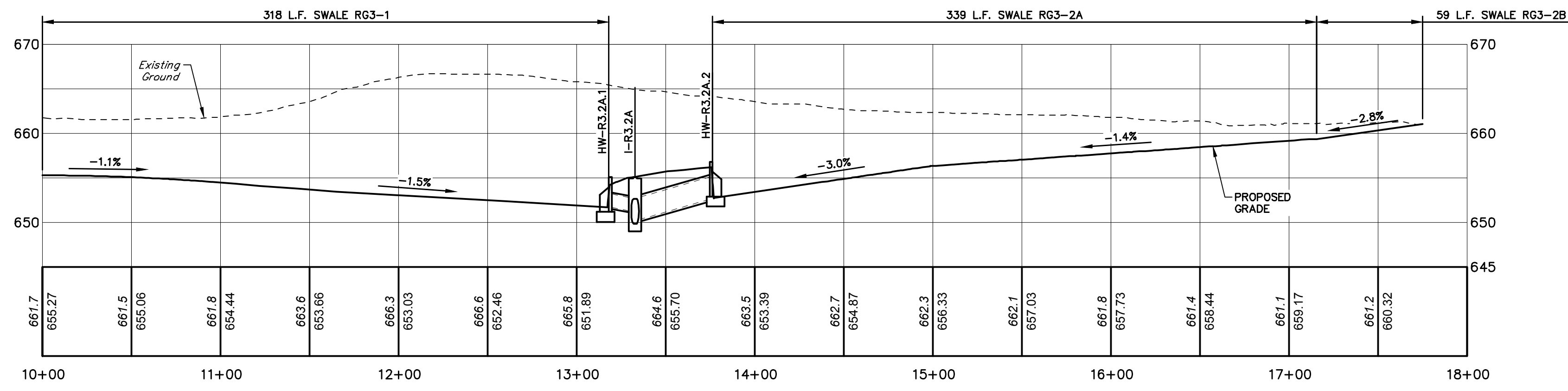
ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

STORMWATER PROFILES - CHANNELS
FOR
ALLEMAN ROAD PROPERTY, LLC

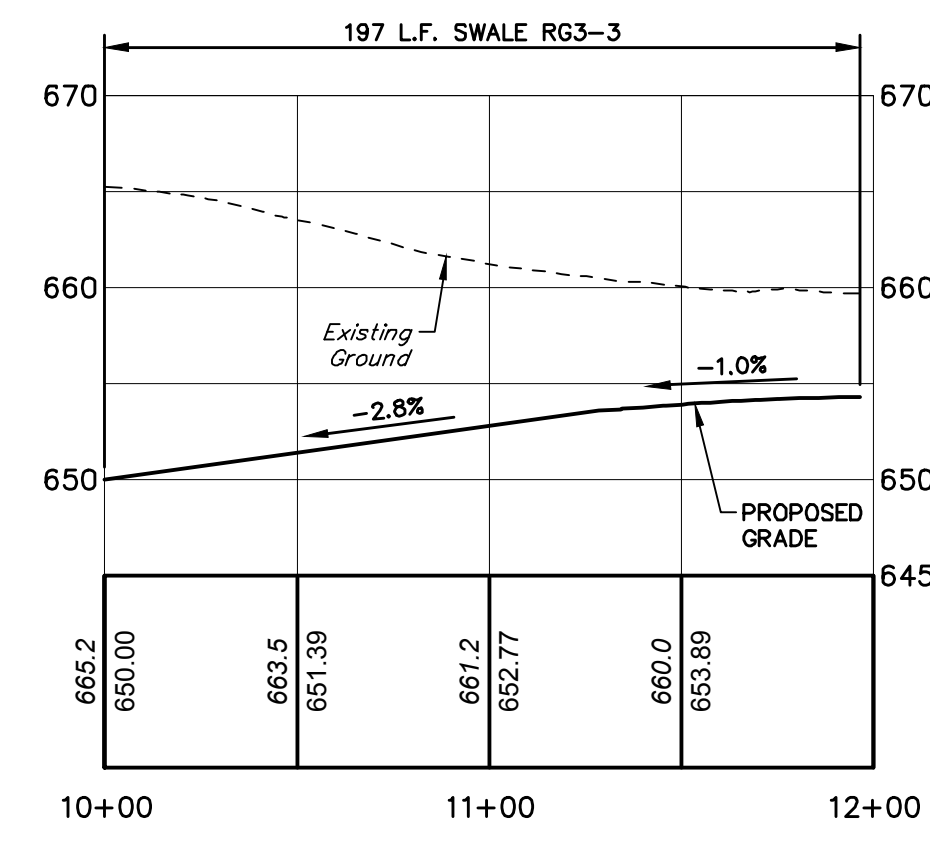
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
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CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

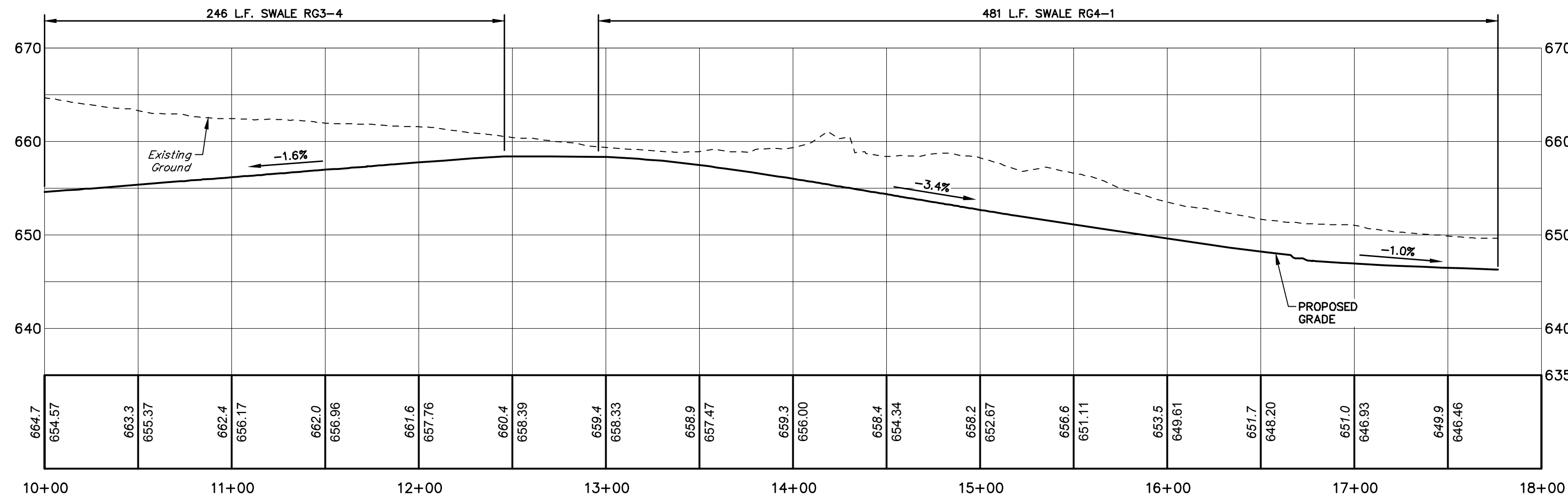
DRAWING NO.
PR-STM-7
SHEET NO.
40 OF 51
PROJECT R008499.0425



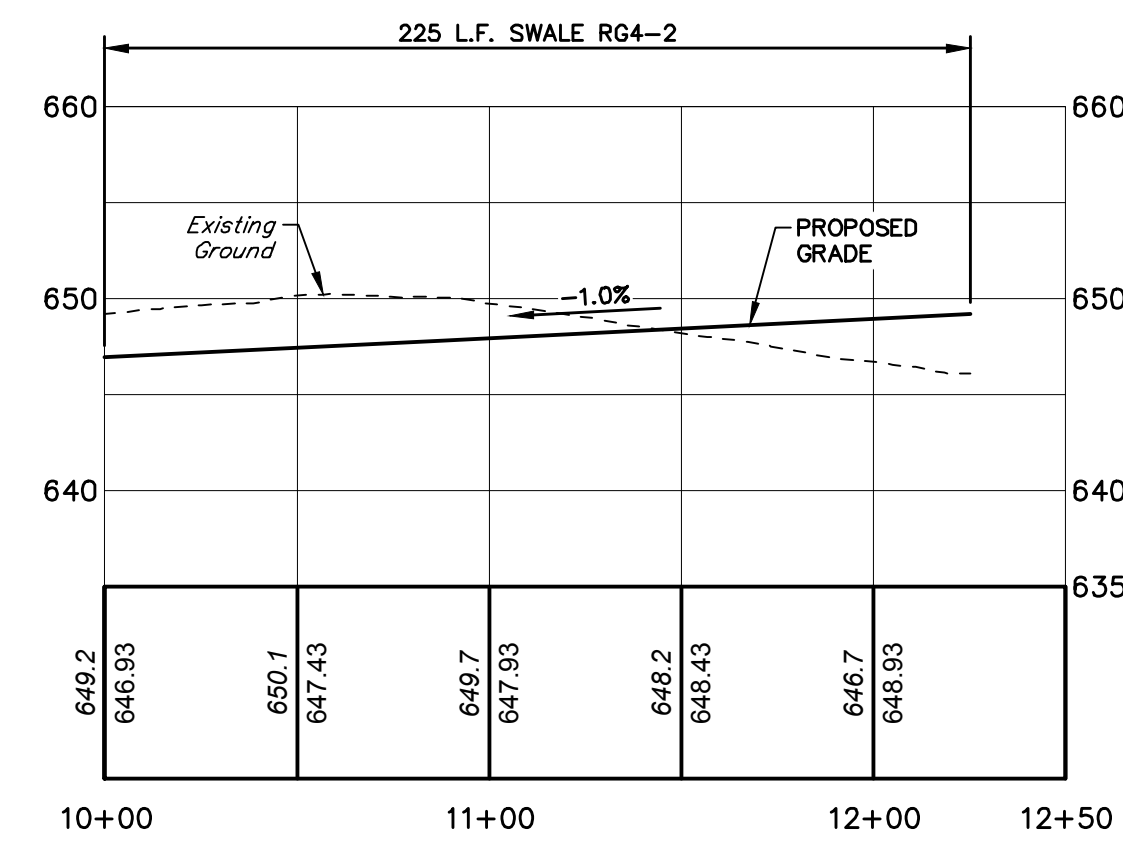
SWALES: RG3-1, RG3-2A & RG3-2B



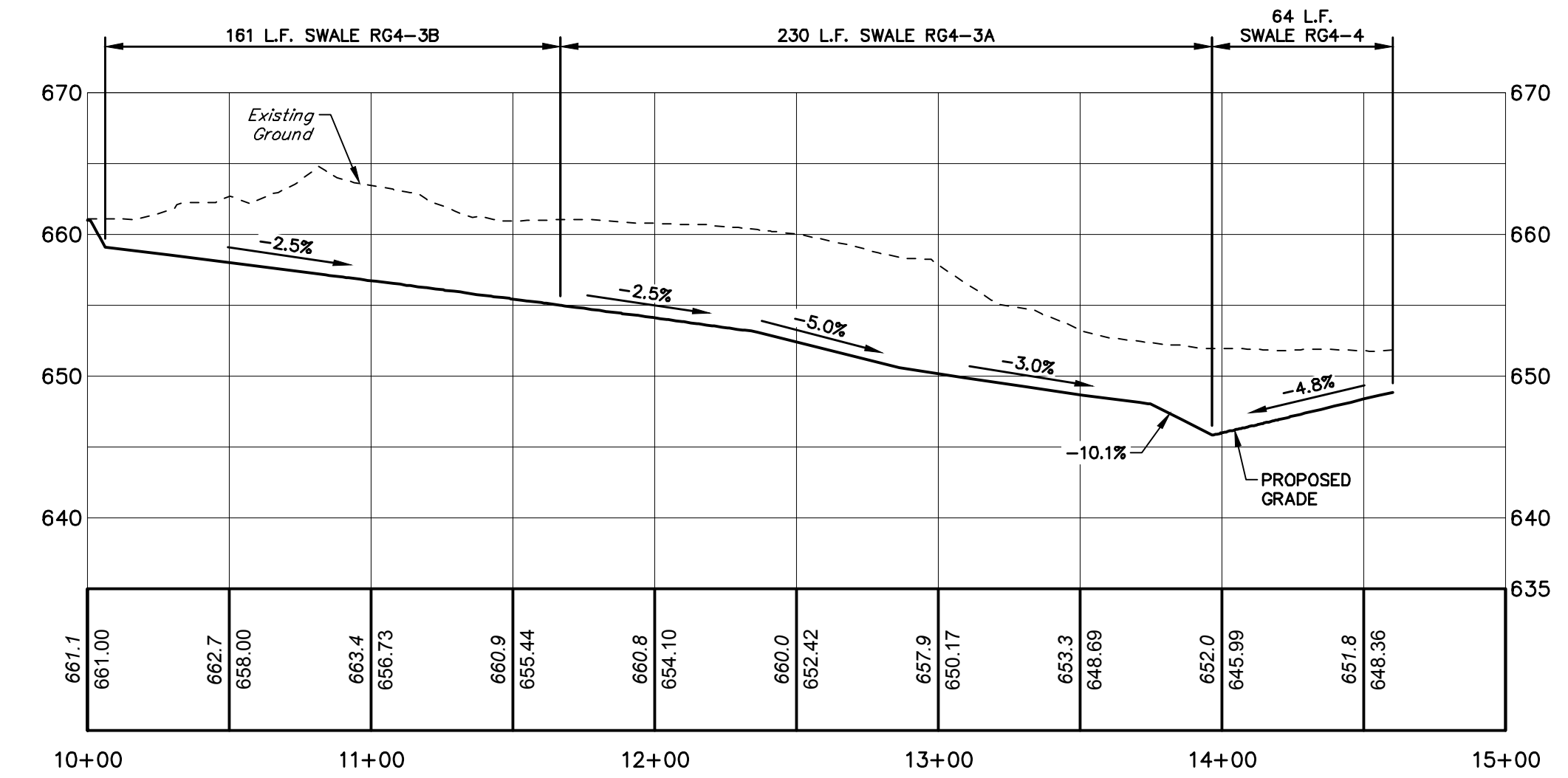
SWALE: RG3-3



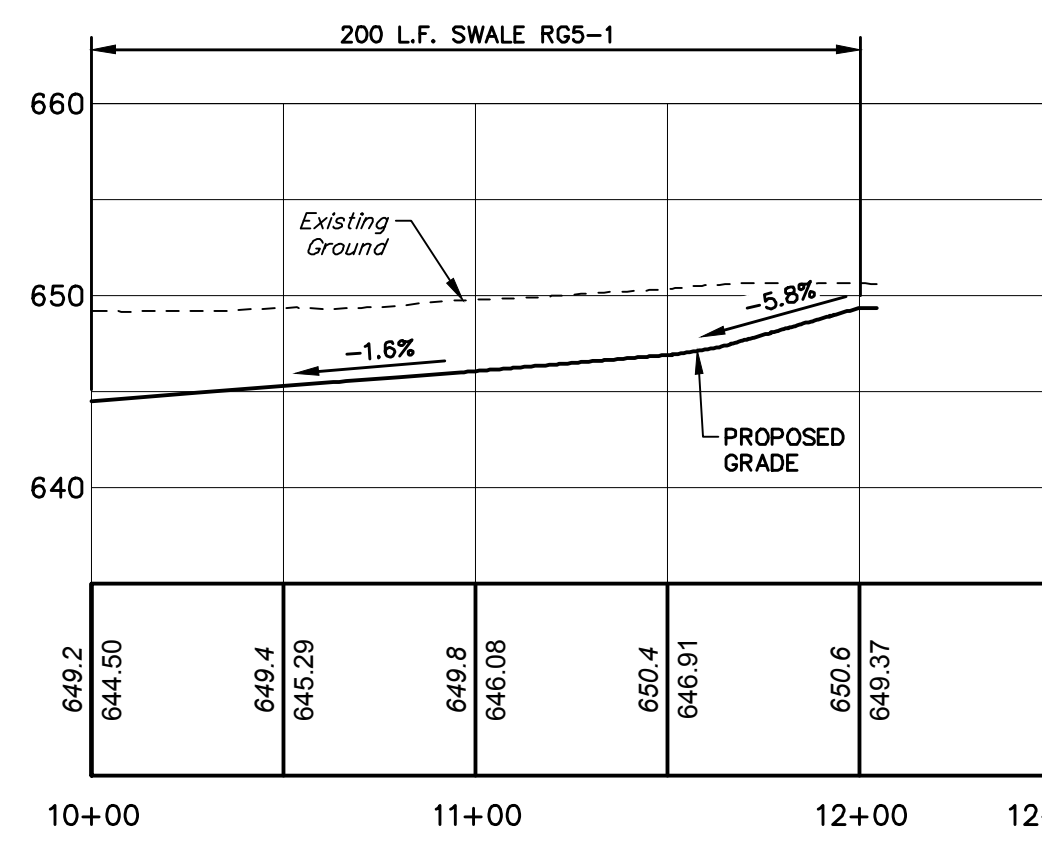
SWALES: RG3-4 & RG4-1



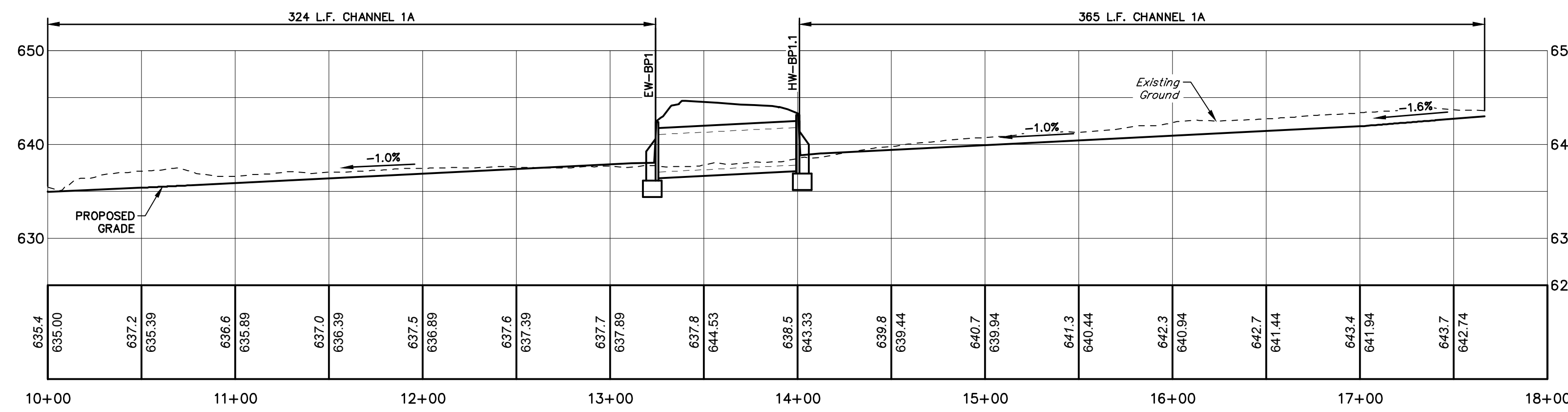
SWALE: RG4-2



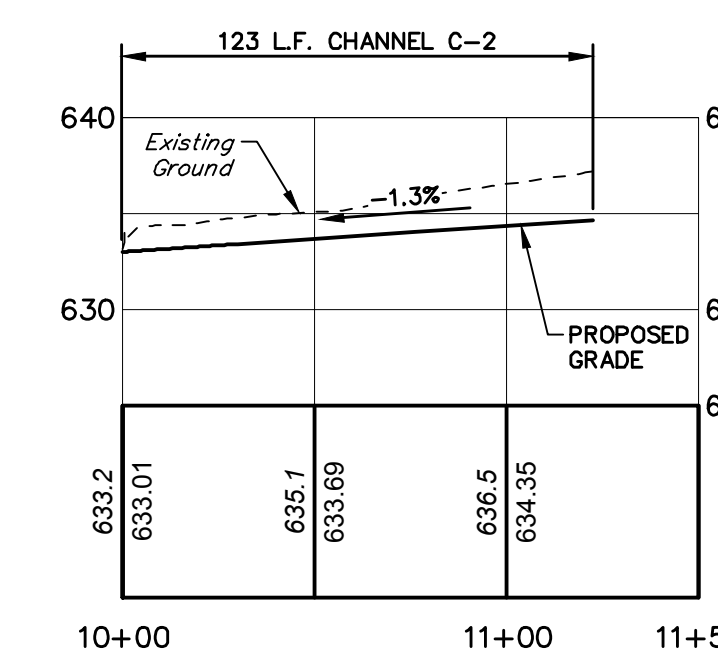
SWALES: RG4-3A, RG4-3B & RG4-4



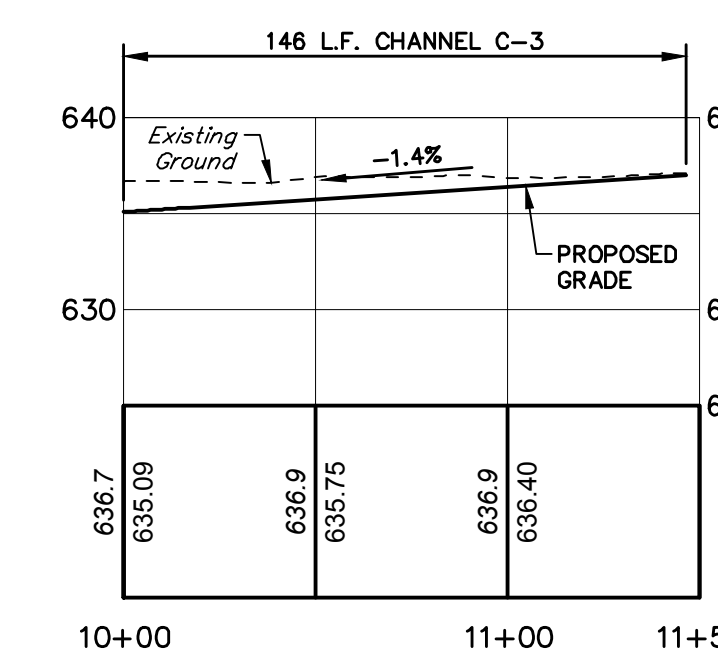
SWALE: RG5-1



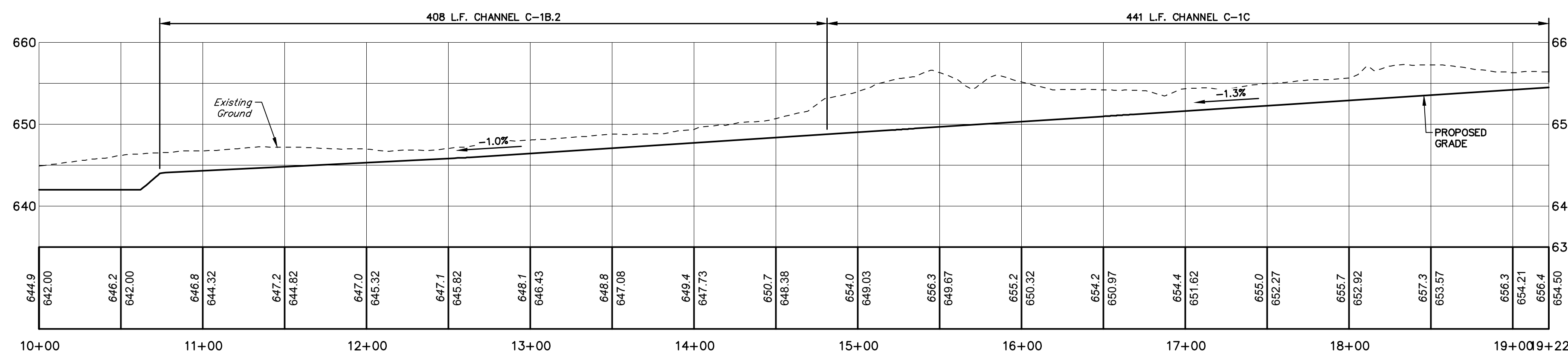
CHANNEL C-1A & C-1B.1



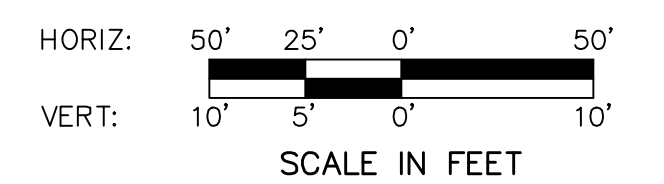
CHANNEL C-2



CHANNEL C-3



CHANNEL C-1B.2 & C-1C



NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
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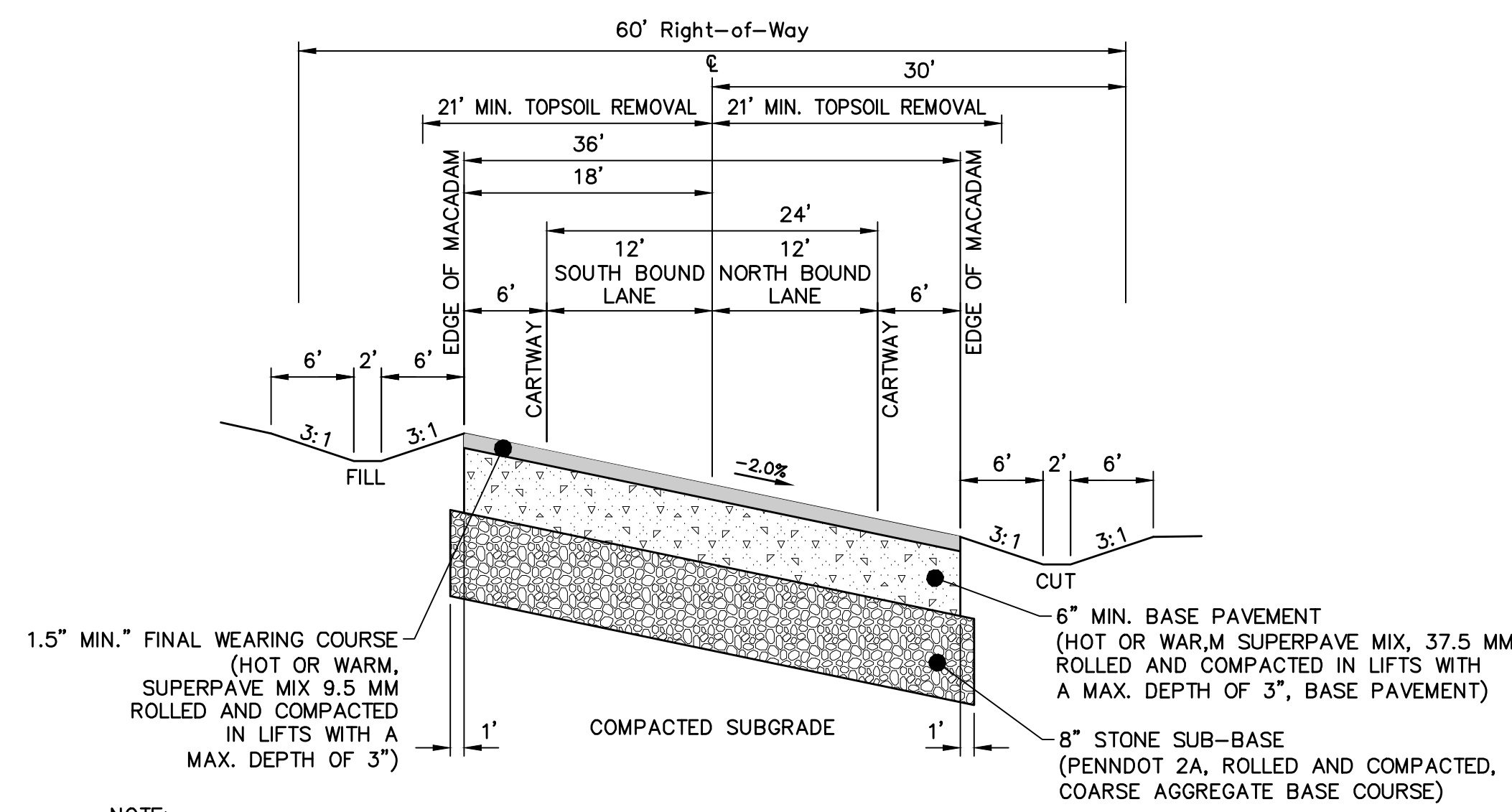
ALLEMAN ROAD PROPERTY, LLC
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STORMWATER PROFILES - CHANNELS
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP FRANKLIN COUNTY PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

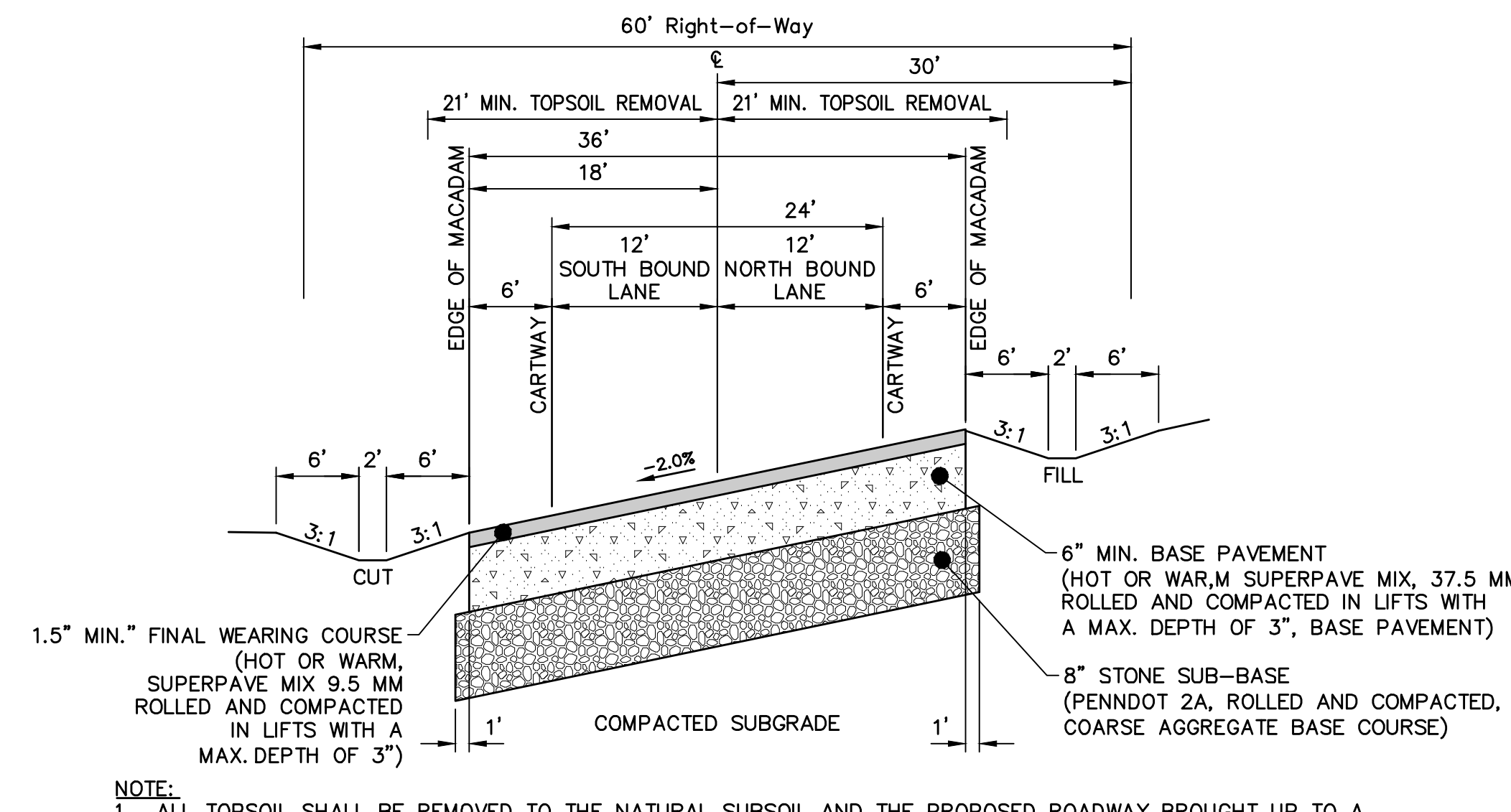
DRAWING NO.
PR-STM-8
SHEET NO.
41 OF 51
PROJECT R008499.0425



NOTE:
 1. ALL TOPSOIL SHALL BE REMOVED TO THE NATURAL SUBSOIL AND THE PROPOSED ROADWAY BROUGHT UP TO A SUBGRADE LEVEL WITH APPROVED SLATE, OR APPROVED EQUAL, A MINIMUM OF FORTY-TWO (42) FEET WIDE.
 2. ALL SUBGRADE AND PAVING WORK MUST BE SUPERVISED BY THE TOWNSHIP SUPERVISORS OR THEIR REPRESENTATIVE. ALL SUBGRADE, STONE SUBBASE, AND BASE PAVEMENT (WHICH MAY INCLUDE AN INTERIM WEARING COURSE) MUST LAY OVER THE WINTER MONTHS THROUGH MAY 1, BEFORE BEING PAVED WITH THE FINAL WEARING COURSE. THE FINAL WEARING COURSE SHALL ONLY BE PLACED BETWEEN MAY 1 AND OCTOBER 31 PRIOR TO COMMENCEMENT OF PAVING, THE TOWNSHIP SHALL BE CONTACTED TO DETERMINE THE SUITABILITY OF COMPACTION.

**ARCHER DRIVE
 STATION 11+16.09 TO STATION 15+30.22
 & STATION 41+82.31 TO STATION 45+25.74**

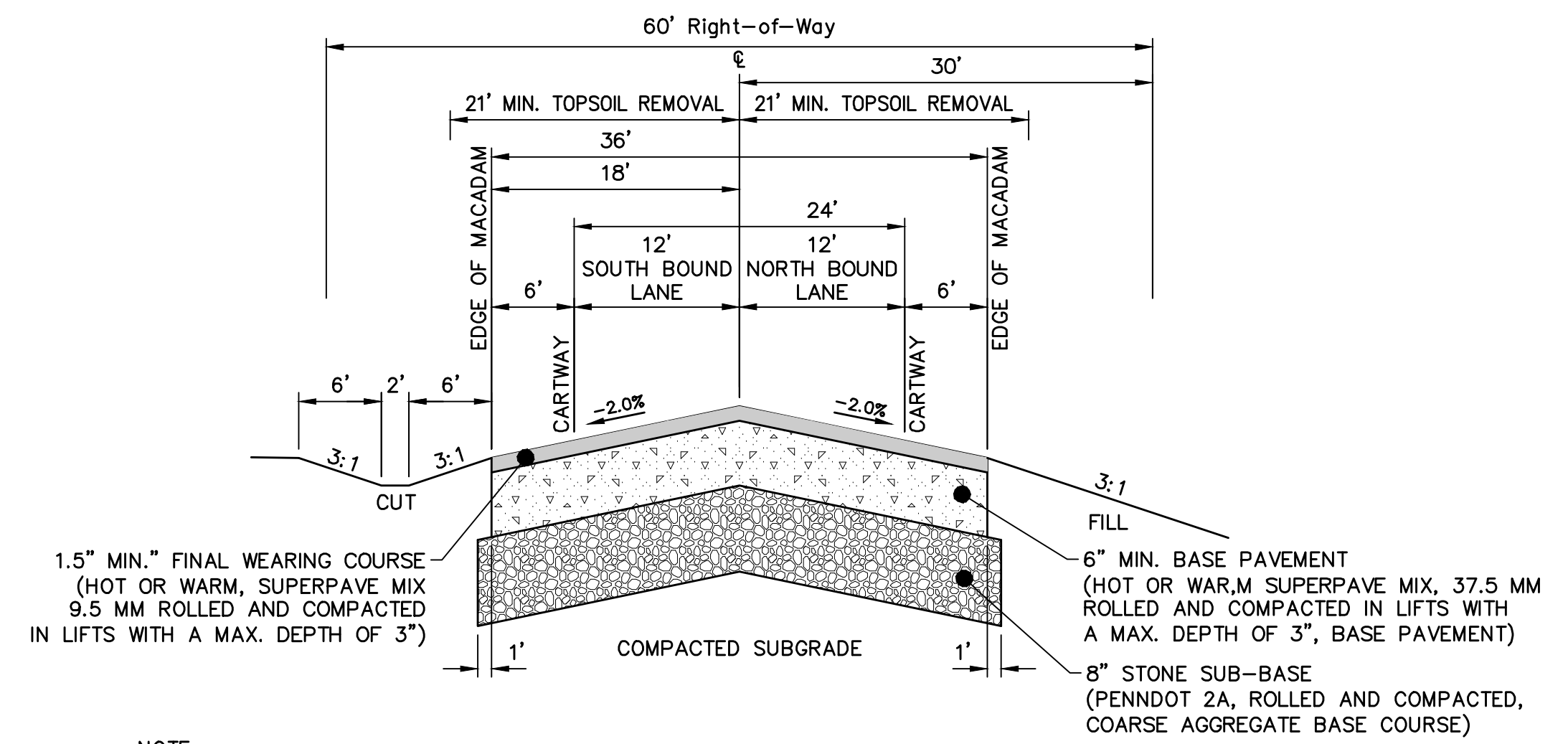
NOT TO SCALE



NOTE:
 1. ALL TOPSOIL SHALL BE REMOVED TO THE NATURAL SUBSOIL AND THE PROPOSED ROADWAY BROUGHT UP TO A SUBGRADE LEVEL WITH APPROVED SLATE, OR APPROVED EQUAL, A MINIMUM OF FORTY-TWO (42) FEET WIDE.
 2. ALL SUBGRADE AND PAVING WORK MUST BE SUPERVISED BY THE TOWNSHIP SUPERVISORS OR THEIR REPRESENTATIVE. ALL SUBGRADE, STONE SUBBASE, AND BASE PAVEMENT (WHICH MAY INCLUDE AN INTERIM WEARING COURSE) MUST LAY OVER THE WINTER MONTHS THROUGH MAY 1, BEFORE BEING PAVED WITH THE FINAL WEARING COURSE. THE FINAL WEARING COURSE SHALL ONLY BE PLACED BETWEEN MAY 1 AND OCTOBER 31 PRIOR TO COMMENCEMENT OF PAVING, THE TOWNSHIP SHALL BE CONTACTED TO DETERMINE THE SUITABILITY OF COMPACTION.

**ARCHER DRIVE
 STATION 16+26.83 TO STATION 25+49.71
 & STATION 28+90.93 TO STATION 34+32.50**

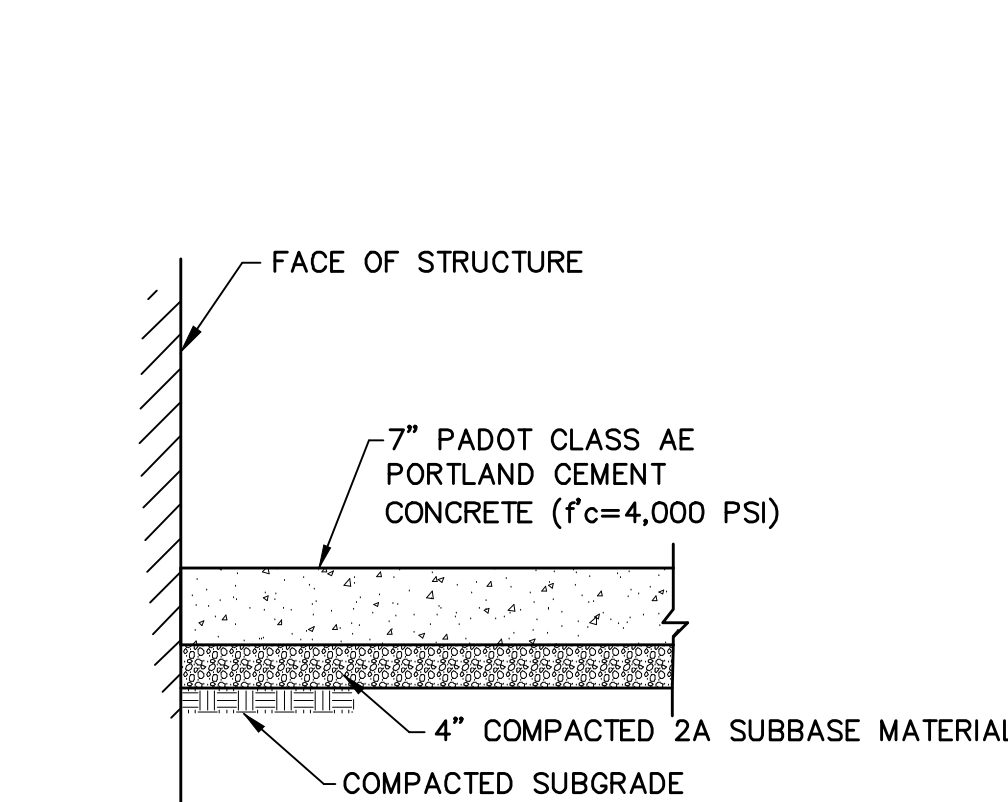
NOT TO SCALE



NOTE:
 1. ALL TOPSOIL SHALL BE REMOVED TO THE NATURAL SUBSOIL AND THE PROPOSED ROADWAY BROUGHT UP TO A SUBGRADE LEVEL WITH APPROVED SLATE, OR APPROVED EQUAL, A MINIMUM OF FORTY-TWO (42) FEET WIDE.
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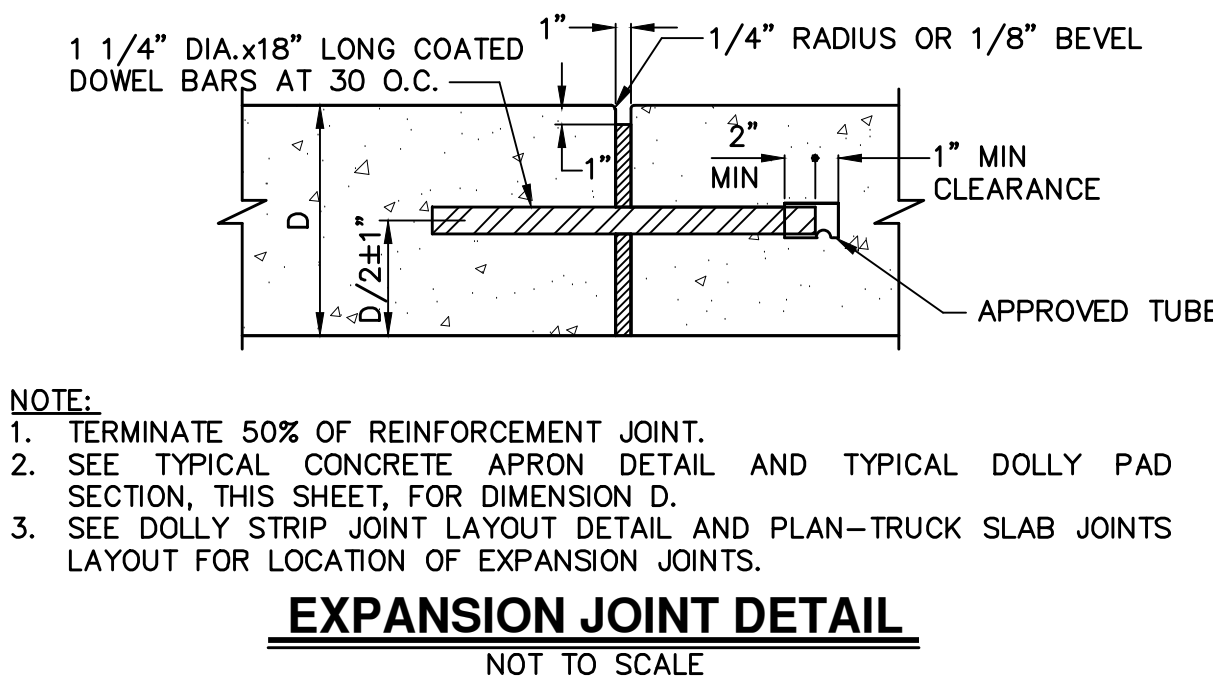
**ARCHER DRIVE
 STATION 26+19.17 TO STATION 27+59.17
 & STATION 35+33.97 TO STATION 41+32.78**

NOT TO SCALE



TYPICAL CONCRETE APRON DETAIL

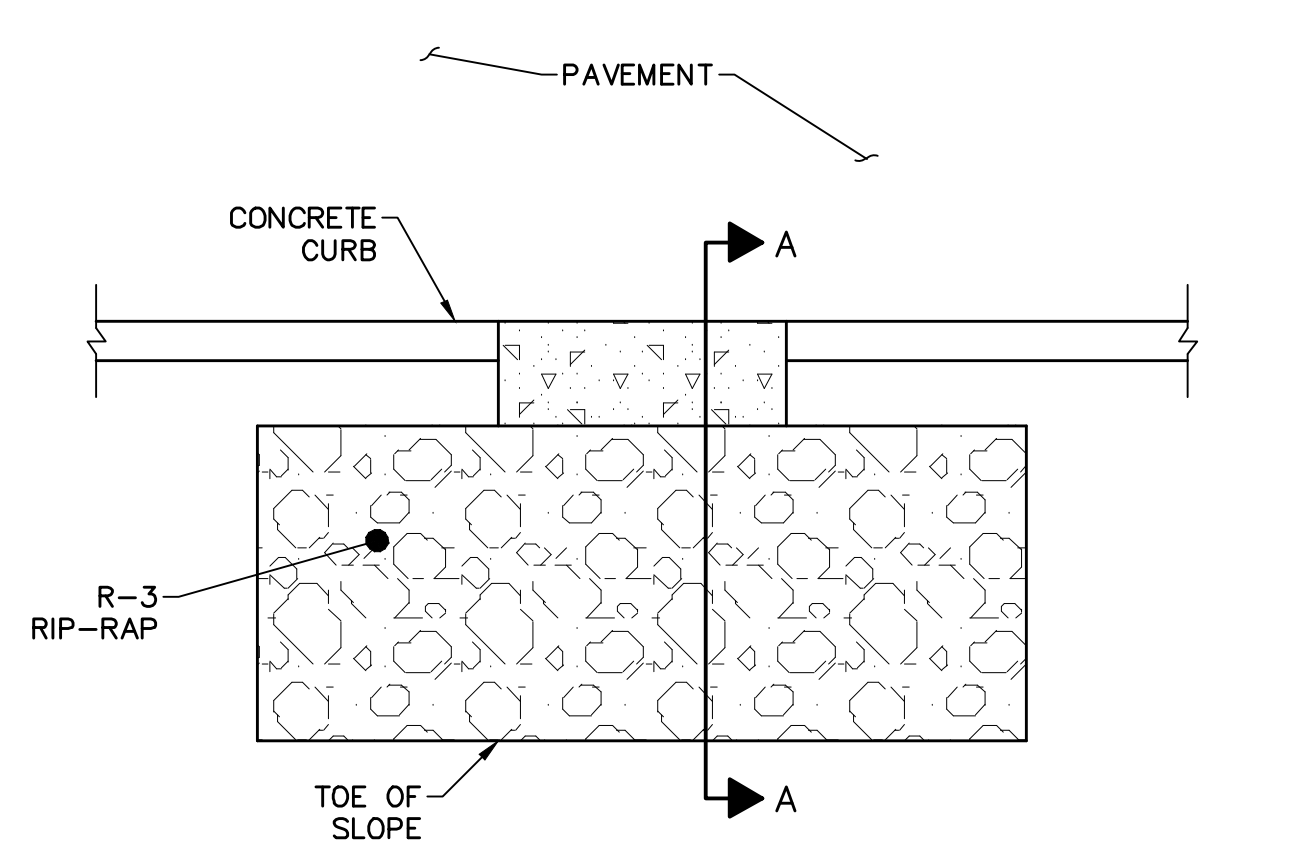
NOT TO SCALE



NOTE:
 1. TERMINATE 50% OF REINFORCEMENT JOINT.
 2. SEE TYPICAL CONCRETE APRON DETAIL AND TYPICAL DOLLY PAD SECTION, THIS SHEET, FOR DIMENSION D.
 3. SEE DOLLY STRIP JOINT LAYOUT DETAIL AND PLAN-TRUCK SLAB JOINTS LAYOUT FOR LOCATION OF EXPANSION JOINTS.

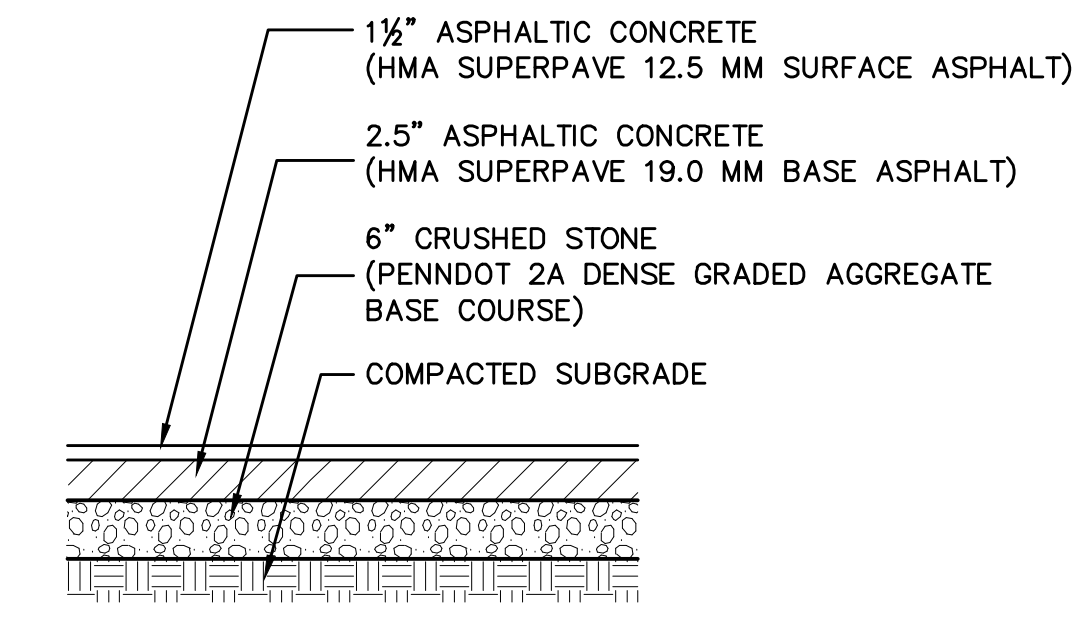
EXPANSION JOINT DETAIL

NOT TO SCALE

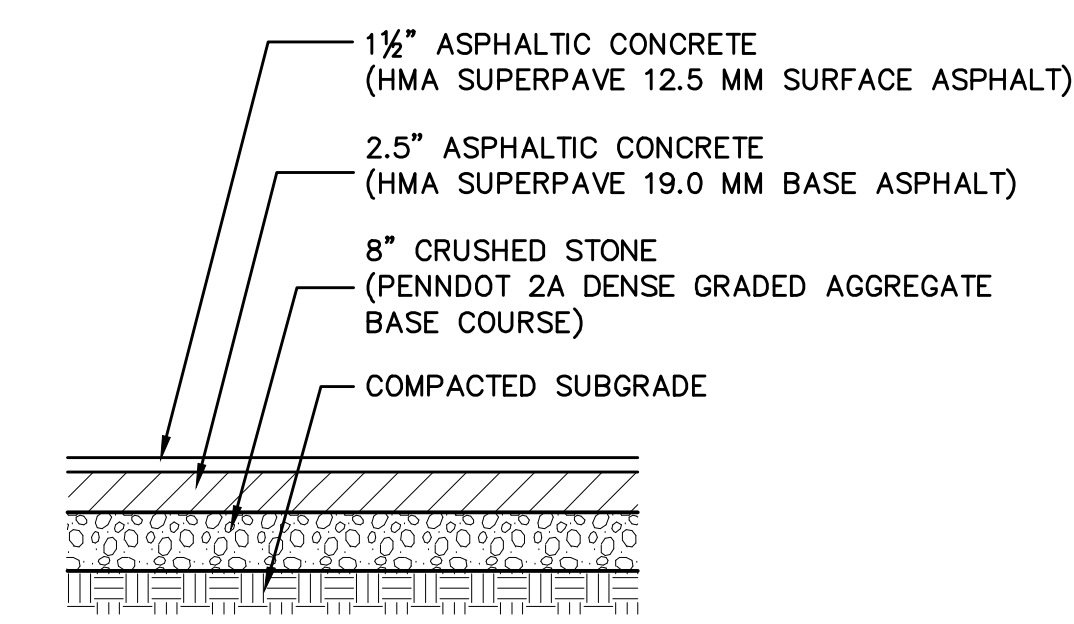


CONCRETE CURB CUT DETAIL

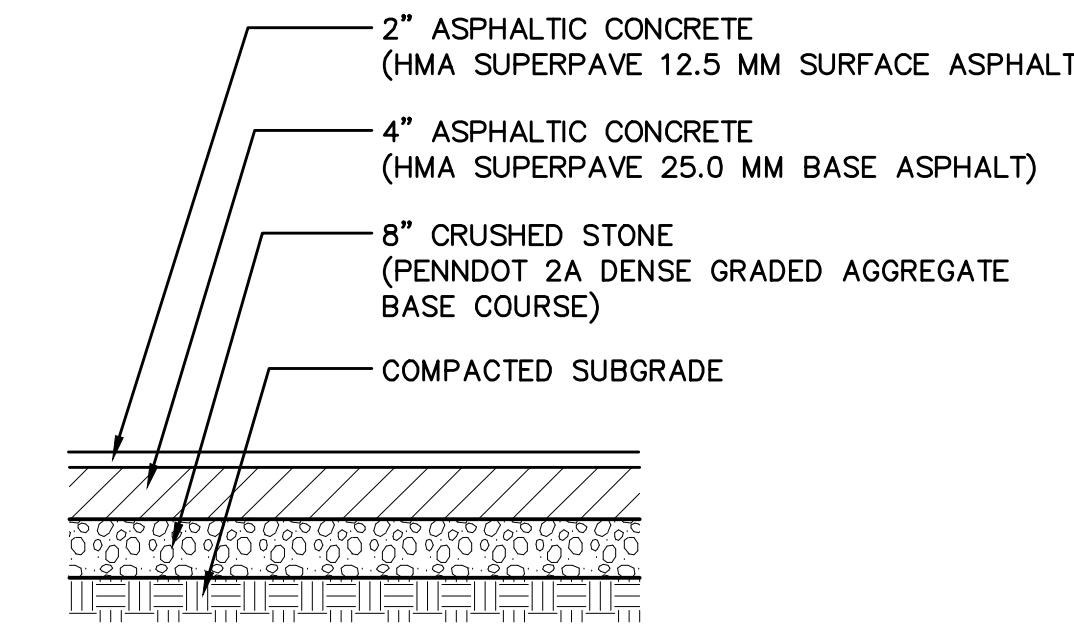
NOT TO SCALE



LIGHT DUTY



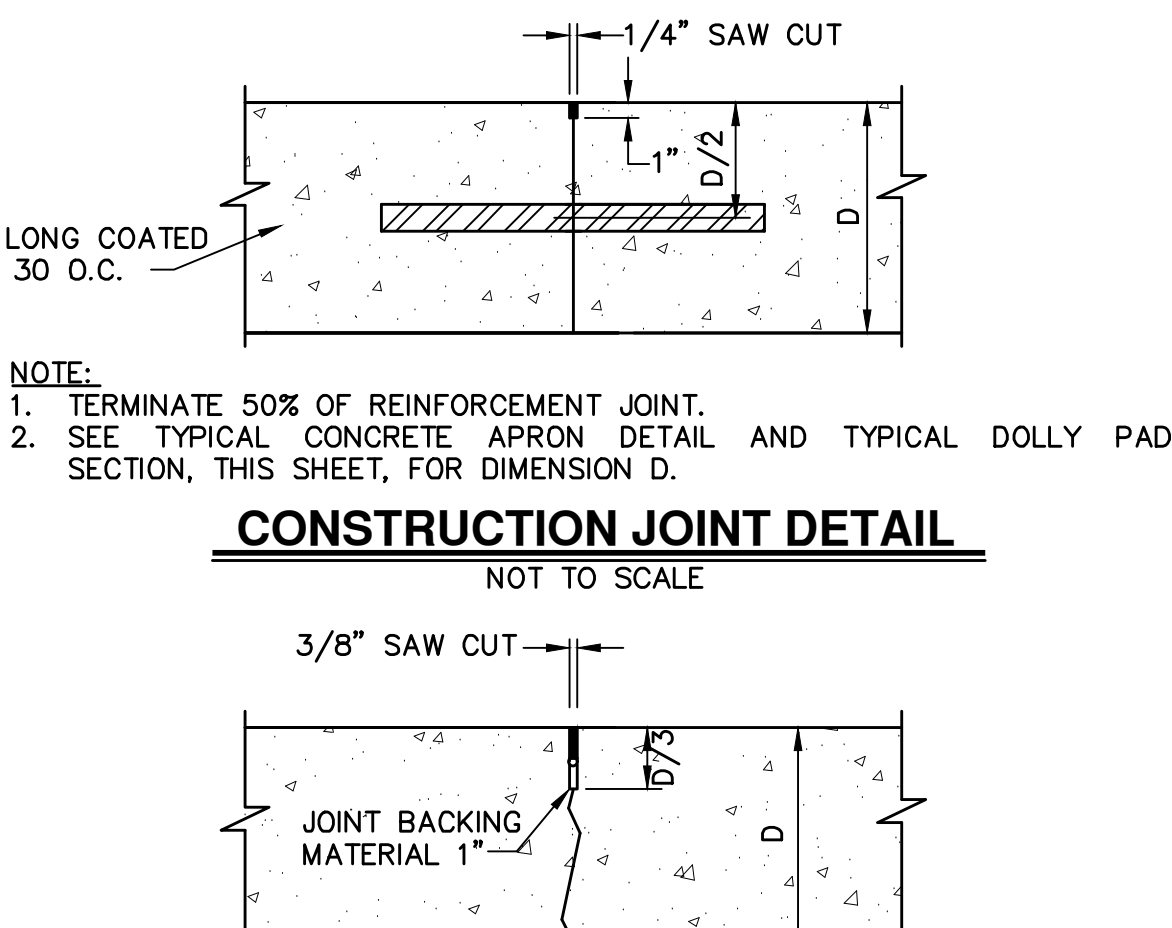
MEDIUM DUTY



HEAVY DUTY

TYPICAL PAVING DETAILS

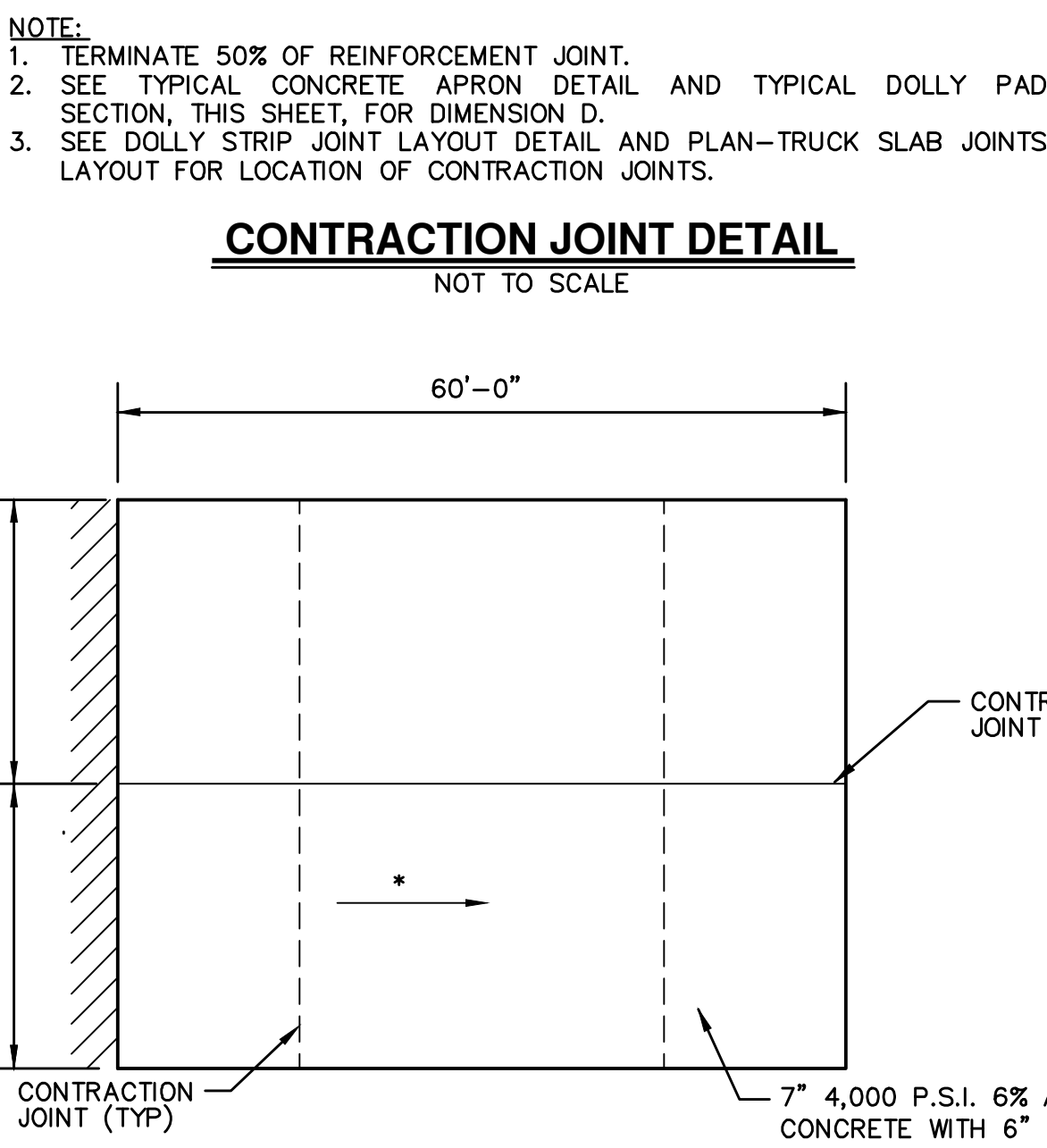
NOT TO SCALE



NOTE:
 1. TERMINATE 50% OF REINFORCEMENT JOINT.
 2. SEE TYPICAL CONCRETE APRON DETAIL AND TYPICAL DOLLY PAD SECTION, THIS SHEET, FOR DIMENSION D.
 3. SEE DOLLY STRIP JOINT LAYOUT DETAIL AND PLAN-TRUCK SLAB JOINTS LAYOUT FOR LOCATION OF CONTRACTION JOINTS.

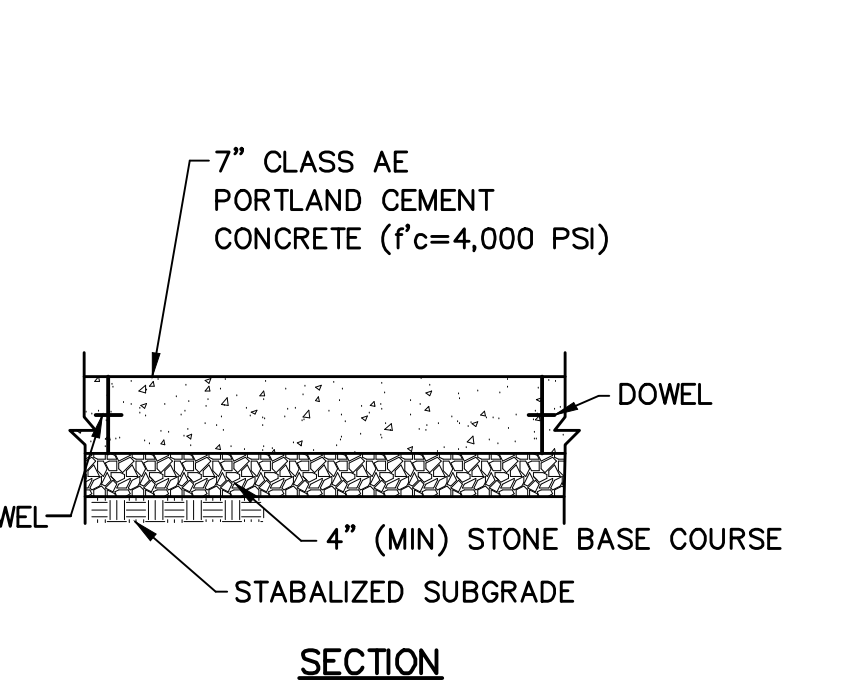
CONTRACTION JOINT DETAIL

NOT TO SCALE



DOLLY STRIP JOINT LAYOUT DETAIL

NOT TO SCALE



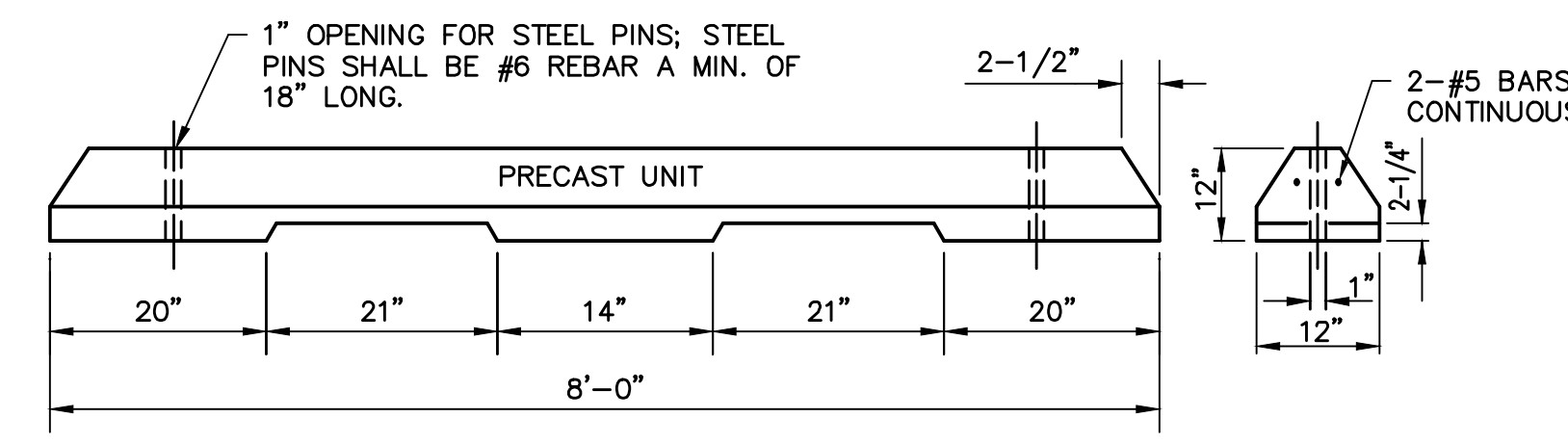
DOLLY PAD DETAIL

NOT TO SCALE

NOTE:
 1. CAST SLAB SECTIONS IN STAGGERED OR ALTERNATING PATTERN.
 2. SLOPE 1% MIN.
 3. EXPANSION JOINTS TO BE A MAXIMUM OF 100' ON CENTER
 4. CONTRACTION JOINTS TO BE A MAXIMUM OF 15' ON CENTER

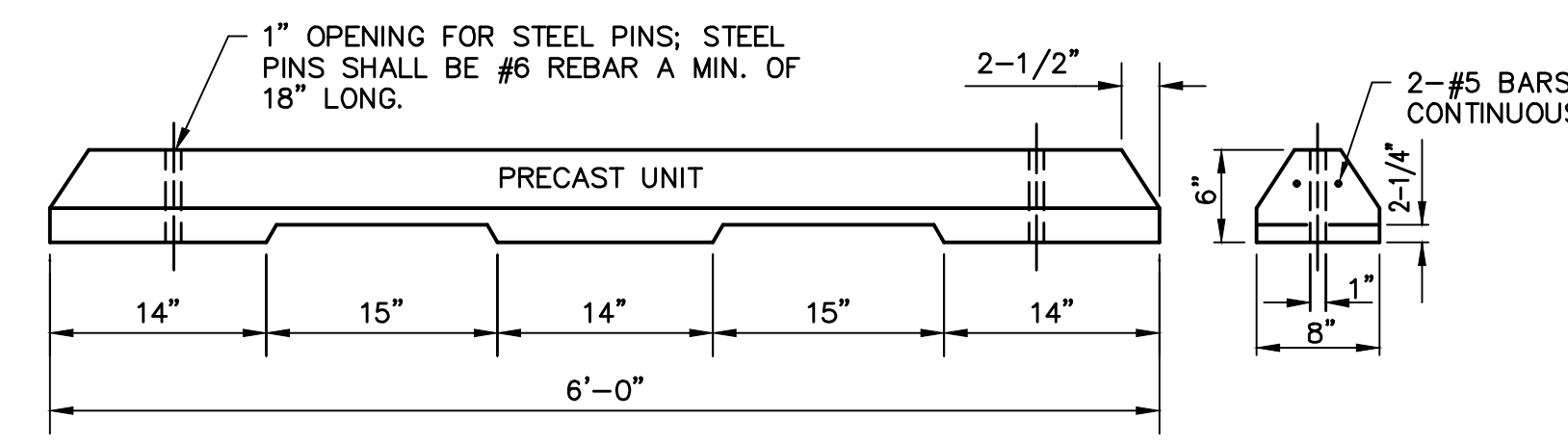
PLAN - TRUCK SLAB JOINT LAYOUT

NOT TO SCALE



INTERSTATE SEMI-TRUCK & TRAILER CONCRETE CURB STOP

NOT TO SCALE



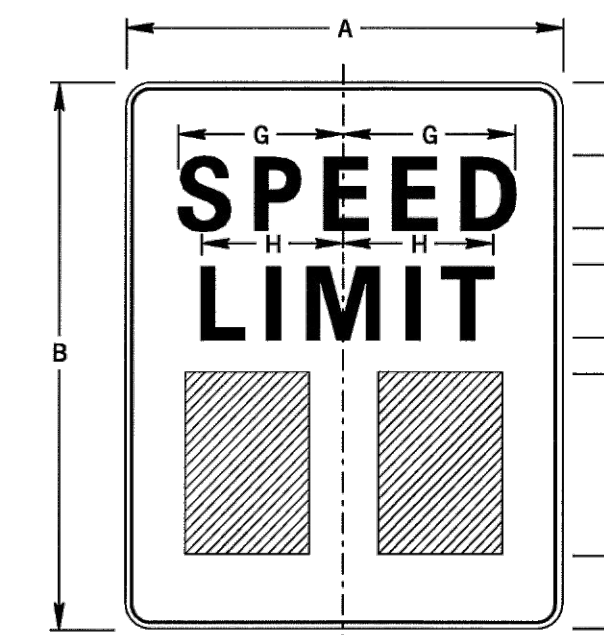
CONCRETE CURB STOP - CAR PARKING

NOT TO SCALE

**R2-1
 SPEED LIMIT SIGN**

The Speed Limit Sign (R2-1) shall be authorized for use to display the maximum legal speed limit on a highway. When used as a variable speed limit sign, speed display module(s) may be attached to the sign or inserted through cut-outs in the sign substrate.
 The R2-1 Sign shall be placed at intervals as specified in Department regulations. The standard size signs shall be as follows:

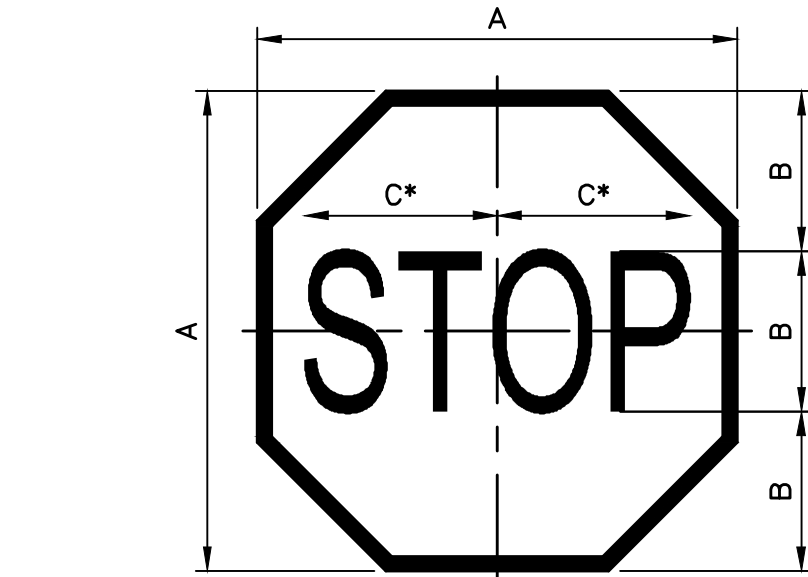
- (1) 24" x 30". All single lane conventional highways having any speed limit.
- (2) 30" x 36". Multi-lane conventional highways regardless of speed limit.
- (3) 48" x 60". Expressways and freeways.



SIGN SIZE A x B	C	D	E	F	G	H	MAX. GIN.	BOR. DEL.	BLANK STD.
24" x 30"	4E	2	10E	4	9.6	7.3	0.4	0.6	85-3024
30" x 36"	5E	2	12E	5	12	9.1	0.6	0.8	85-3630
48" x 60"	8E	6	20E	6	19.1	14.6	0.8	1.2	85-6048

LEGEND AND BORDER:
 BLACK (NON-REFLECTORIZED)
BACKGROUND:
 WHITE (REFLECTORIZED)

APPROVED FOR THE SECRETARY OF TRANSPORTATION
 By: *A. C. Rowe* Date: 02-29-12
 Chief, Traffic Engineering and Permits Section
 Bureau of Maintenance and Operations



COLOR:
 LEGEND AND BORDER BACKGROUND
 WHITE (REFLECTORIZED)
 RED (REFLECTORIZED)

SIGN SIZE	A	B	C	BOR. DER.	BLANK STD.
30"x30"	30	10	12 1/2	3/4	81-750

STOP SIGN

NOT TO SCALE

SIGNAGE NOTES

1. PARKING LOT SIGNAGE IN AND ADJACENT TO THE PARKING LOT SHALL BE EMBOSSED IN A STEEL PIPE BOLLARD WITH A CONCRETE FOUNDATION, CONCRETE FILLED, AND PAINTED SAFETY YELLOW.

**D3-1
 STREET NAME SIGN**

The Street Name Sign (D3-1) shall be authorized for use as a post-mounted sign to identify names of streets for motorists and pedestrians. The D3-1 sign, or other official type of street name sign, should be placed at all street intersections regardless of other marking that may be present.

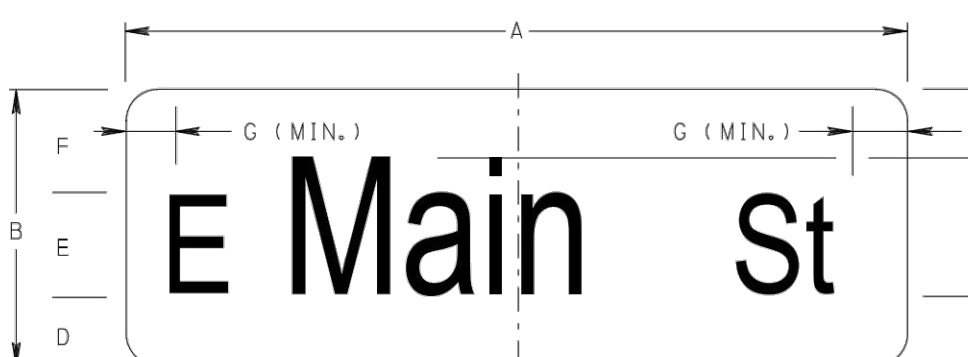
When the D3-1 signs are used in business districts, they should be placed at least on the diagonally opposite corners so that they will be on the far right-hand side of the intersection for traffic on the more important street. Signs naming both streets should be erected at each location. They should be mounted with their faces parallel to the streets they name, as close to the corner as practical with the nearest part of the each sign not less than 1', and preferably 2', back from both curb lines.

In residential districts, D3-1 signs should be mounted in business districts, but a single location at each intersection shall ordinarily suffice on all but the most important thoroughfares.

Lettering on post-mounted D3-1 signs should be composed of 6" UOCLC letters. On multi-lane streets with speed limits greater than 40 MPH the lettering on post-mounted D3-1 signs should be composed of initial upper-case letters at least 8 inches in height and lower-case letters at least 6 inches in height. The overall width of the sign is variable. Except when necessary to avoid confusion, suffixes such as "St", "Dr", and "Rd", or sections of the city such as "HWY" should not be used. When used, this supplemental lettering may be in smaller lettering, composed of 3" UOCLC letters. For roads functionally classified as local with speed limits of 25 MPH or less, the lettering may be 4" UOCLC letters.

A pictograph may be used on a D3-1 sign. If a pictograph is used, the height and width of the pictograph shall not exceed the upper-case letter height of the principal legend of the sign.

The street name sign should be reflectORIZED or illuminated and should have a white legend on a green background, white legend on a brown background, white legend on a blue background, or black legend on a white background. Borders are not required. The same background color for D3-1 signs should be applied to all signs on roadways under the jurisdiction of a particular highway agency.



SIGN SIZE A x B	C	D	E	F	G
VAR. x 6"	4"	1	3"	2	1
VAR. x 9"	6"	1.5	4.5"	3	1.4
VAR. x 12"	8"	2	6"	4	2

LEGEND:
 WHITE (REFLECTORIZED)
BACKGROUND:
 GREEN (REFLECTORIZED)

* CHOOSE UPPER / LOWER CASE CLEARVIEW/HWY FONT FOR BEST FIT
NOTE:
 WHEN DESCENDING LOWER-CASE LEGEND (6"-8", J, Q AND V) CANNOT BE ACCOMMODATED ON A STANDARD SIZE SIGN, INCREASE THE HEIGHT OF THE BLANK SHOULD BE INCREASED TO ACCOMMODATE THESE LETTERS.

APPROVED FOR THE SECRETARY OF TRANSPORTATION
 By: *A. C. Rowe* Date: 11-07-13
 Chief, Traffic Engineering and Permits Section
 Bureau of Maintenance and Operations

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB

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HRG
 Herbert, Rowland & Grubic, Inc.
 Engineering & Related Services
 AN EMPLOYEE-OWNED COMPANY

207 Grant Street
 Chambersburg, PA 17201
 (717) 263-2070
 hrg@hrg-inc.com
 www.hrg-inc.com

ALLEMAN ROAD PROPERTY, LLC
 4 RADNOR CORPORATE CENTER
 SUITE 105
 RADNOR, PA 19807

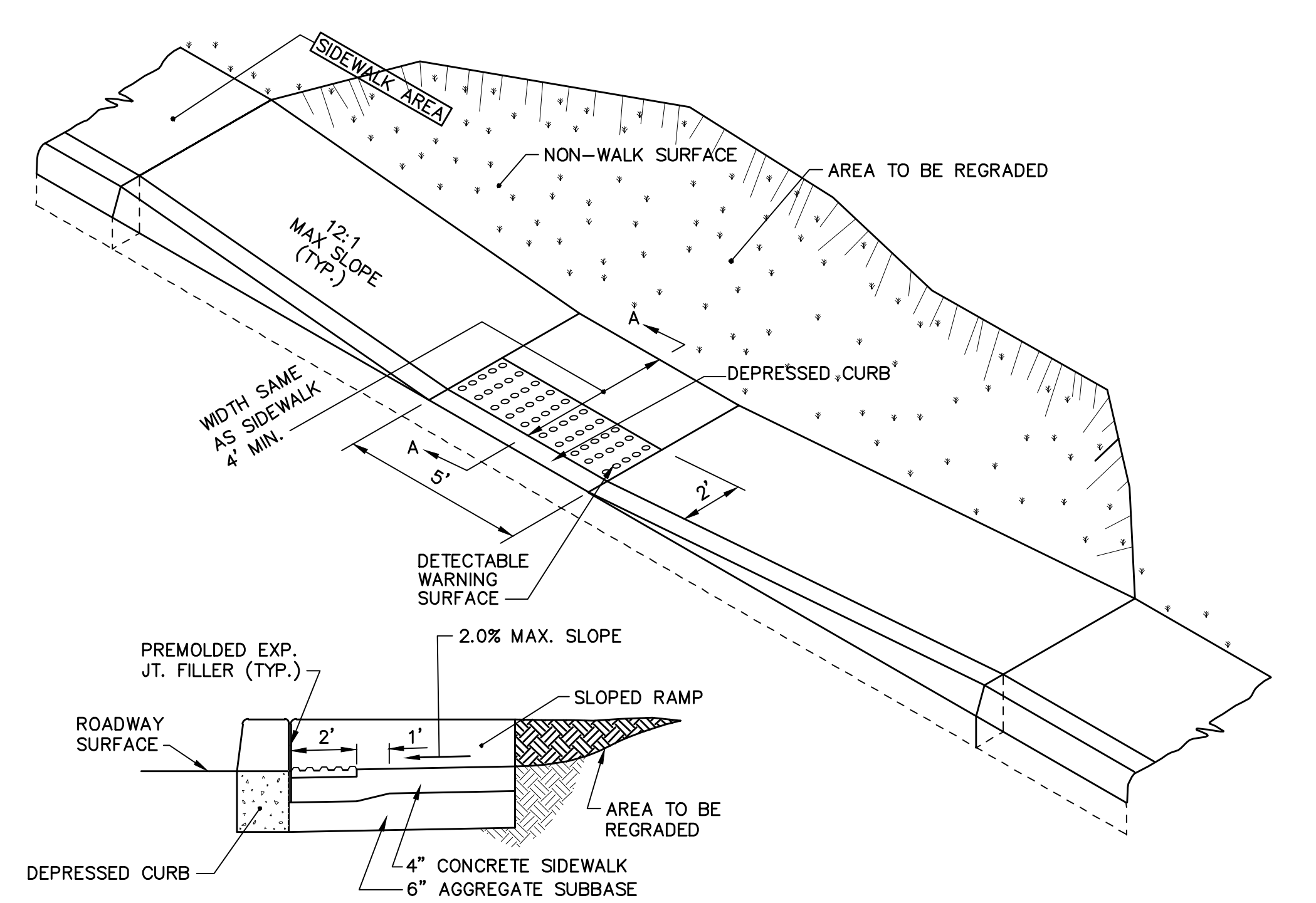
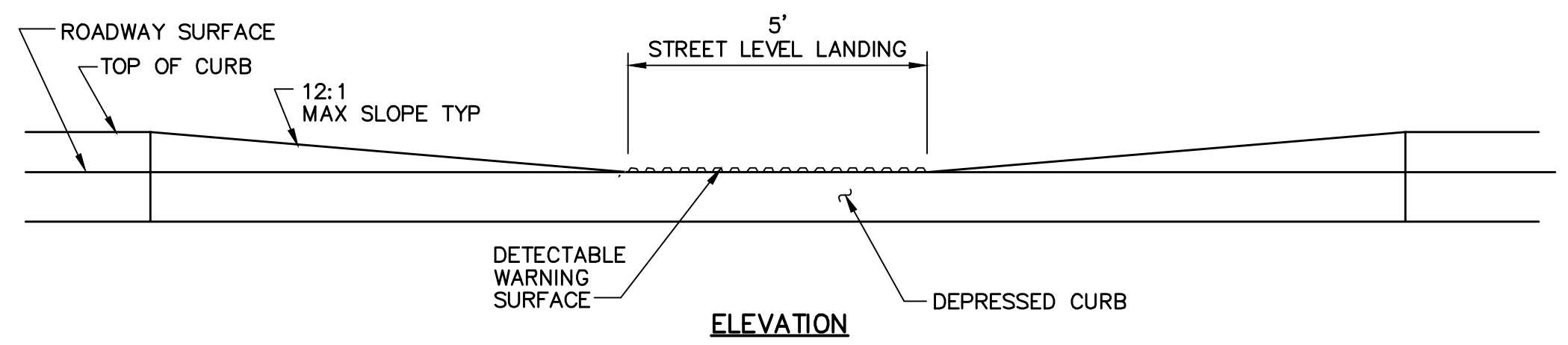
484-320-7808 OFFICE

CONSTRUCTION DETAILS - SITE
 FOR
 ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP
 FRANKLIN COUNTY
 PENNSYLVANIA

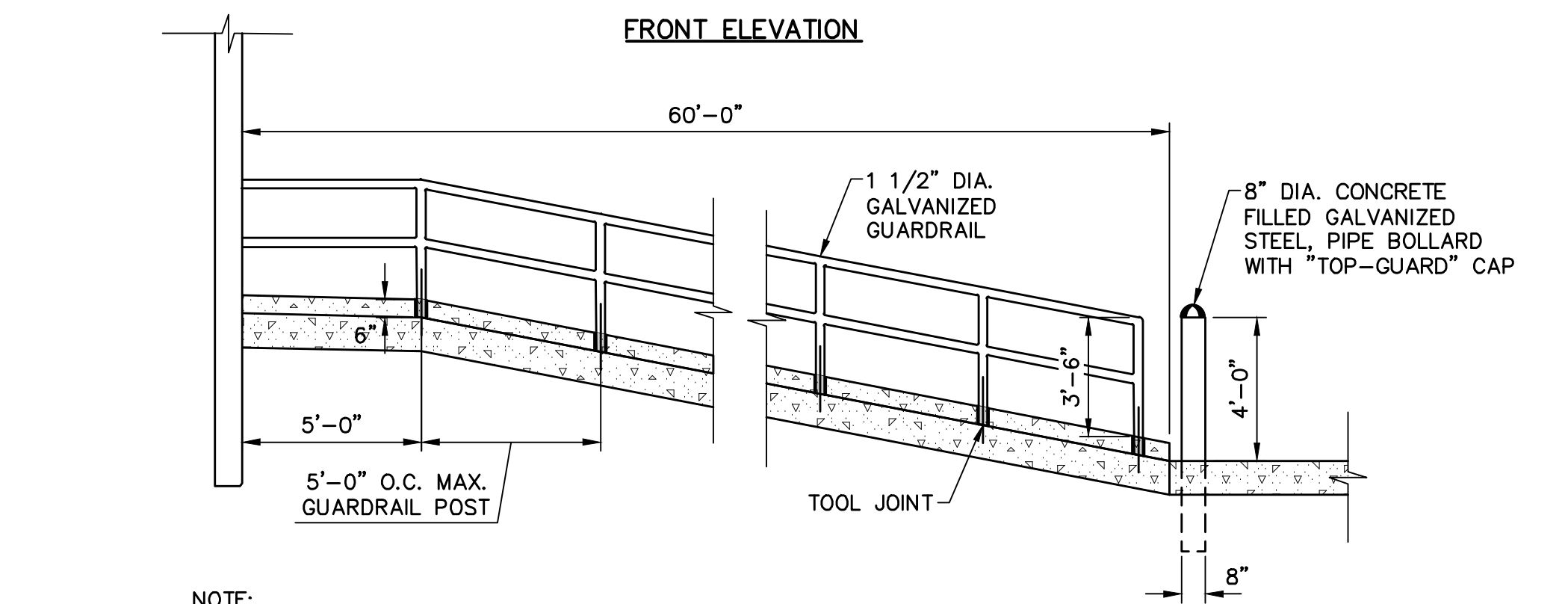
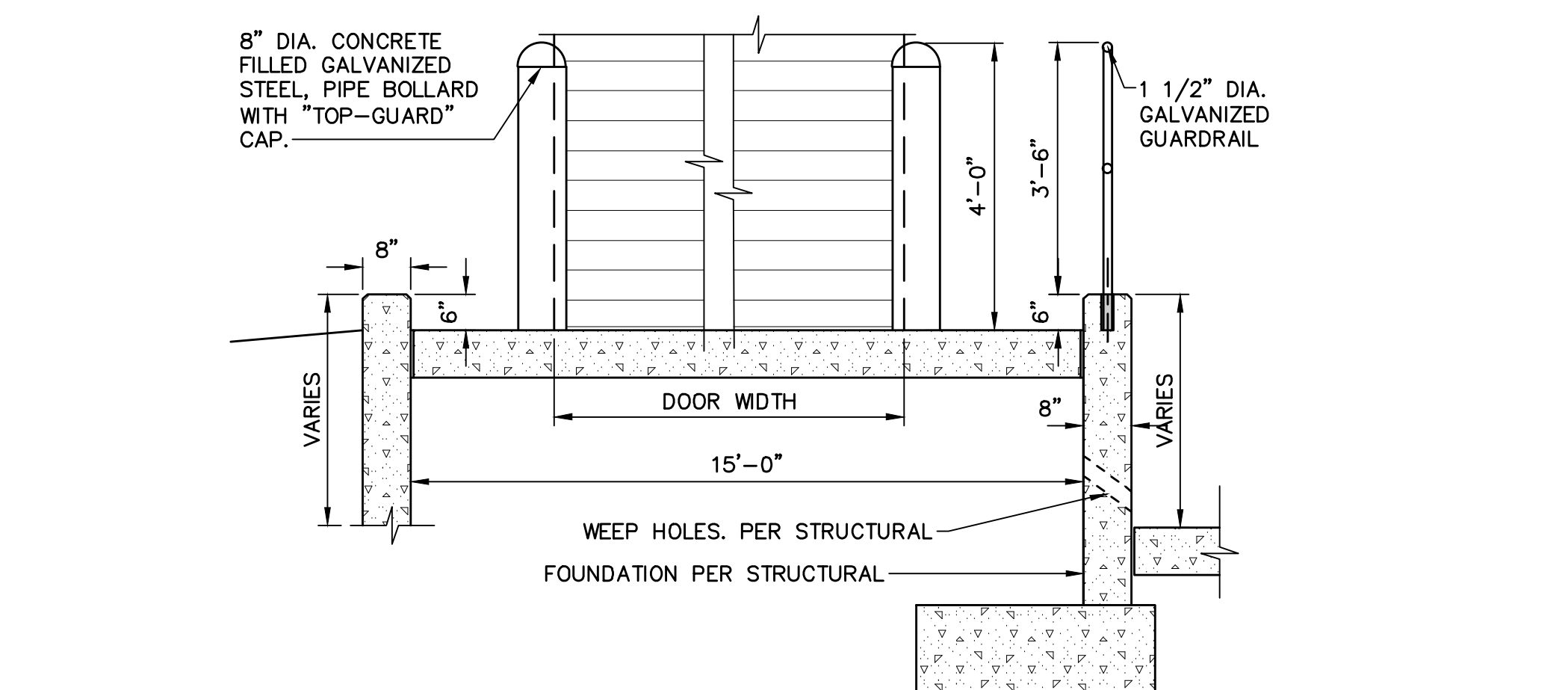
PROJ. MGR. - SBB
 DESIGN- HED/CAC
 CADD- TLB
 CHECKED- SBB
 SCALE- AS SHOWN
 DATE- 2021.08.24

DRAWING NO.
CD-1
 SHEET NO.
42 OF 51
 PROJECT R008499.0425



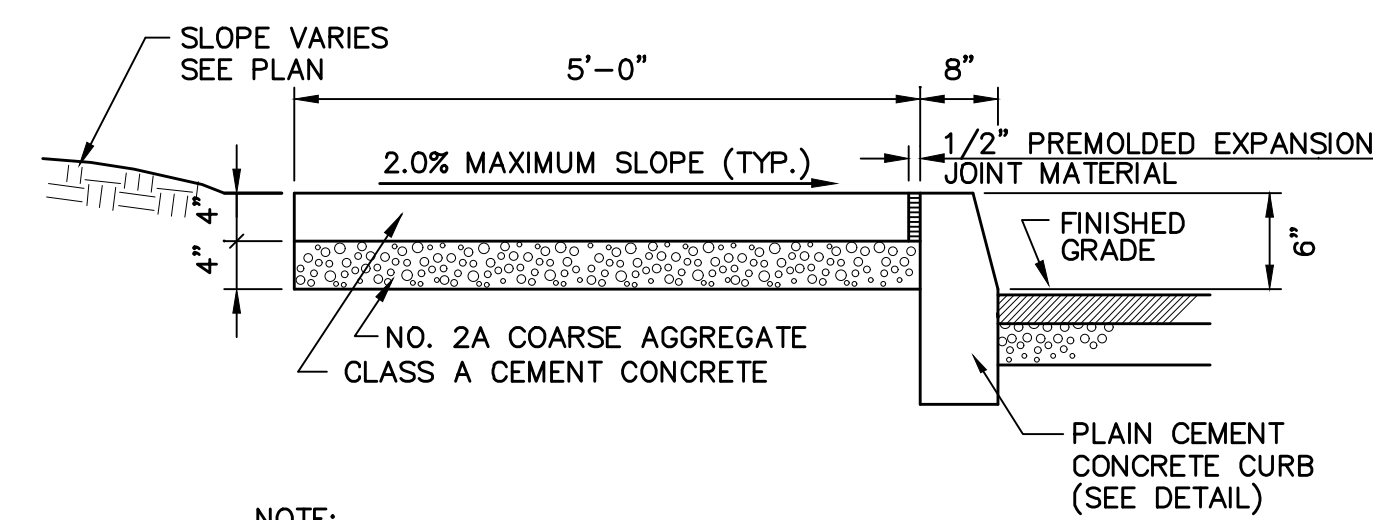
- NOTES:**
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PENNDOT PUBLICATION 408 (CURRENT EDITION).
 2. PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
 3. SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
 4. PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE RAMP.
 5. MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB ALTERATIONS WHERE THE CURB IS LESS THAN STANDARD 8" HEIGHT.
 6. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK PITCH.
 7. WHENEVER POSSIBLE, CONSTRUCT THE TRANSITION SLOPE FROM THE CURB RAMP AND FLARE SIDES TO ADJOINING SURFACES WITH A GRADUAL CURVE RATHER THAN AN ABRUPT ANGLE.
 8. ALIGN DETECTABLE WARNING SURFACE ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF PEDESTRIAN TRAVEL.
 9. PROVIDE DETECTABLE WARNING SURFACES THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP.
 10. NOWHERE SHALL THE CROSS SLOPE OF THE RAMP'S ACCESSIBLE ROUTE EXCEED 2%.
 11. CONSTRUCT RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAX SLOPE ALLOWABLE.

TYPE 2 CURB RAMP
NOT TO SCALE



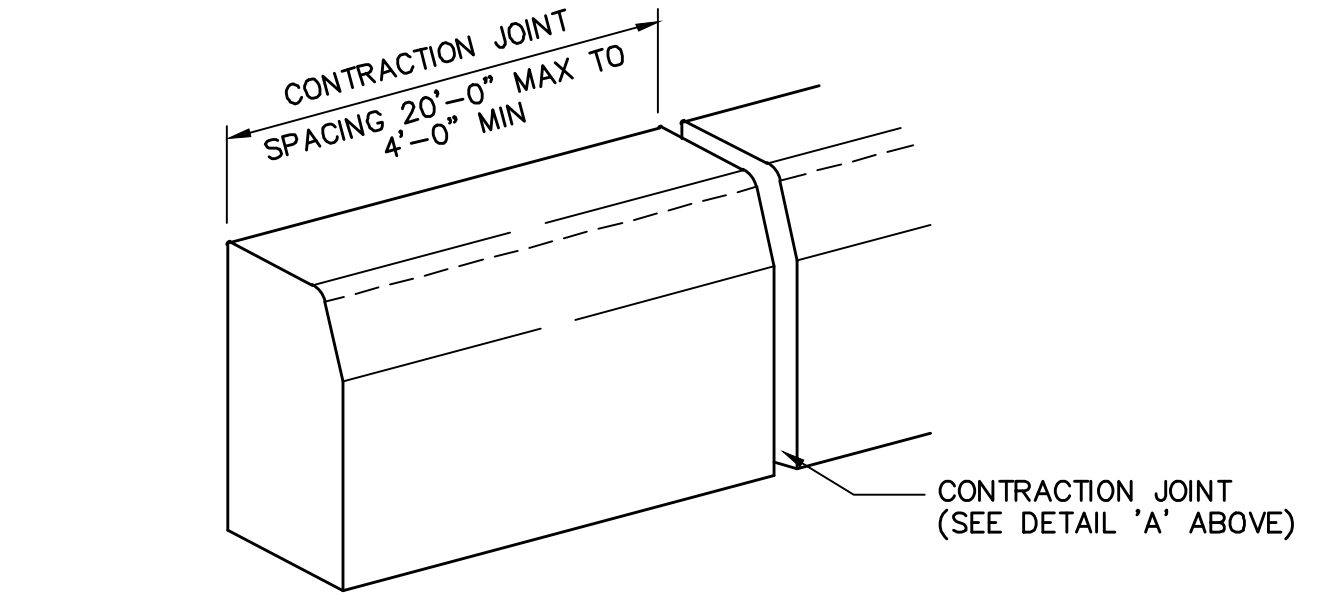
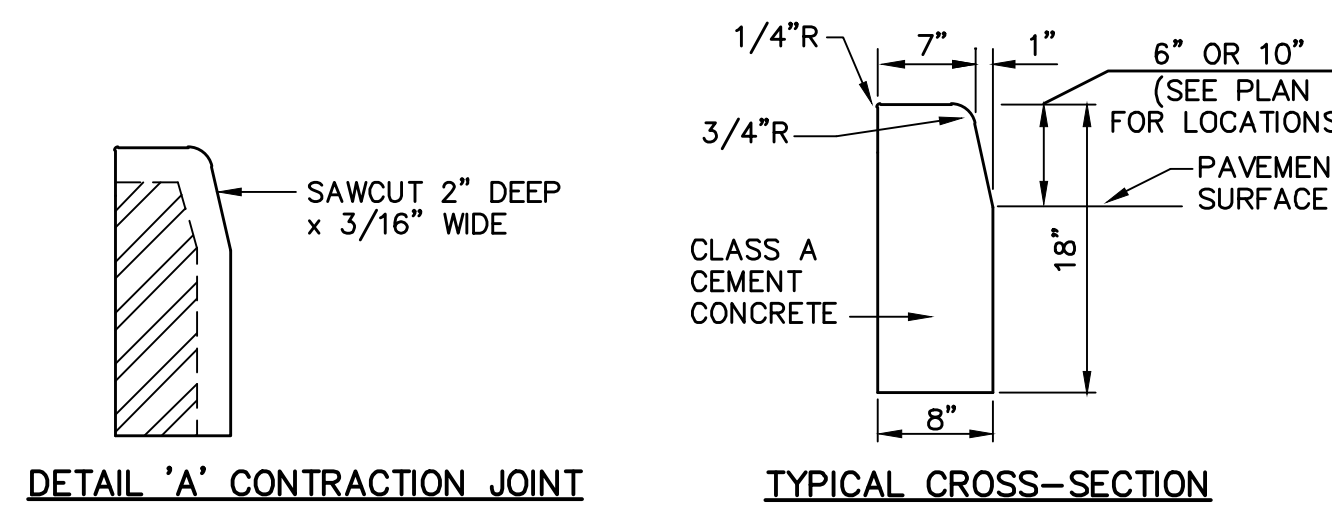
DRIVE-IN RAMP
NOT TO SCALE

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



- NOTE:**
1. SIDEWALK TO HAVE MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAFFIC.
 2. CONSTRUCT IN ACCORDANCE WITH PENNDOT PUBLICATION 408.
 3. SEE SITE PLAN FOR SIDEWALK LOCATION.

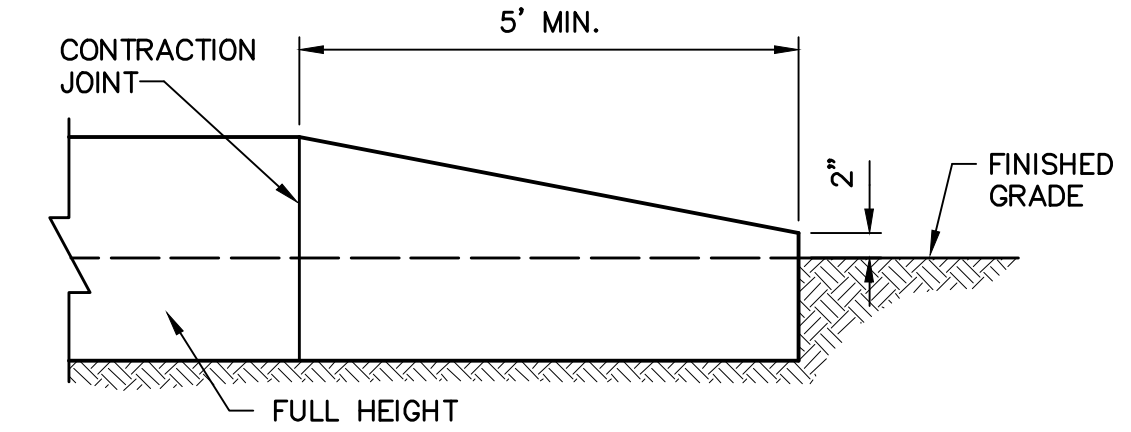
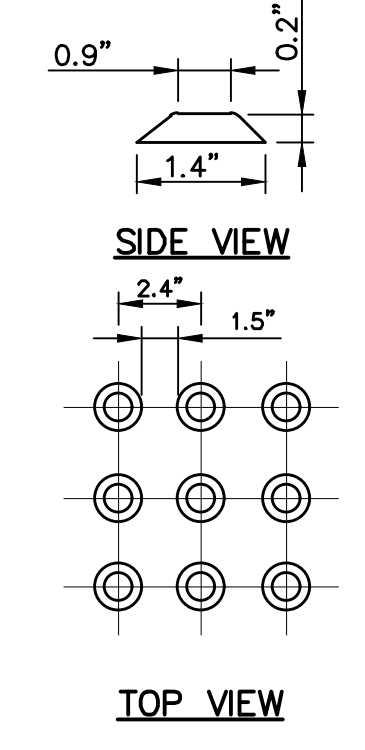
SIDEWALK DETAIL ADJACENT TO CURB
NOT TO SCALE



CONCRETE CURB DETAIL
NOT TO SCALE

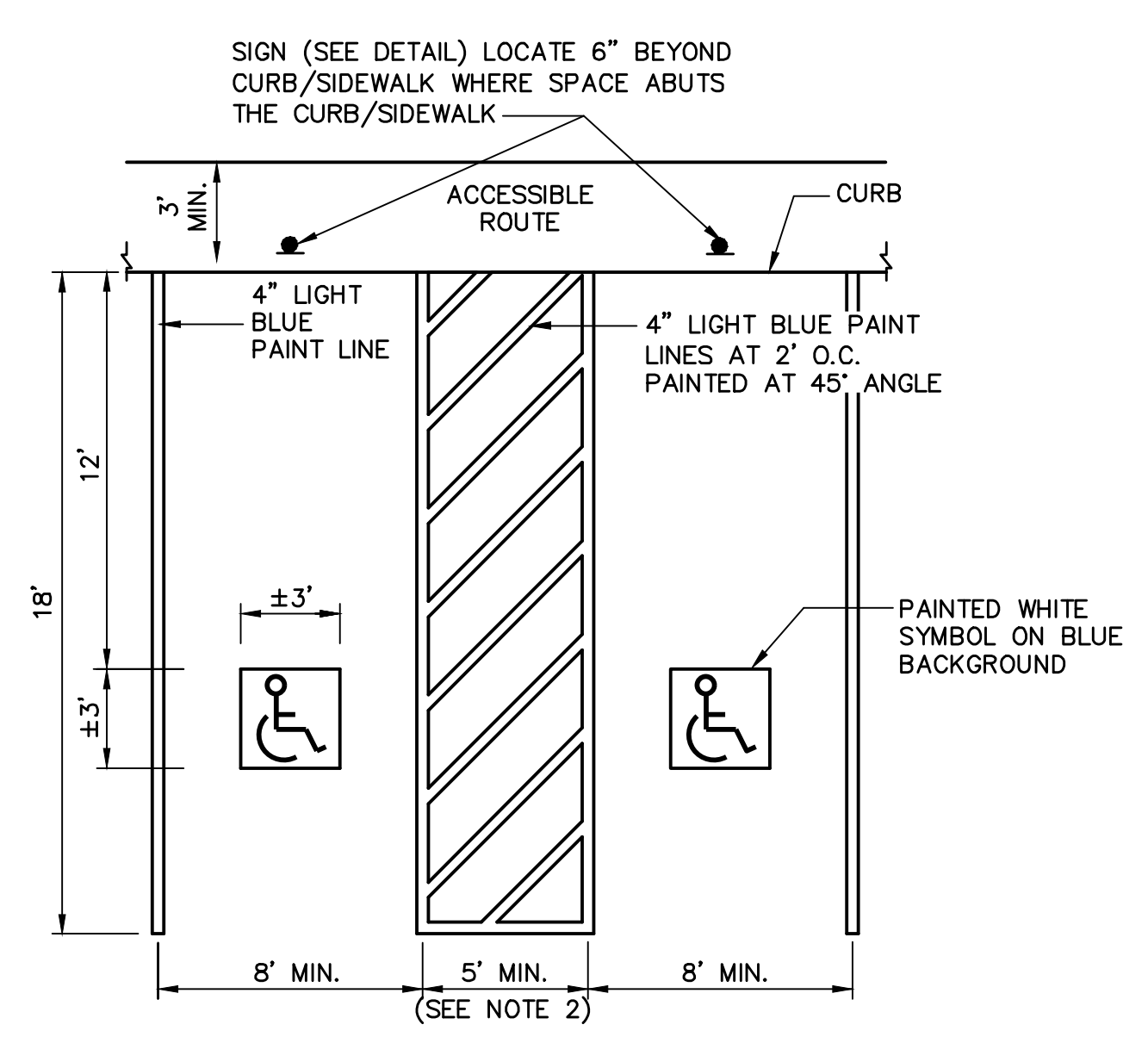
- NOTES:**
1. DETECTABLE WARNINGS SHALL BE A PRE-MANUFACTURED ARMOUR-TILE TACTILE SYSTEM OR APPROVED EQUIVALENT.
 2. CONTRACTOR TO ENSURE LOCAL, STATE AND A.D.A. COMPLIANCE PRIOR TO CONSTRUCTION.

TRUNCATED DOME PATTERN FOR A.D.A. DETECTABLE WARNING SURFACE
NOT TO SCALE



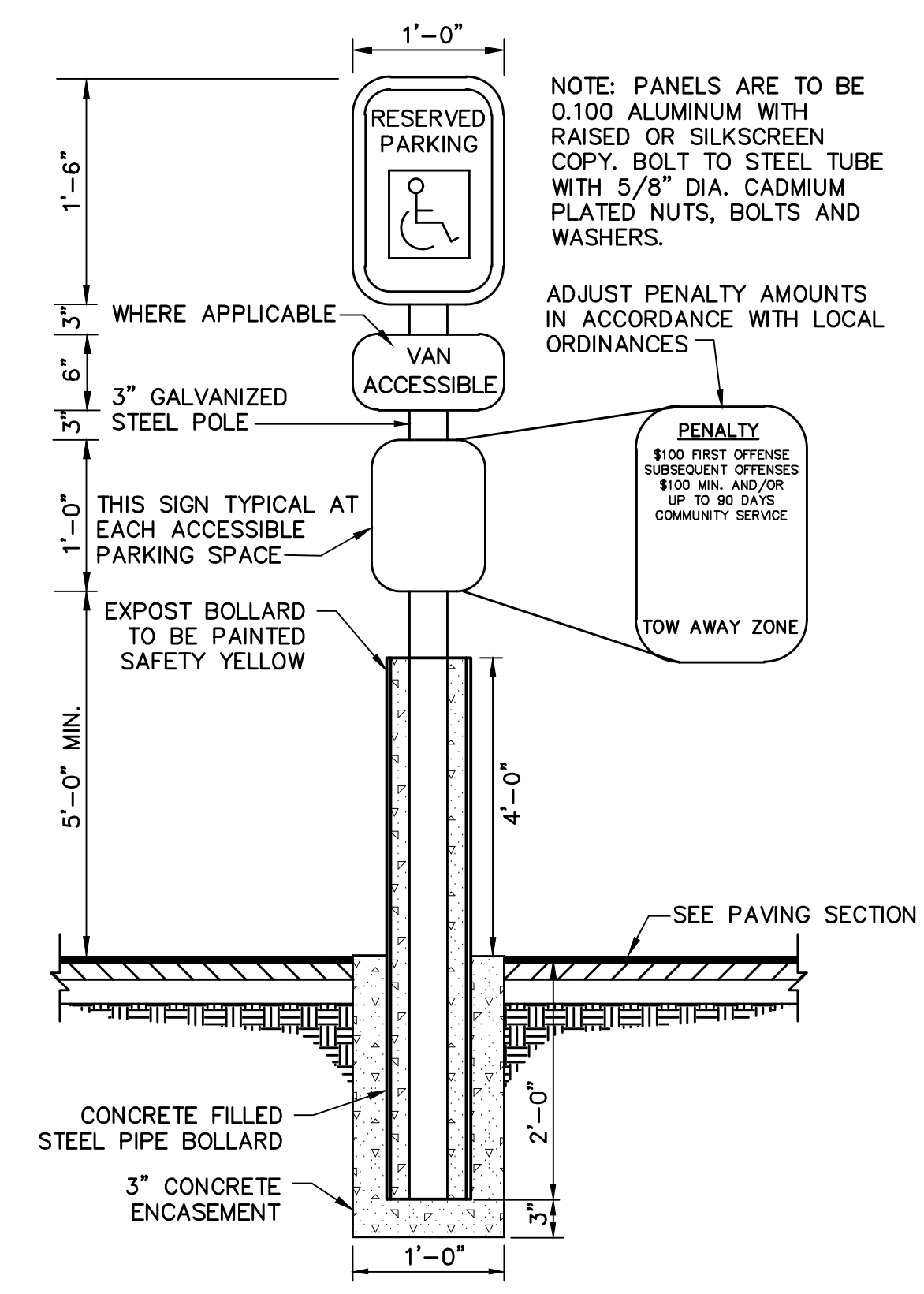
CURB END TRANSITION
NOT TO SCALE

- NOTE:**
1. APPLY CURB END TRANSITION AT END OF CURB LOCATIONS.



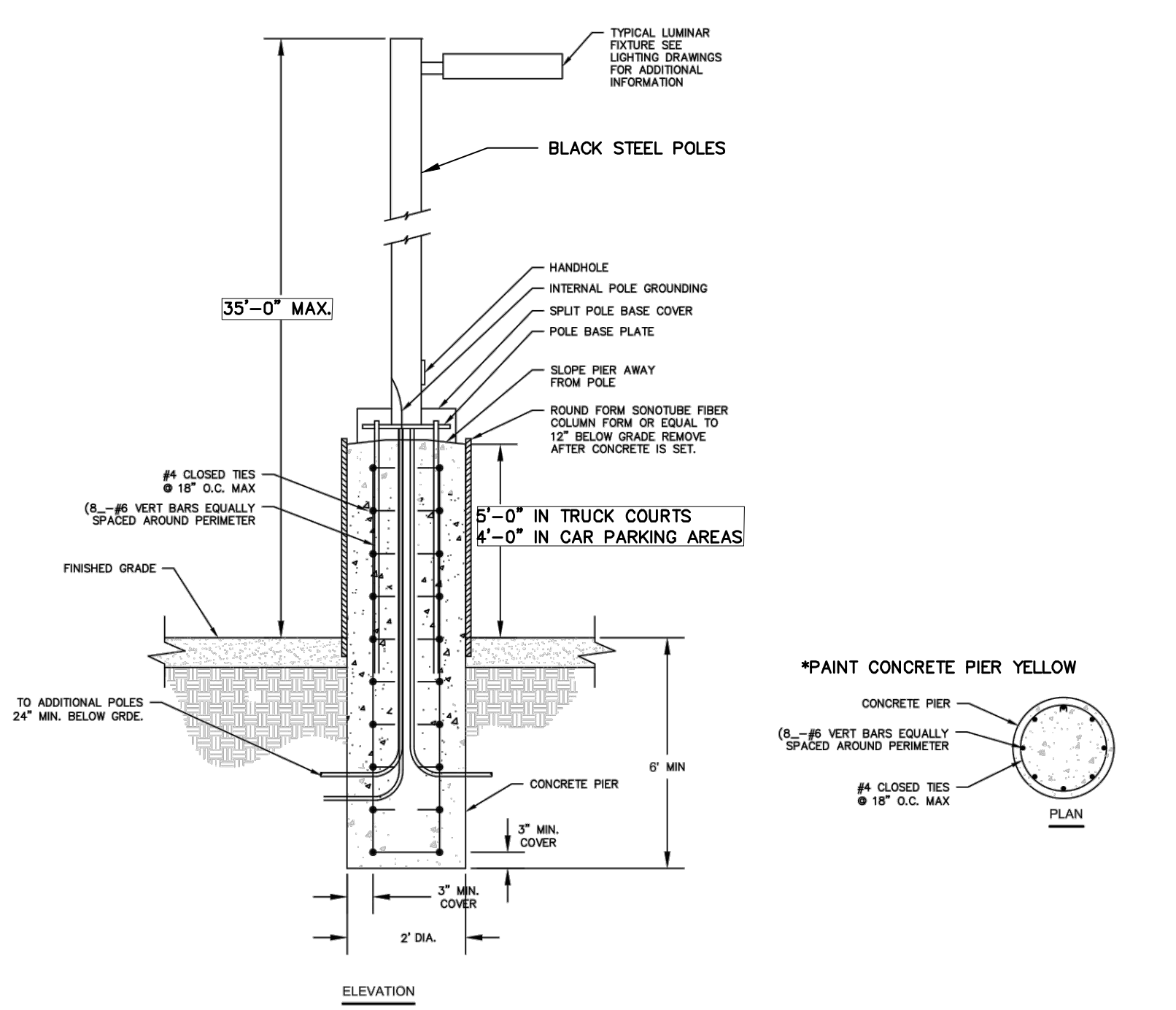
- NOTES:**
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATIONS AND DIMENSIONS.
 2. ACCESS AISLE SHALL BE 8'-0" MIN. WIDTH FOR VAN ACCESSIBLE SPACES.
 3. APPLY TWO COATS OF PAINT ON ALL SURFACES.
 4. FOR CURB APPLICATIONS, STALL DIMENSIONS SHALL BE MEASURED FROM FACE OF CURB. FOR PAINT APPLICATIONS, STALL DIMENSIONS SHALL BE MEASURED FROM THE CENTERLINE OF THE PAINT LINE.
 5. PARKING SPACES AND ACCESS AISLE AREAS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.

ACCESSIBLE PARKING PAVEMENT MARKINGS
NOT TO SCALE



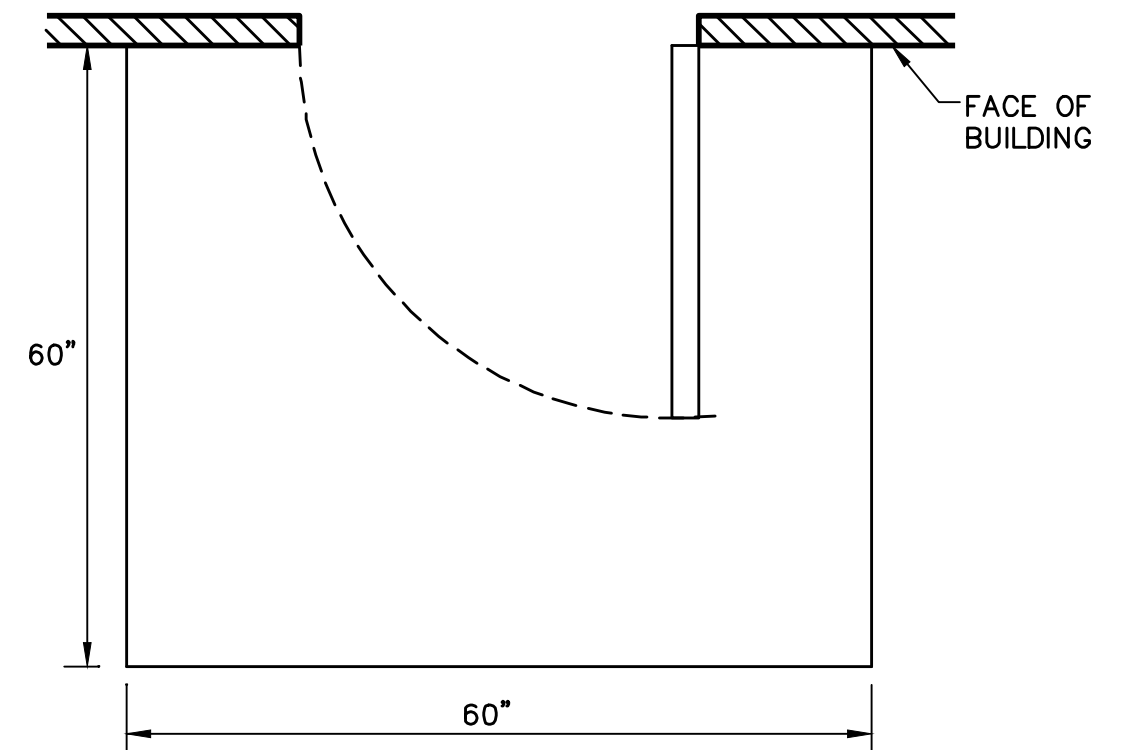
TYPICAL ACCESSIBLE PARKING SIGN
NOT TO SCALE

- NOTE:** PANELS ARE TO BE 0.100 ALUMINUM WITH RAISED OR SILKSCREEN COPY. BOLT TO STEEL TUBE WITH 5/8" DIA. CADMIUM PLATED NUTS, BOLTS AND WASHERS.
- ADJUST PENALTY AMOUNTS IN ACCORDANCE WITH LOCAL ORDINANCES.
- WHERE APPLICABLE
- 3" GALVANIZED STEEL POLE
- THIS SIGN TYPICAL AT EACH ACCESSIBLE PARKING SPACE
- EXPOST BOLLARD TO BE PAINTED SAFETY YELLOW
- CONCRETE FILLED STEEL PIPE BOLLARD
- 3" CONCRETE ENCASMENT



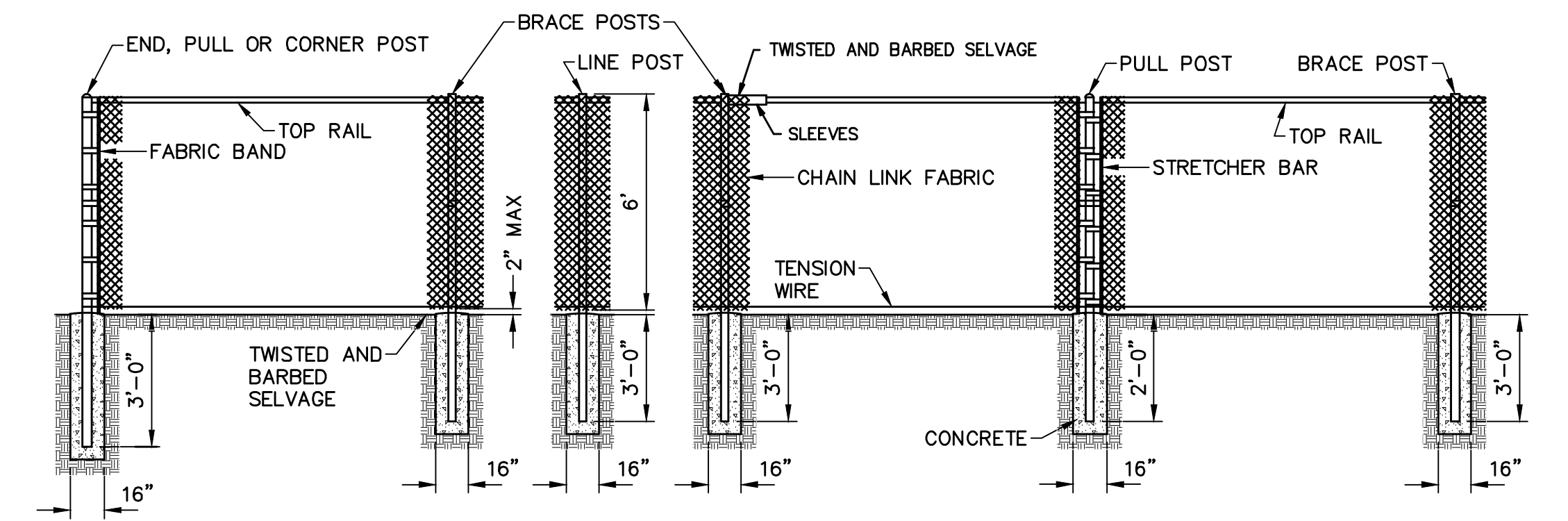
35' STEEL SITE LIGHTING POLE DETAIL WITH CONCRETE FOUNDATION
NOT TO SCALE

- NOTES:**
1. POLE BASE DETAIL IS FOR INFORMATION ONLY. ANCHOR BOLTS MUST BE SET USING PROPER TECHNIQUE.
 2. CONTRACTOR TO PROVIDE SHOP DRAWINGS SHOWING AND SEALING BY A PA LICENSED BOLLARD FOUNDATION DESIGN TO THE OWNER BEFORE FOR REVIEW AND APPROVAL.



CONCRETE APRON AT DOOR ADJACENT TO BUILDING
NOT TO SCALE

- NOTES:**
1. SIDEWALK TO HAVE MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAFFIC.
 2. CONSTRUCT IN ACCORDANCE WITH PENNDOT PUBLICATION 408.
 3. SEE SITE PLAN FOR CONCRETE APRON LOCATIONS.



MEMBER	NOMINAL DIA (IN)	MATERIAL
BRACE RAIL	1.625	GALV TUBULAR STL
GATE FRAME	1.875	GALV TUBULAR STL
LINE POSTS	2.375	GALV TUBULAR STL
END & CORNER POST	2.875	GALV TUBULAR STL
CHAIN LINK FABRIC		9 GA. GALV STL

- NOTES:**
1. ALL FITTINGS, FASTENERS, & FABRIC TIES SHALL BE HOT DIP GALV.
 2. CONG SHALL BE MIN 2500 PSI @ 28 DAYS.
 3. PROVIDE BRACE RAIL BETWEEN END POSTS AND LINE POSTS. LENGTHS AS REQUIRED.
 4. PROVIDE GATE STOPS AND DROP RECEIVERS SET IN CONCRETE, EACH GATE.
 5. PROVIDE EXTENSION ARMS ON LINE, END AND CORNER POSTS & GATE POSTS AS REQUIRED.
 6. CENTER BRACE RAIL NOT REQUIRED WITH FENCE HEIGHT OF 5' OR LESS.

CHAIN-LINK FENCE DETAIL
NOT TO SCALE

HRG
Herbert, Rowland & Grubic, Inc.
Engineering & Related Services
AN EMPLOYEE-OWNED COMPANY

207 Grant Street
Chambersburg, PA 17201
(717) 263-2070
hr@hr-ginc.com
www.hr-ginc.com

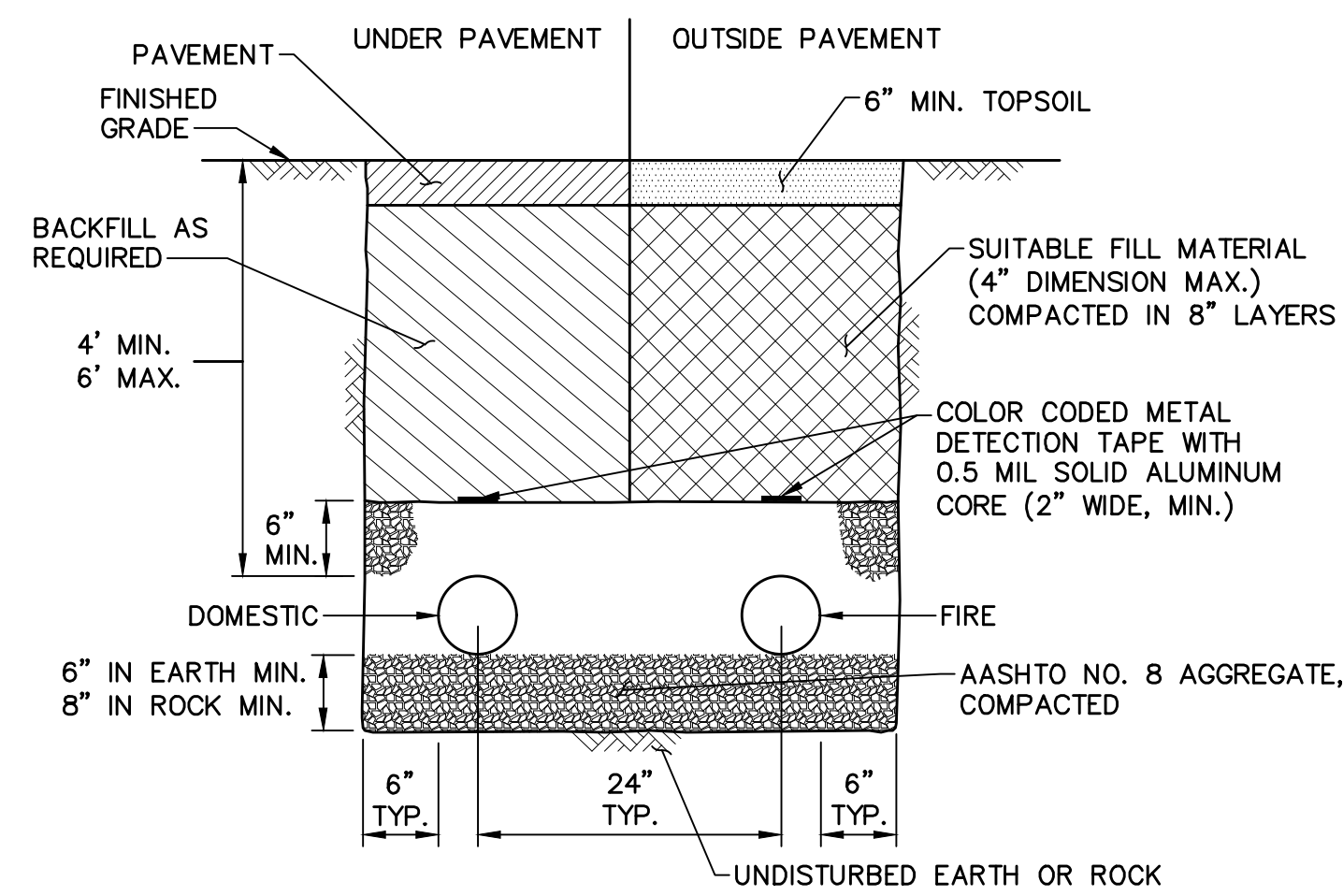
ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

CONSTRUCTION DETAILS - SITE
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

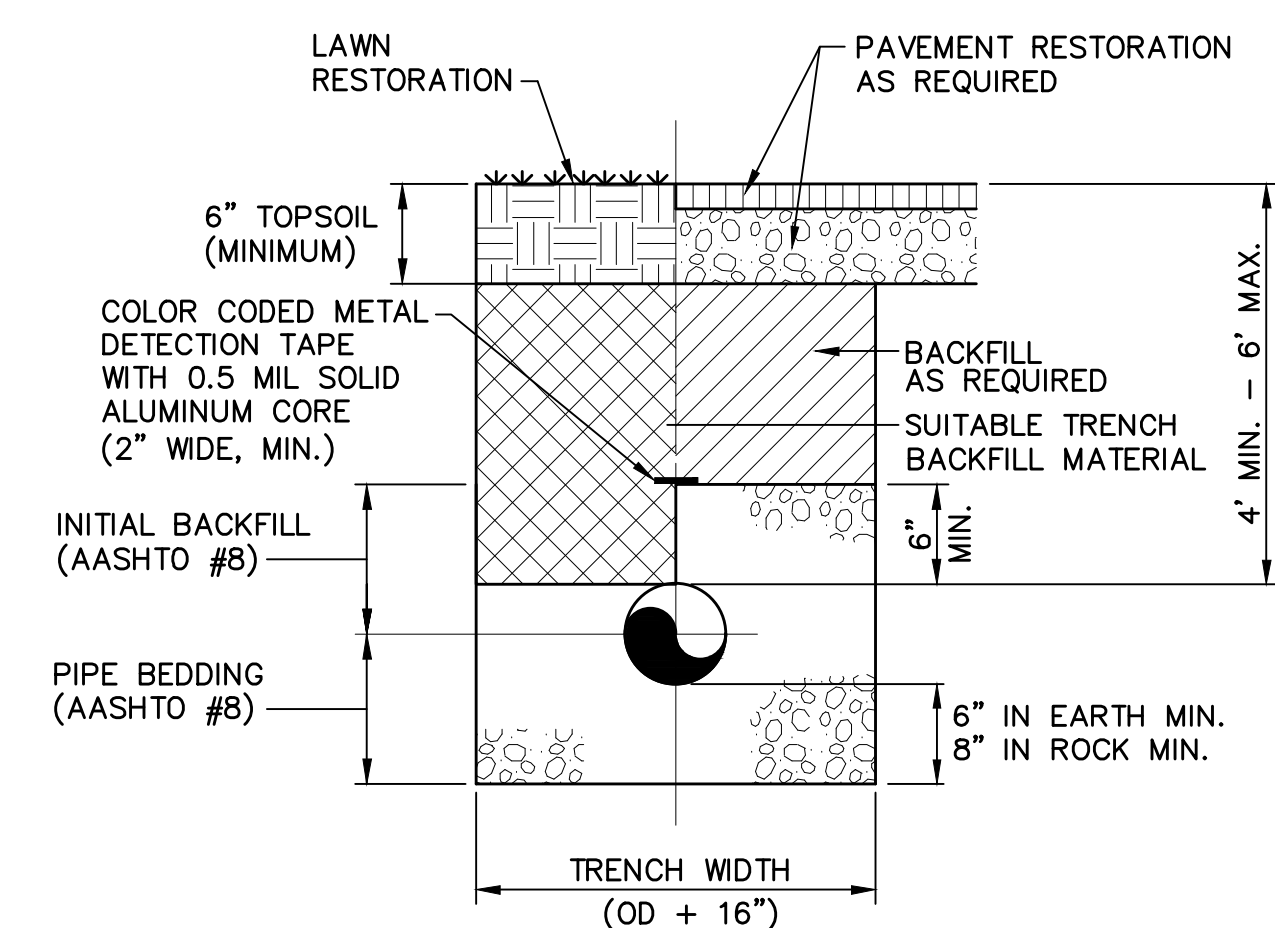
PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
CD-2
SHEET NO.
43 OF 51
PROJECT R008499.0425

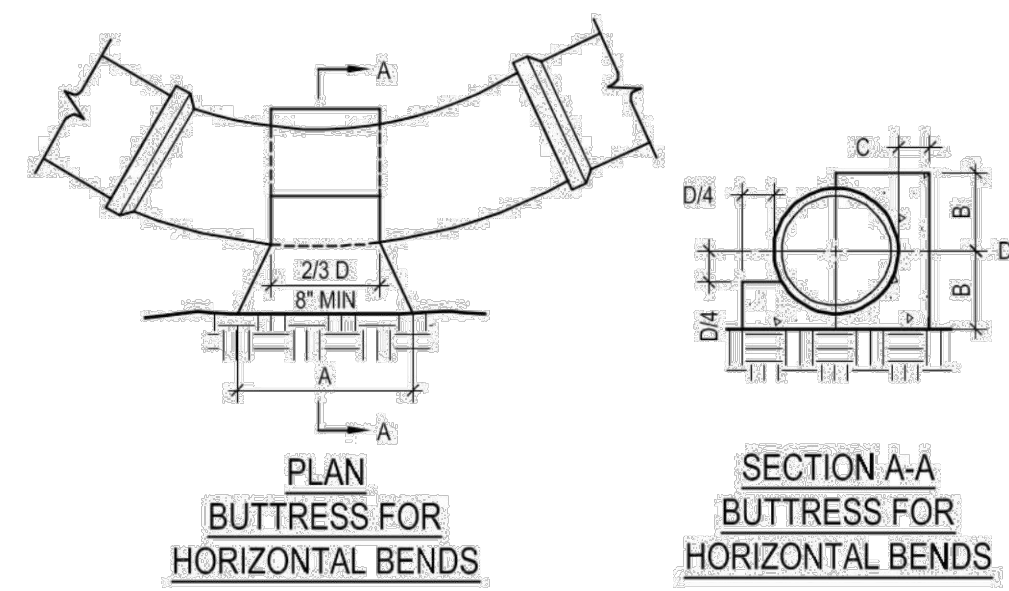


NOTE:
BACKFILL UNDER ALL PUBLIC ROADS SHALL BE 2RC STONE, OR EQUIVALENT, IN 12" LIFTS COMPACTED TO 95% MAX. DENSITY

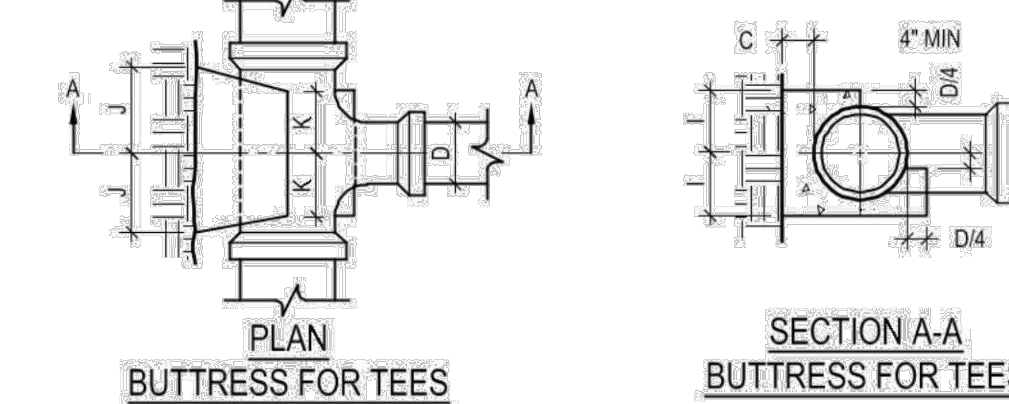
WATER LINE TRENCH DETAIL
NOT TO SCALE



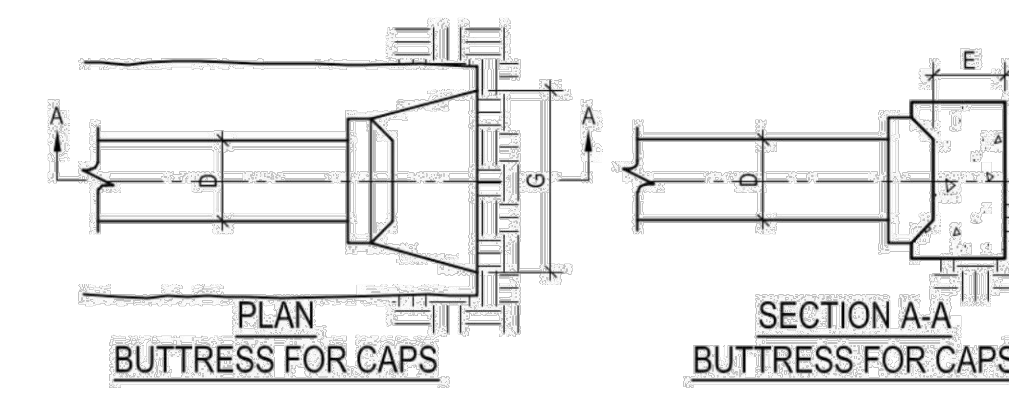
WATER LINE TRENCH DETAIL
NOT TO SCALE



BUTTRESS FOR HORIZONTAL BENDS		SIZE OF BRANCH (D)					
BEND		4"	6"	8"	10"	12"	16"
11 1/4"	A	4"	6"	8"	10"	12"	16"
1/32	B	5"	7"	8"	9"	10"	11"
	C	5"	7"	7"	8"	8"	9"
22 1/2"	A	6"	9"	11"	14"	15"	21"
1/16	B	6"	7"	7"	8"	10"	11"
	C	6"	8"	8"	10"	11"	12"
45"	A	10"	13"	13"	21"	21"	34"
1/8	B	7"	7"	8"	9"	11"	13"
	C	7"	8"	9"	10"	11"	12"
90"	A	11"	14"	14"	21"	21"	34"
1/4	B	6"	6"	9"	10"	11"	12"
	C	11"	11"	11"	15"	15"	15"



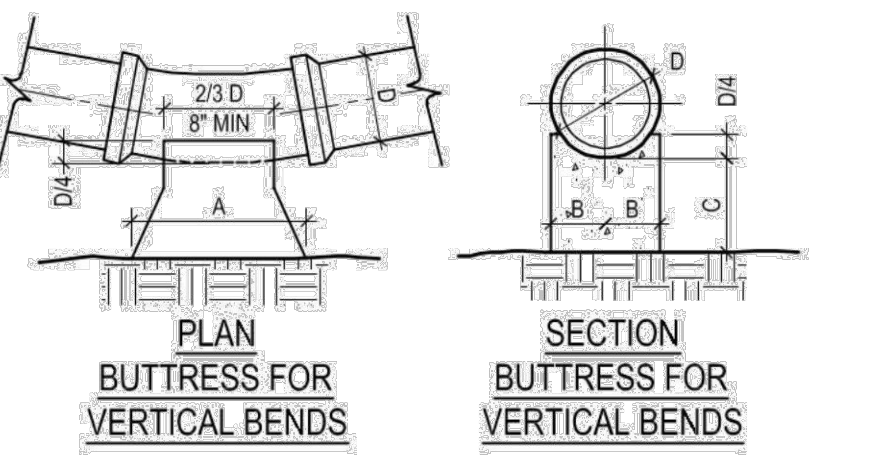
BUTTRESS FOR TEES		SIZE OF BRANCH (D)					
BEND		4"	6"	8"	10"	12"	16"
11 1/4"	A	4"	6"	8"	10"	12"	16"
1/32	B	5"	7"	8"	9"	10"	11"
	C	5"	7"	7"	8"	8"	9"
22 1/2"	A	6"	9"	11"	14"	15"	21"
1/16	B	6"	7"	7"	8"	10"	11"
	C	6"	8"	8"	10"	11"	12"
45"	A	10"	13"	13"	21"	21"	34"
1/8	B	7"	7"	8"	9"	11"	13"
	C	7"	8"	9"	10"	11"	12"
90"	A	11"	14"	14"	21"	21"	34"
1/4	B	6"	6"	9"	10"	11"	12"
	C	11"	11"	11"	15"	15"	15"



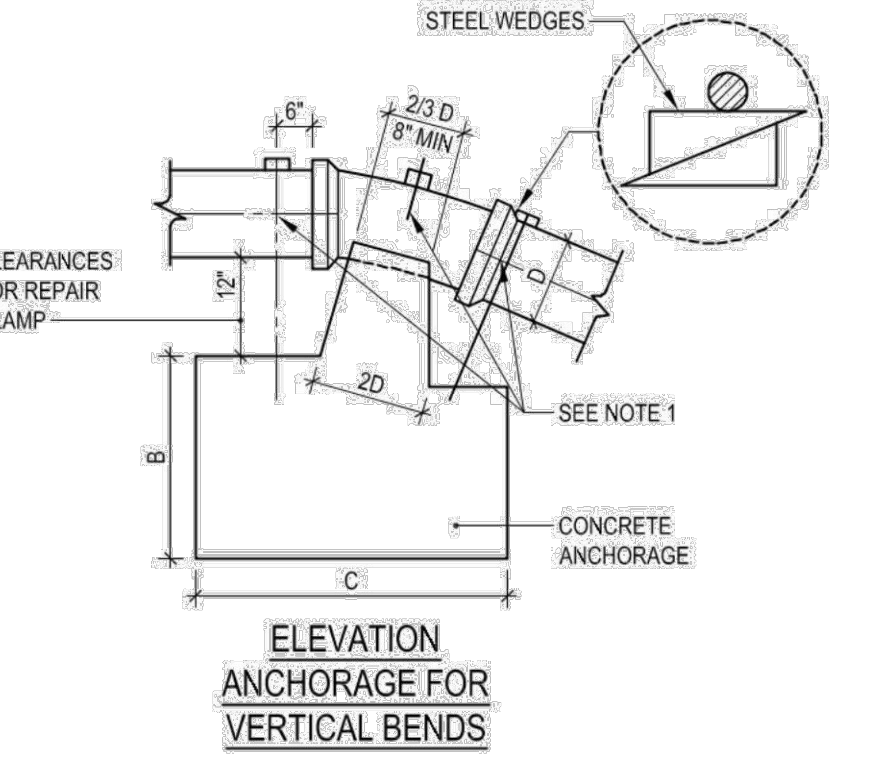
BUTTRESS FOR CAPS		SIZE OF BRANCH (D)					
BEND		4"	6"	8"	10"	12"	16"
11 1/4"	A	4"	6"	8"	10"	12"	16"
1/32	B	5"	7"	8"	9"	10"	11"
	C	5"	7"	7"	8"	8"	9"
22 1/2"	A	6"	9"	11"	14"	15"	21"
1/16	B	6"	7"	7"	8"	10"	11"
	C	6"	8"	8"	10"	11"	12"
45"	A	10"	13"	13"	21"	21"	34"
1/8	B	7"	7"	8"	9"	11"	13"
	C	7"	8"	9"	10"	11"	12"
90"	A	11"	14"	14"	21"	21"	34"
1/4	B	6"	6"	9"	10"	11"	12"
	C	11"	11"	11"	15"	15"	15"

NOTES:
1. ALL BUTTRESSES TO BE CARRIED TO UNDISTURBED EARTH.
2. ALL CONCRETE TO BE AS SPECIFIED FOR MASS CONCRETE.
3. BUTTRESS DIMENSIONS SHOWN ARE FOR MINIMUM DIMENSIONS AND ARE BASED UPON SOIL BEARING PRESSURE OF 3,000 P.S.F. AND STATIC WATER PRESSURE OF 150 PSI WHERE PRESSURE EXCEEDS 150 PSI OR WHERE SOIL BEARING PRESSURE IS LESS THAN 3,000 P.S.F. SPECIAL BUTTRESS DESIGN IS REQUIRED.
4. USE DIMENSIONS SHOWN UNDER 4" PIPE FOR ALL PIPES LESS THAN 4".

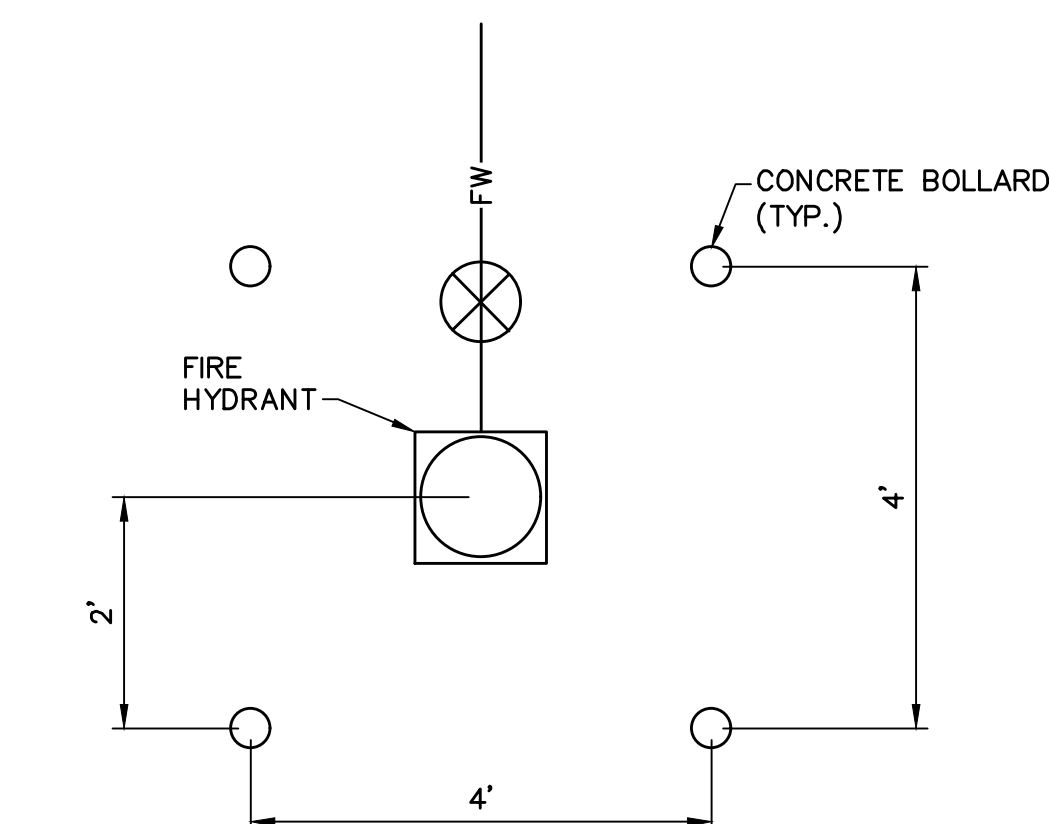
BUTTRESS FOR VERTICAL BENDS		SIZE					
BEND		4"	6"	8"	10"	12"	16"
11 1/4"	A	4"	6"	8"	10"	12"	16"
1/32	B	5"	7"	8"	9"	10"	11"
	C	5"	7"	7"	8"	8"	9"
22 1/2"	A	6"	9"	11"	14"	15"	21"
1/16	B	6"	7"	7"	8"	10"	11"
	C	6"	7"	7"	8"	8"	9"
45"	A	10"	13"	13"	21"	21"	34"
1/8	B	7"	7"	8"	9"	11"	13"
	C	7"	7"	8"	10"	11"	12"



ANCHORAGE FOR VERTICAL BENDS		SIZE					
BEND		4"	6"	8"	10"	12"	16"
11 1/4"	A	11"	14"	14"	21"	21"	34"
1/32	B	11"	14"	14"	21"	21"	34"
	C	11"	14"	14"	21"	21"	34"
22 1/2"	A	11"	14"	14"	21"	21"	34"
1/16	B	11"	14"	14"	21"	21"	34"
	C	11"	14"	14"	21"	21"	34"
45"	A	11"	14"	14"	21"	21"	34"
1/8	B	11"	14"	14"	21"	21"	34"
	C	11"	14"	14"	21"	21"	34"

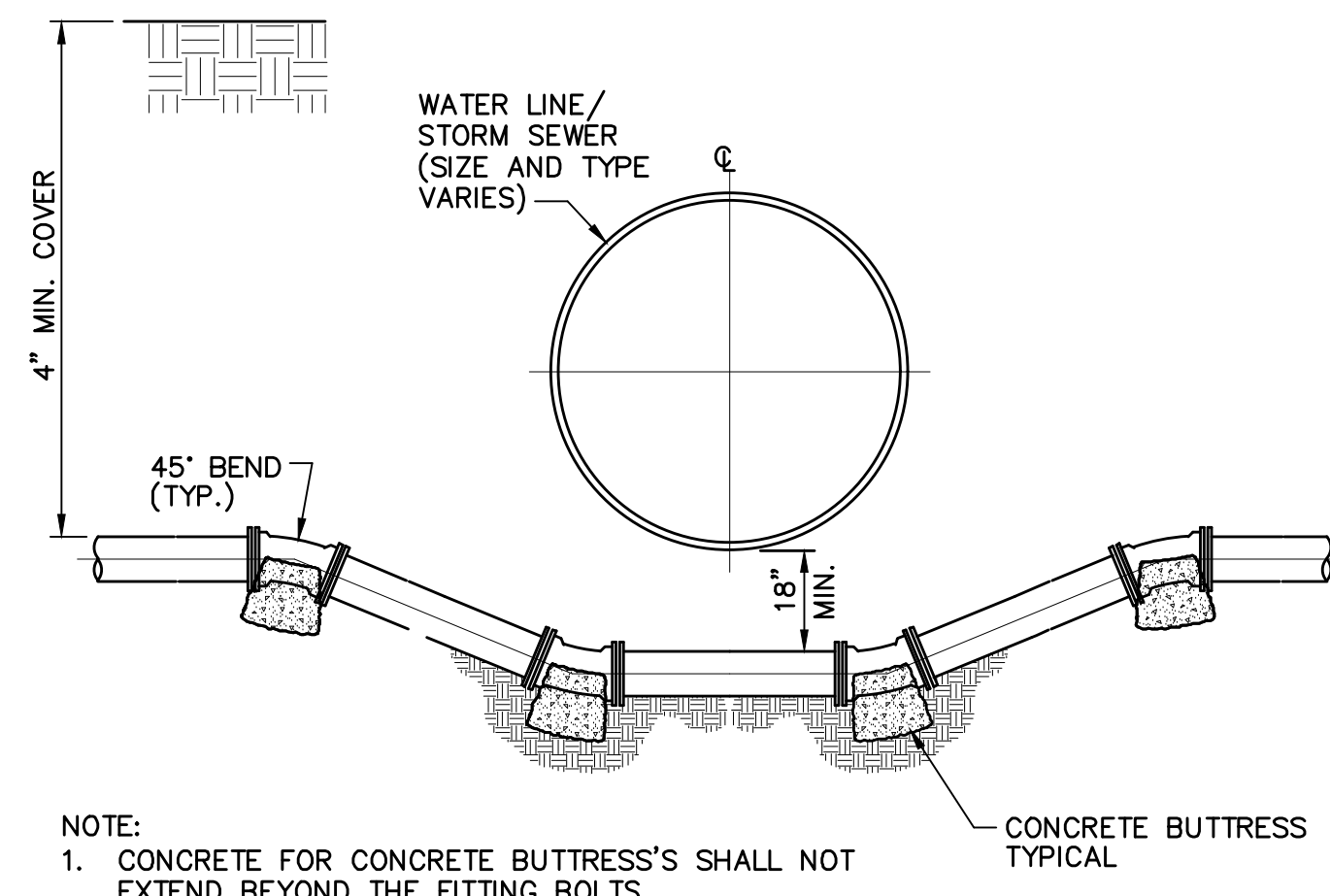


NOTES:
1. USE 3# REINFORCING BARS AS SHOWN. IMBED 30" DIAMETERS IN CONCRETE AND PAINT EXPOSED SURFACE WITH 2 COATS OF APPROVED BITUMINOUS PAINT.
2. ALL CONCRETE TO BE CLASS AS SPECIFIED FOR MASS CONCRETE.
3. ALL BUTTRESSES TO BE CARRIED TO UNDISTURBED EARTH.
4. BUTTRESS DIMENSIONS SHOWN ARE MINIMUM DIMENSIONS ARE BASED UPON SOIL BEARING PRESSURE OF 3,000 P.S.F. AND STATIC WATER PRESSURE OF 150 PSI WHERE PRESSURE EXCEEDS 150 PSI OR WHERE SOIL BEARING PRESSURE IS LESS THAN 3,000 P.S.F. SPECIAL BUTTRESS DESIGN IS REQUIRED.
5. USE DIMENSIONS SHOWN UNDER 4" PIPE FOR ALL PIPES LESS THAN 4".



NOTE:
1. BOLLARDS ARE REQUIRED IN ANY LOCATION WHERE THE HYDRANT IS DIRECTLY ADJACENT TO PAVEMENT.

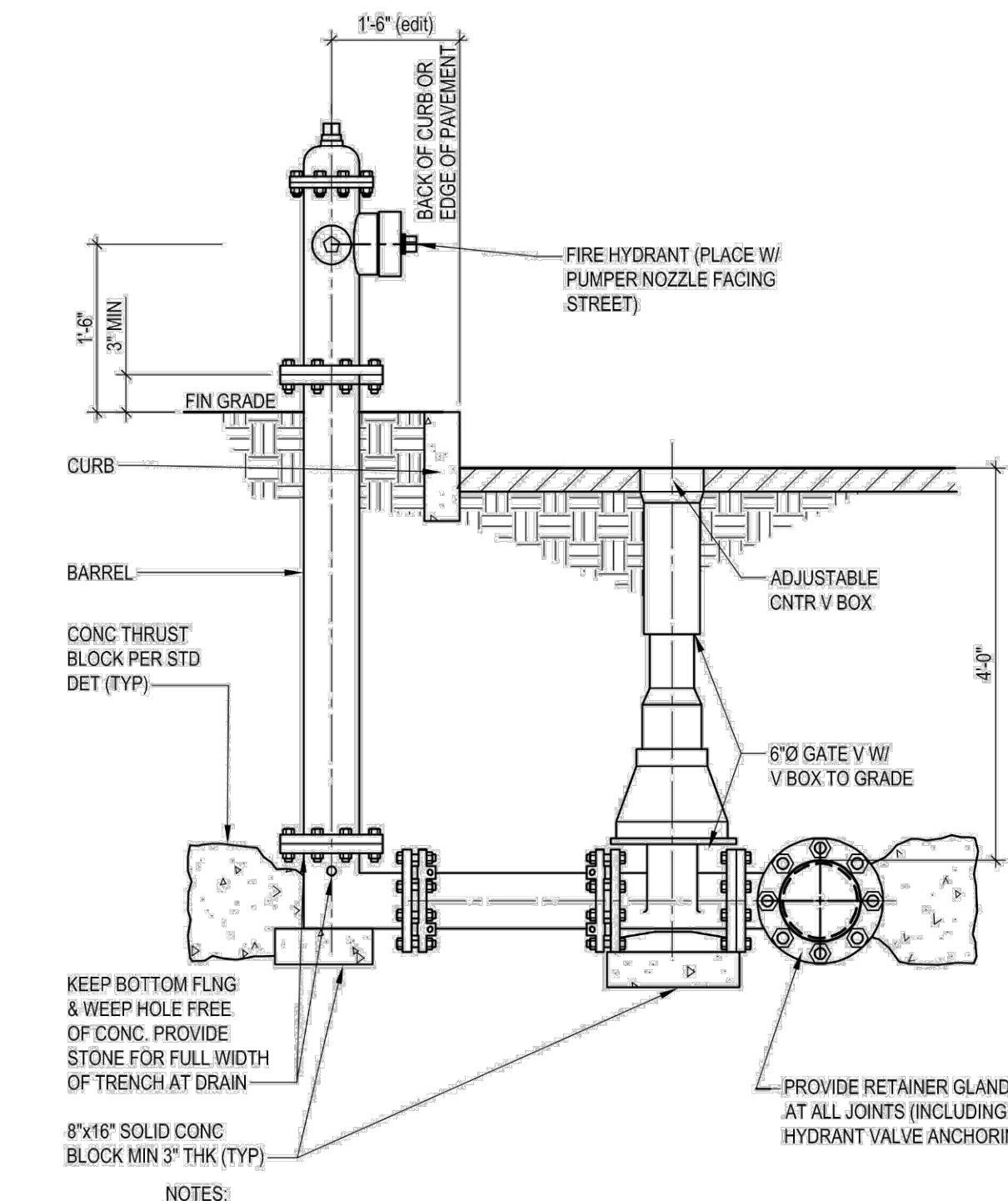
FIRE HYDRANT BOLLARD DETAIL
NOT TO SCALE



NOTE:
1. CONCRETE FOR CONCRETE BUTTRESS'S SHALL NOT EXTEND BEYOND THE FITTING BOLTS.

WATER LINE/STORM SEWER CROSSING
NOT TO SCALE

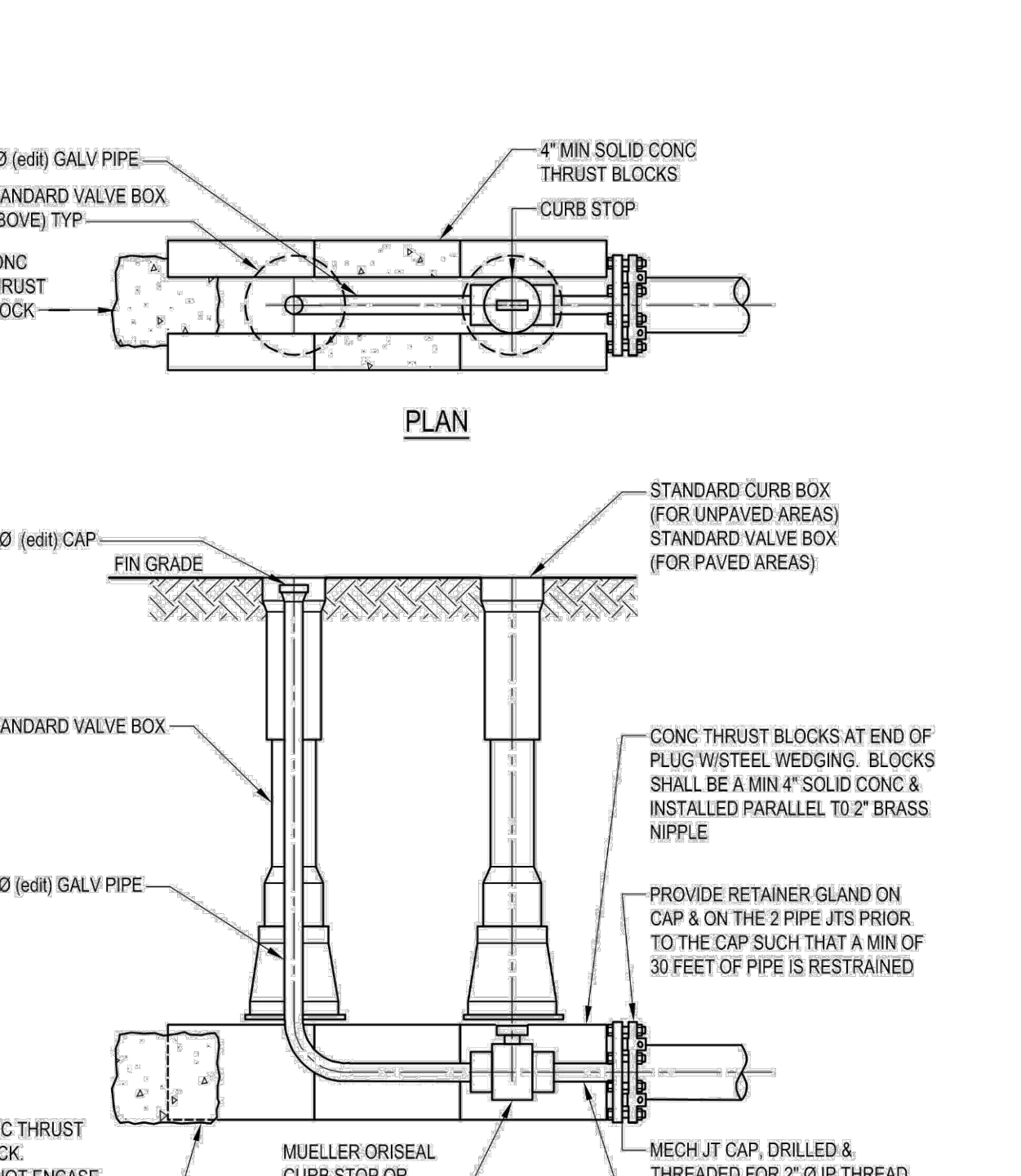
HORIZONTAL REACTION BACKING
NOT TO SCALE



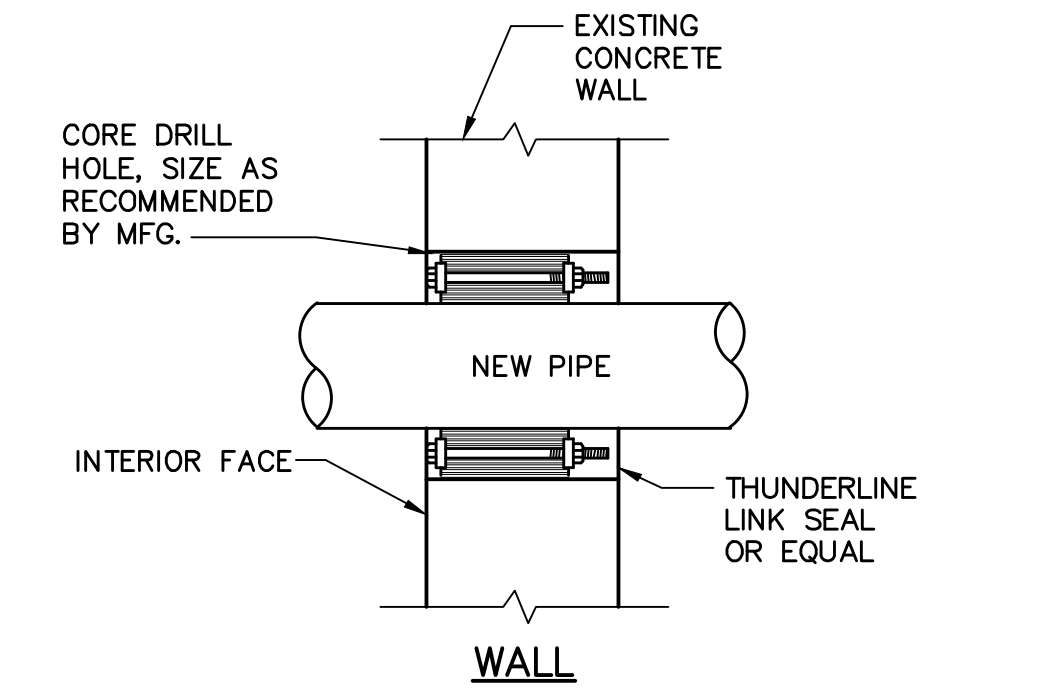
NOTES:
1. PAINT ALL EXPOSED STEEL WITH ASPHALTIC PAINT.
2. FIRE HYDRANTS TO BE APPROVED BY FIRE CHIEF.
3. ALL PRIVATE FIRE HYDRANTS TO BE PAINTED RED, UNLESS OTHERWISE NOTED.

FIRE HYDRANT DETAIL
NOT TO SCALE

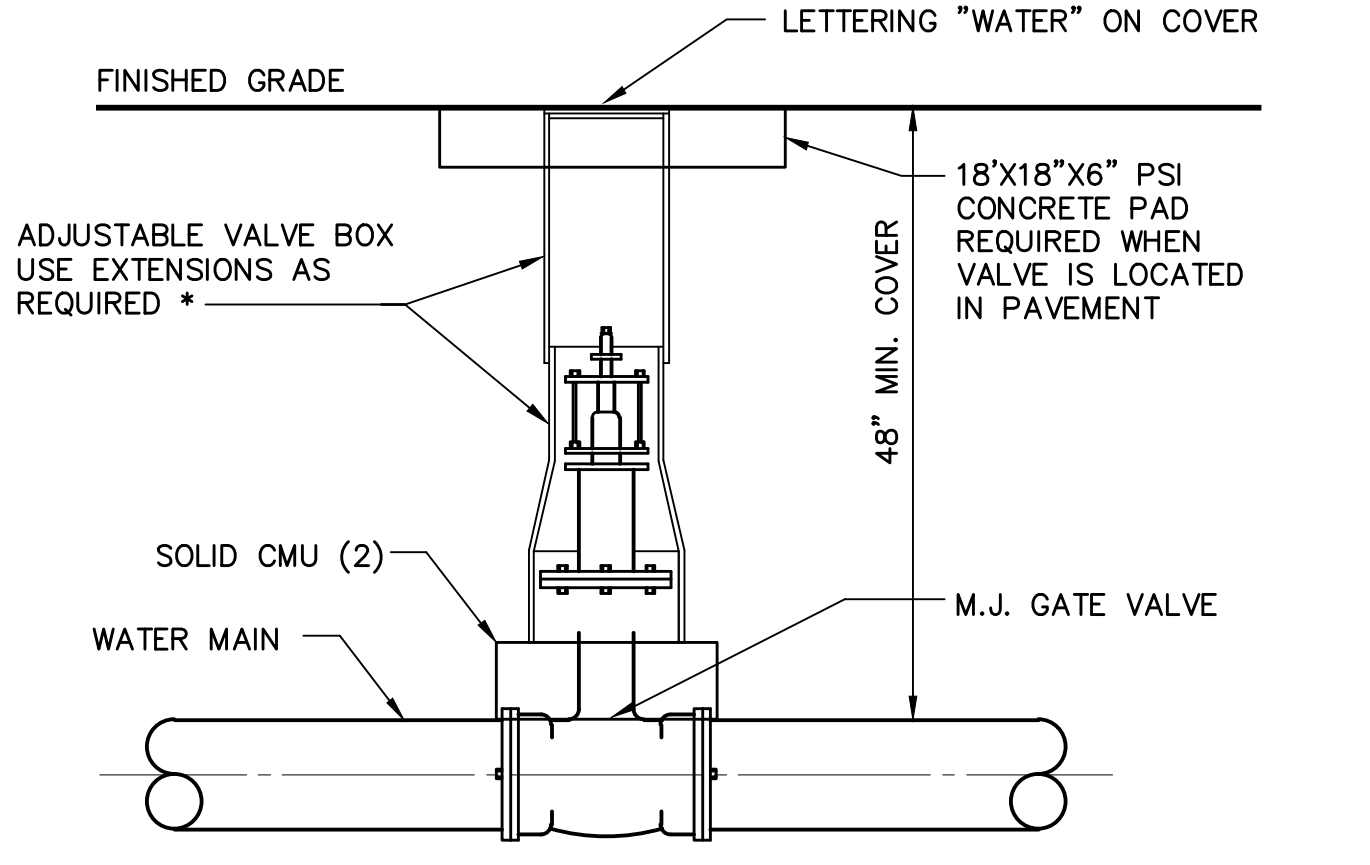
VERTICAL REACTION BACKING
NOT TO SCALE



BLOW-OFF ASSEMBLY (TYP.)
NOT TO SCALE

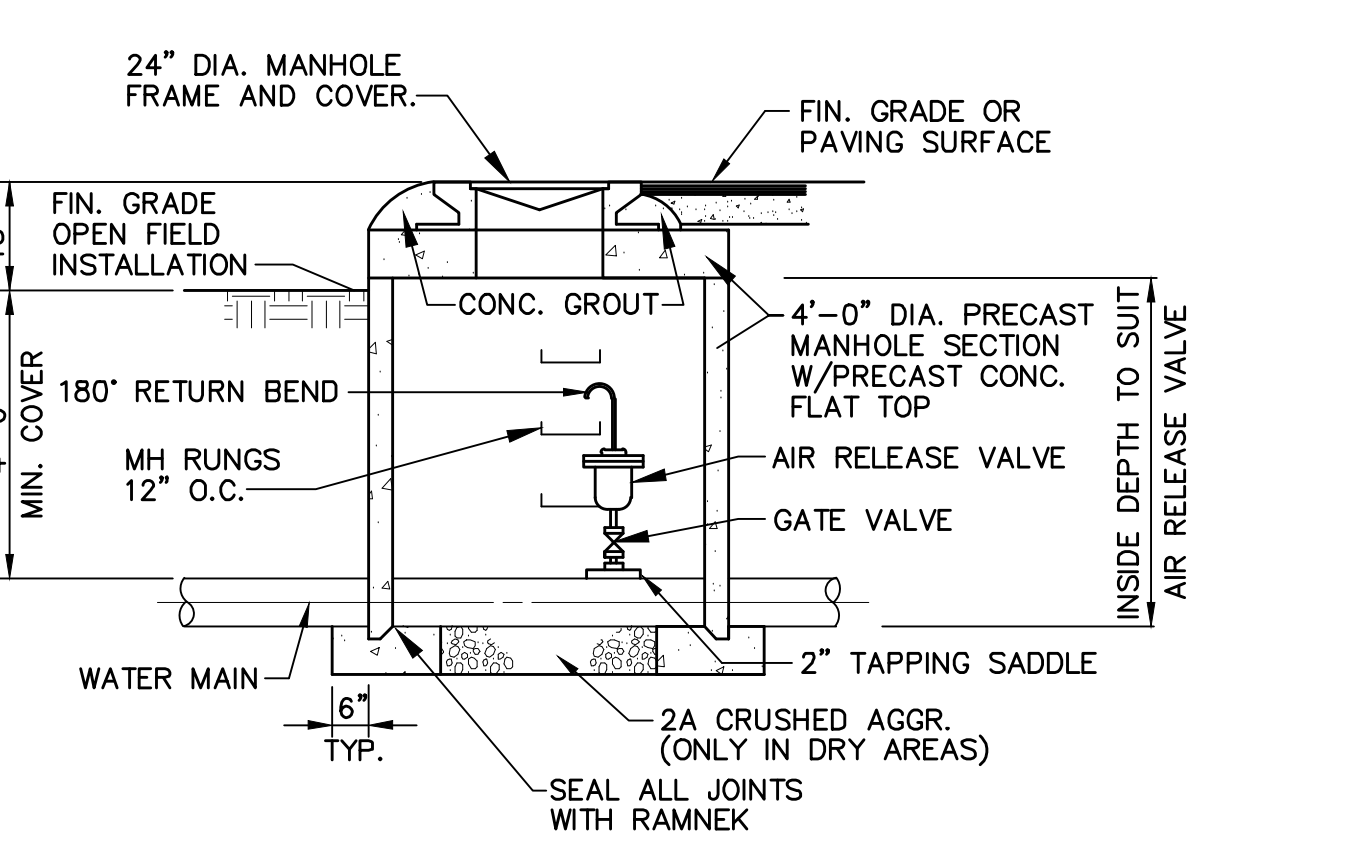


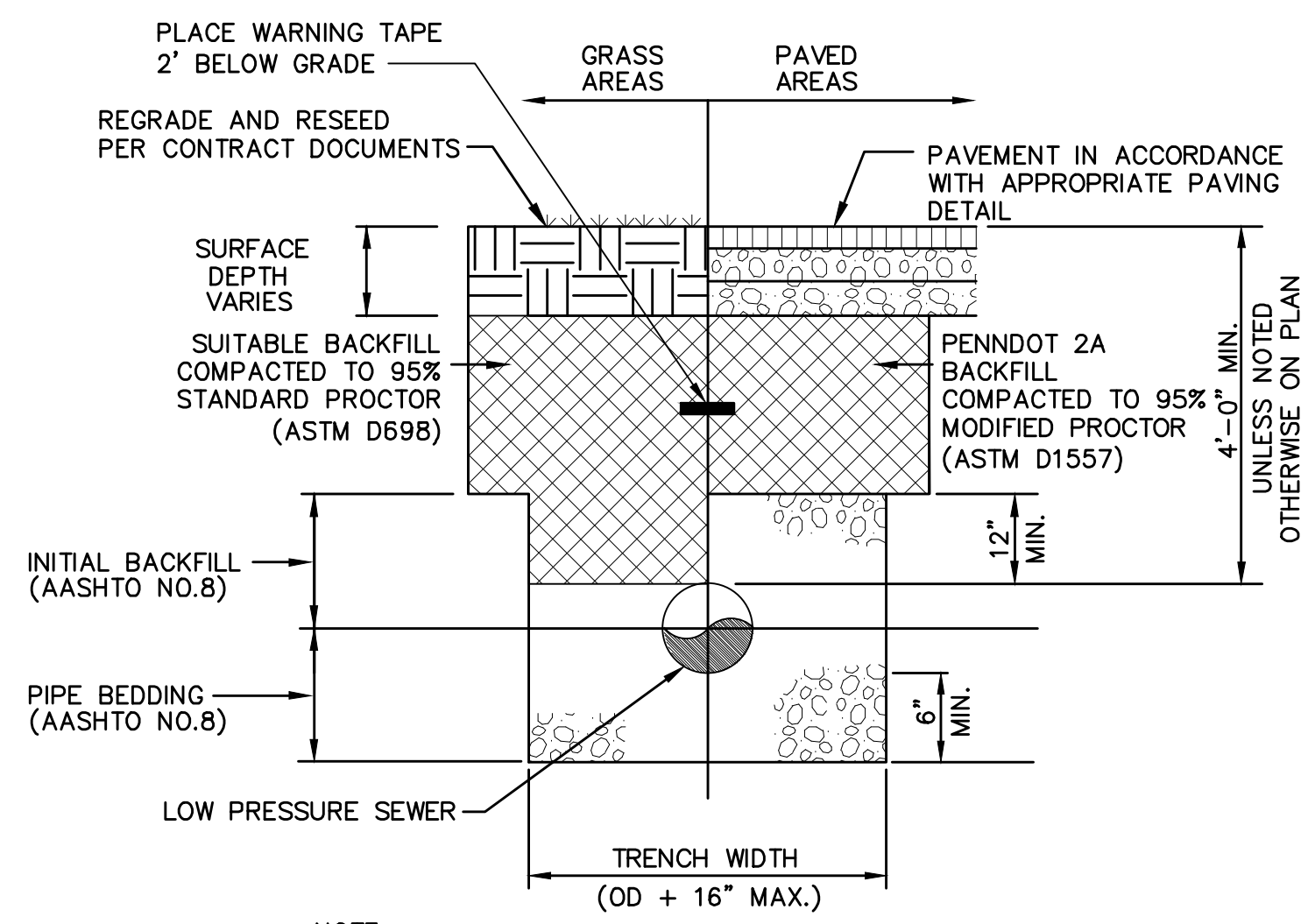
THRU WALL PIPE SEAL ASSEMBLY
NOT TO SCALE



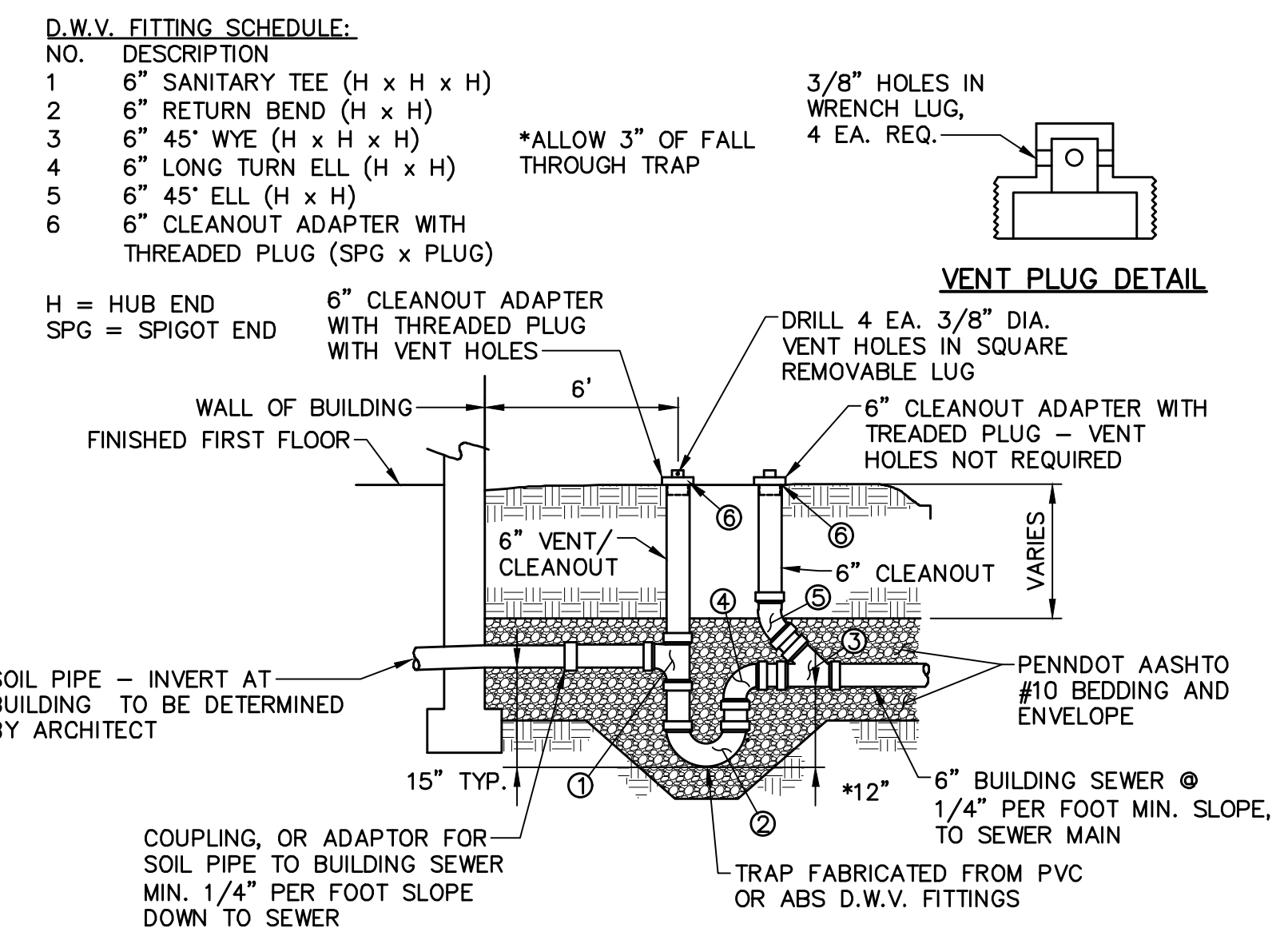
NOTE:
1. IF EXTENSIONS ARE NECESSARY CONTRACTOR SHALL SET "PLUMB" AND ALIGN PROPERLY FOR ACCESS TO OPERATING NUT.
2. SOLID CMU'S SHALL BE PLACED ON EITHER SIDE OF THE WATERLINE TO SUPPORT THE VALVE BOX. CMU'S SHALL NOT BE ON THE WATERLINE.
3. ALL VALVE BOXES SHALL BE LOAD CLASS H WHEN LOCATED IN PAVEMENT.

TYPICAL GATE VALVE AND VALVE BOX DETAIL
NOT TO SCALE

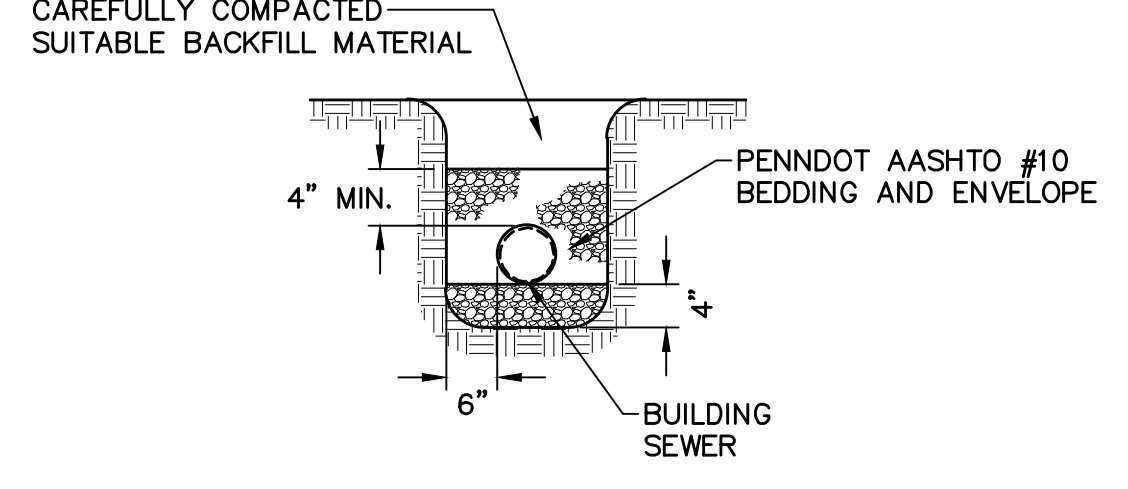




SEWER TRENCH DETAIL
NOT TO SCALE



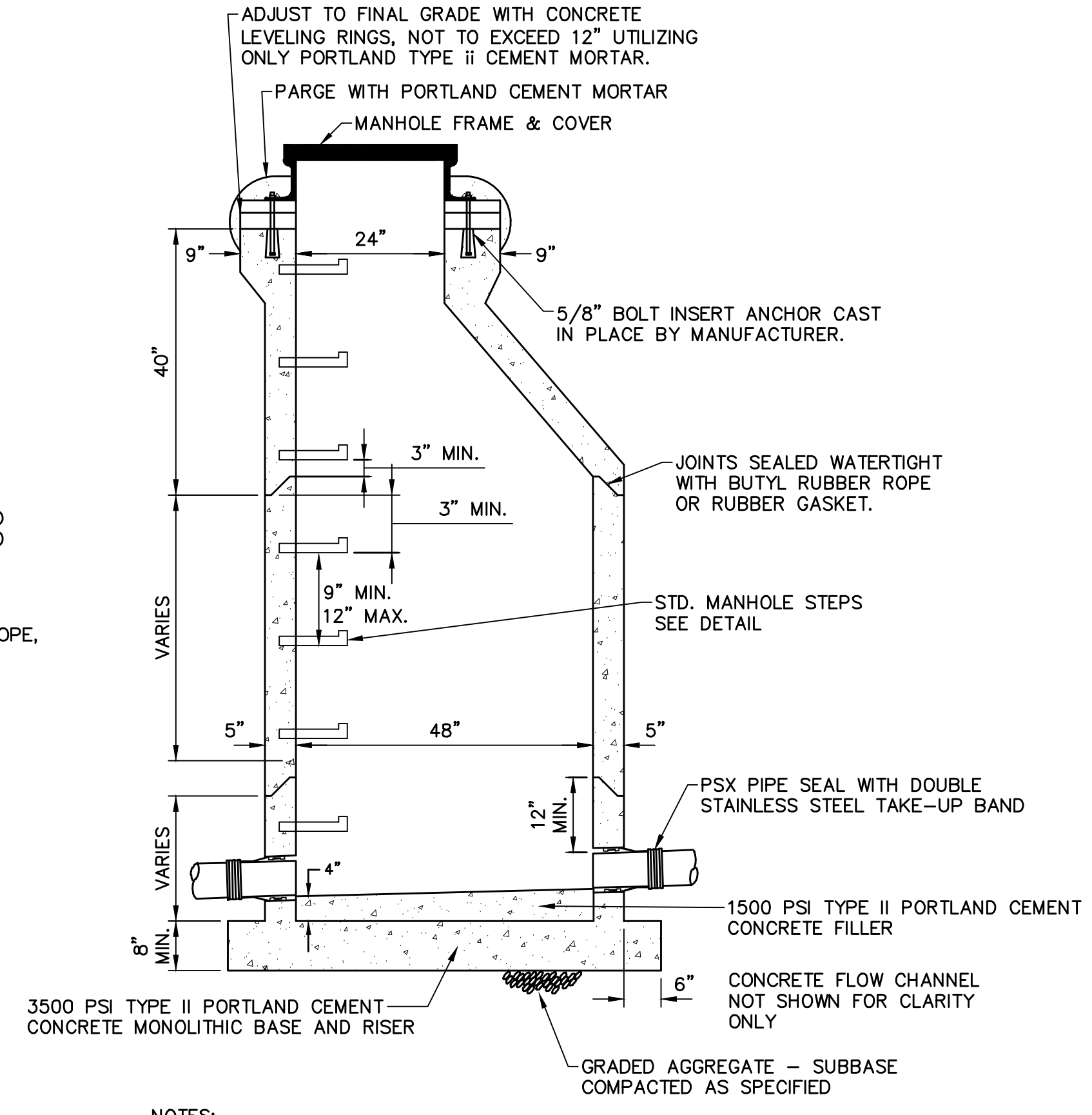
SECTION THROUGH TRAP



TYPICAL TRENCH CROSS-SECTION

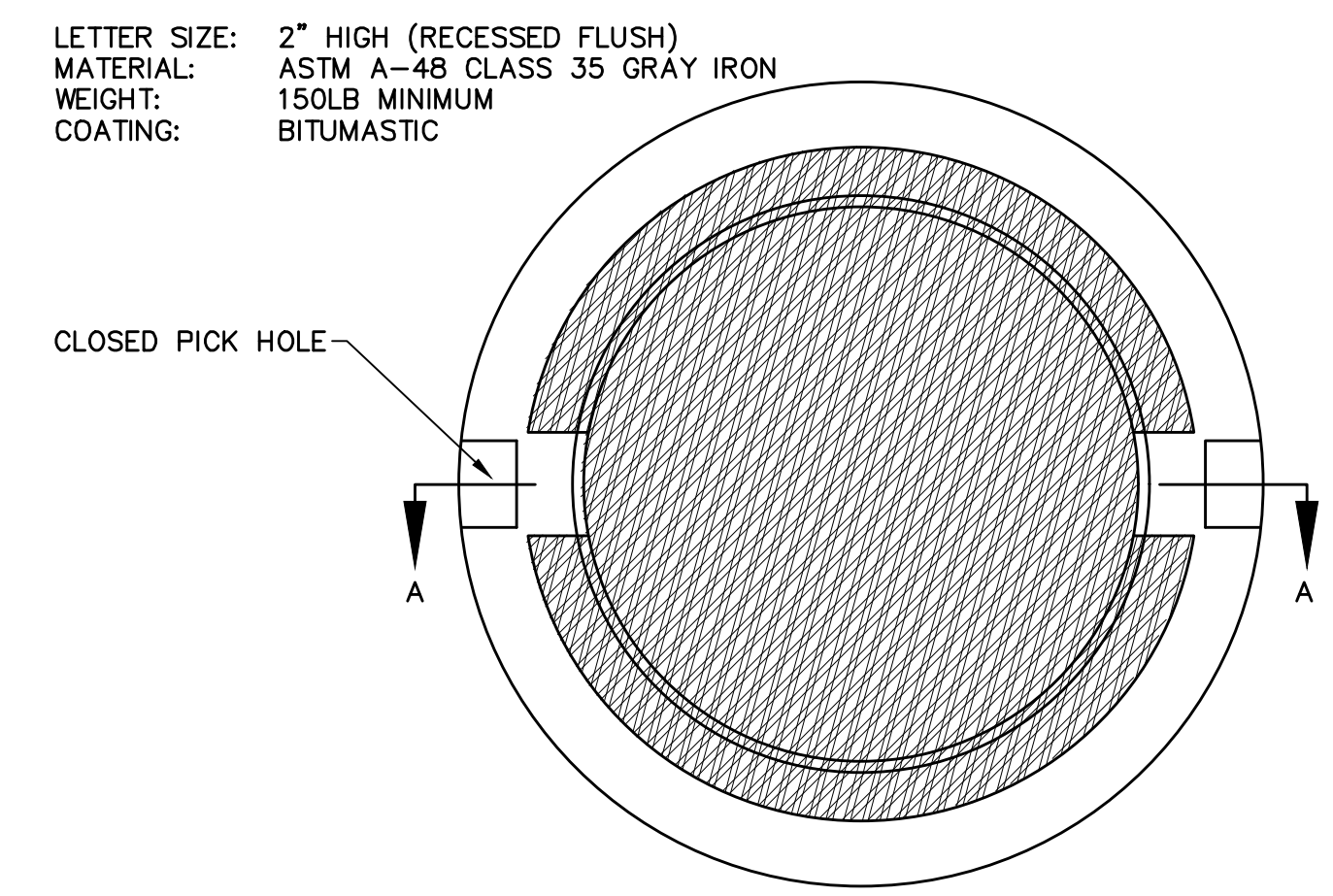
NOTES:
1. WHEN THE LATERAL EXITING THE BUILDING IS 8", ALL PIPING IN THIS DETAIL SHOULD ALSO BE 8".

SANITARY SEWER BUILDING TRAP
NOT TO SCALE



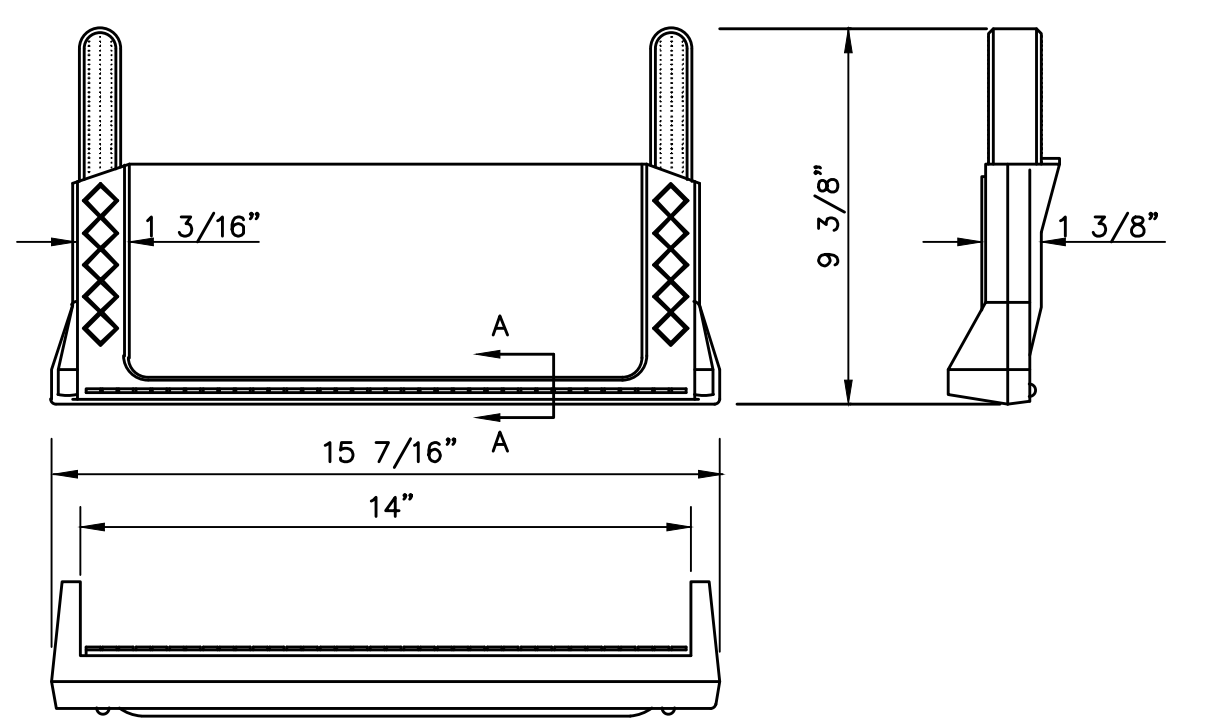
STANDARD THROUGH MANHOLE WITH PRECAST BASE
NOT TO SCALE

NOTES:
1. PRECAST MANHOLE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C 478 UTILIZING TYPE II PORTLAND CEMENT, 3500 PSI MINIMUM.
2. 0.2' FALL TYPICAL INVERT IN TO INVERT OUT OR MATCH CROWNS FOR DIFFERING PIPE DIAMETERS.
3. COMPLETE MANHOLE SHALL PASS VACUUM TEST PRIOR TO ACCEPTANCE.
4. ALL BENCHES SHALL SLOPE 0.25'/FT. TOWARD FLOW CHANNEL.



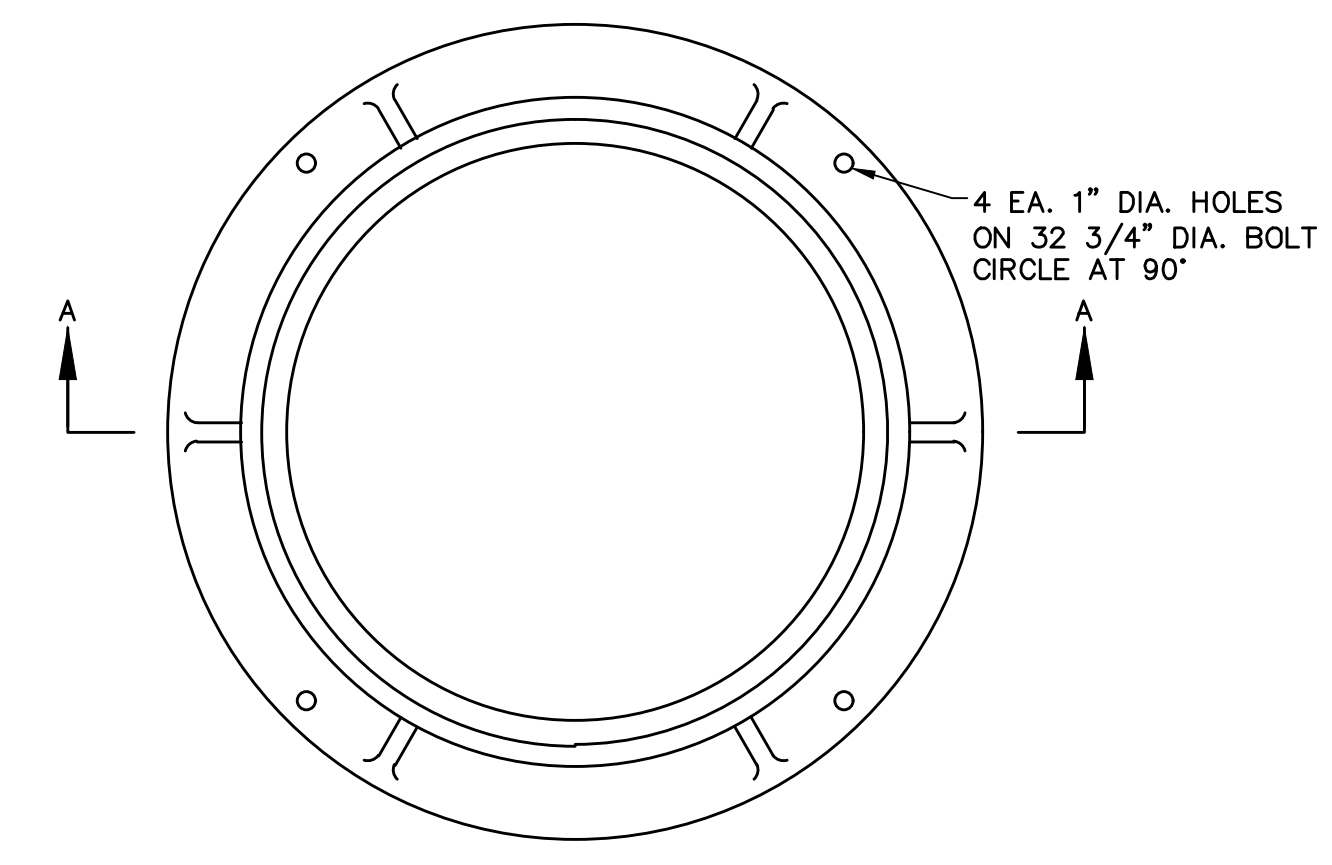
MANHOLE COVER - HEAVY DUTY
NOT TO SCALE

NOTES:
EAST JORDAN IRON WORKS, INC. 1040A OR EQUAL



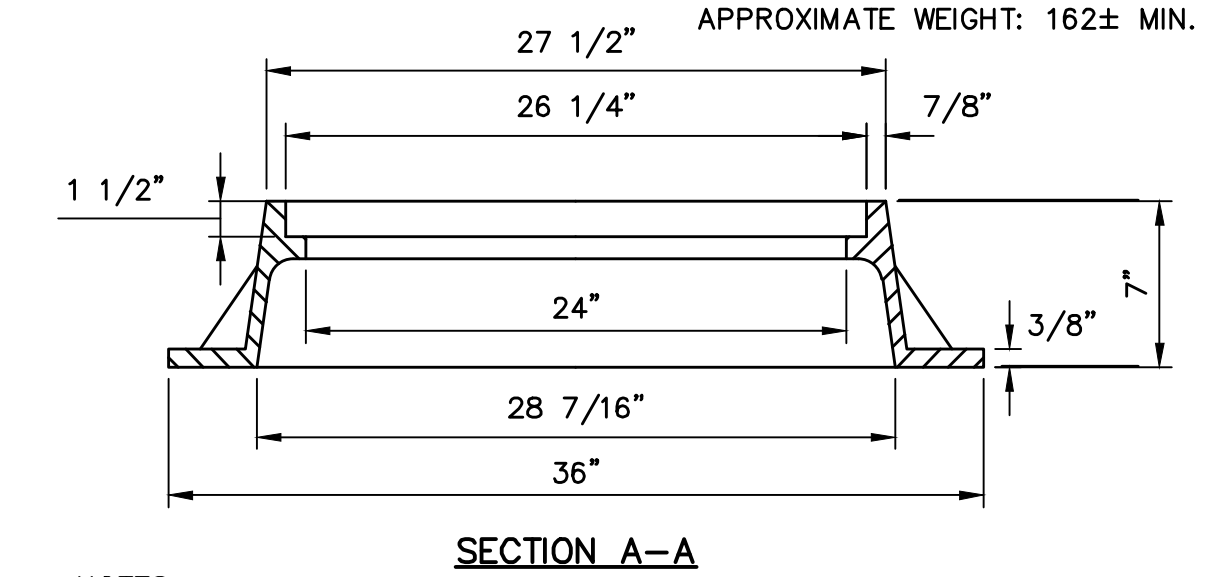
COPOLYMER POLYPROPYLENE PLASTIC MANHOLE STEP
NOT TO SCALE

NOTES:
1. MANHOLE STEPS SHOULD BE AS MANUFACTURED BY M.A. INDUSTRIES, INC., PEACHTREE CITY, GA OR APPROVED EQUAL



MANHOLE FRAME - HEAVY DUTY
NOT TO SCALE

MATERIAL: ASTM A-48 CLASS 35B GRAY IRON
COATING: BITUMASTIC INSIDE & OUT
APPROXIMATE WEIGHT: 162± MIN.



SECTION A-A

NOTES:
1. EAST JORDAN IRON WORKS, INC. NO. 1045 Z OR EQUAL

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB

HRG
Herbert, Rowland & Grubic, Inc.
Engineering & Related Services
AN EMPLOYEE-OWNED COMPANY

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Chambersburg, PA 17201
(717) 263-2070
hr@hr-ginc.com
www.hr-ginc.com

ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
SUITE 105
RADNOR, PA 19807
484-320-7808 OFFICE

CONSTRUCTION DETAILS - SANITARY SEWER
FOR
ALLEMAN ROAD PROPERTY, LLC

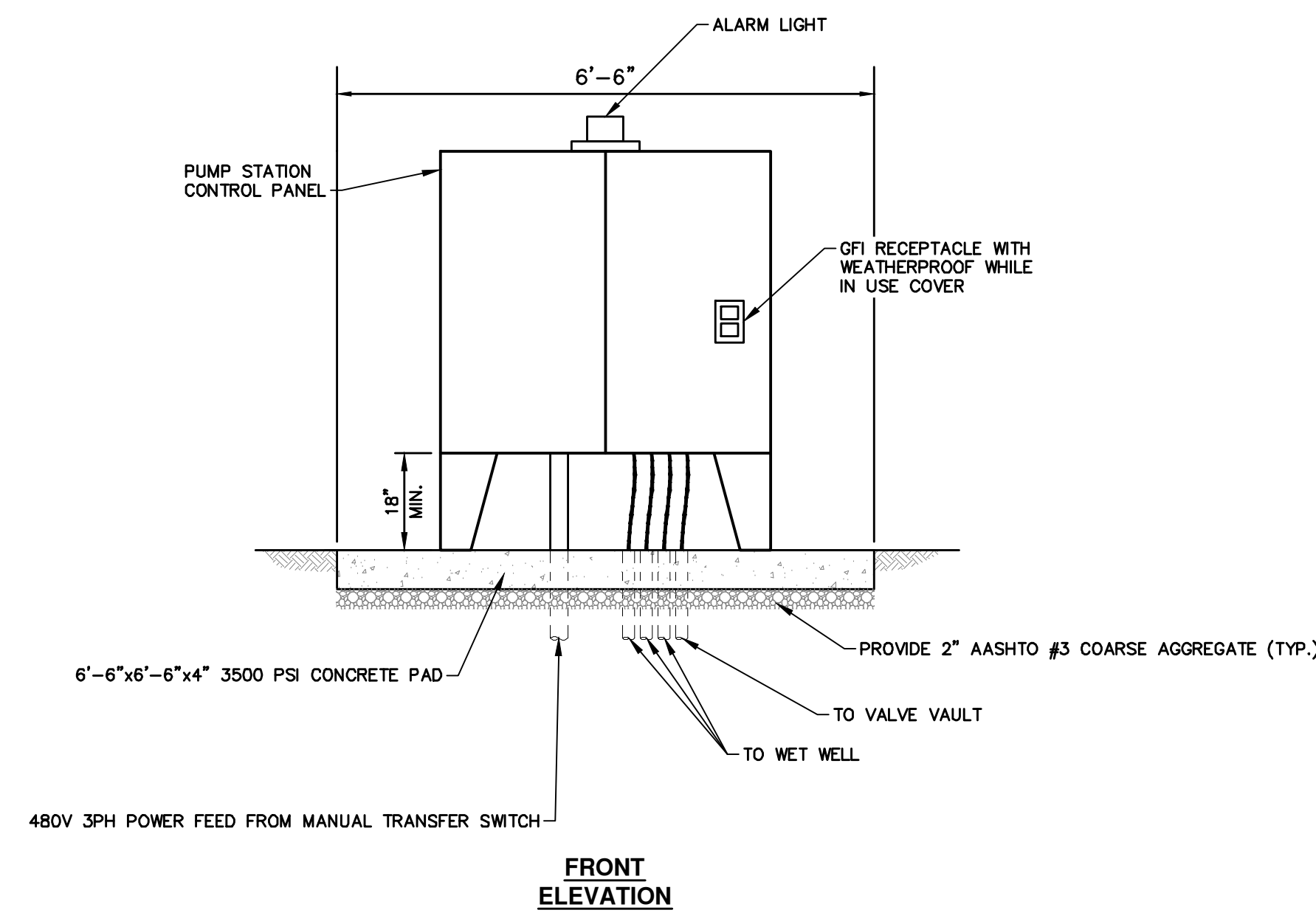
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN- HED/CAC
CADD- TLB
CHECKED- SBB
SCALE- AS SHOWN
DATE- 2021.08.24

DRAWING NO.
CD-5
SHEET NO.
46 OF 51
PROJECT R008499.0425

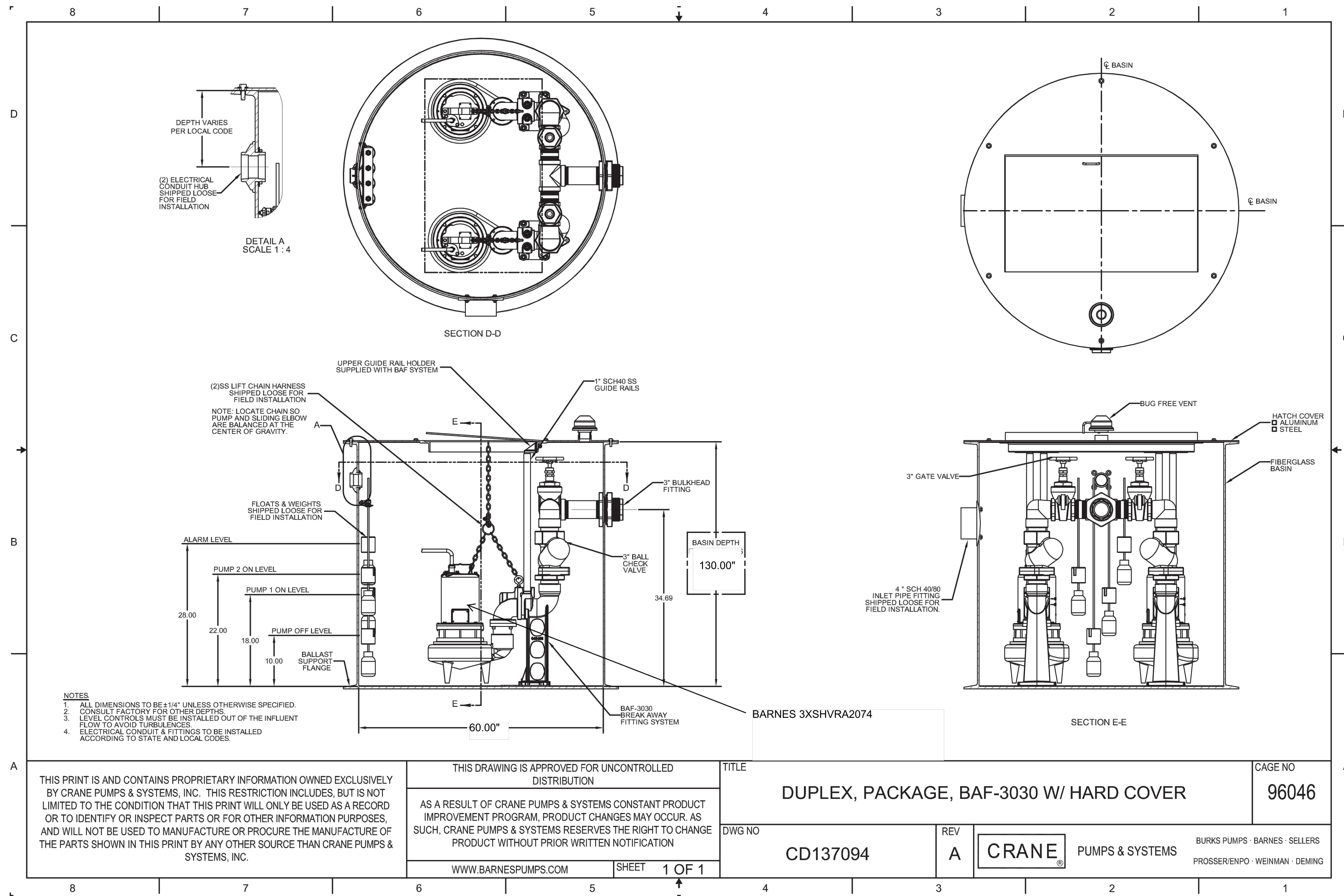
PUMP STATION NOTES:

1. PUMP STATION DETAIL SHOWN HEREON IS FOR CONCEPTUAL PURPOSES AT THIS TIME AND IS NOT INTENDED TO BE FOR FINAL APPROVAL AND/OR CONSTRUCTION.



PUMP STATION KIOSK DETAIL

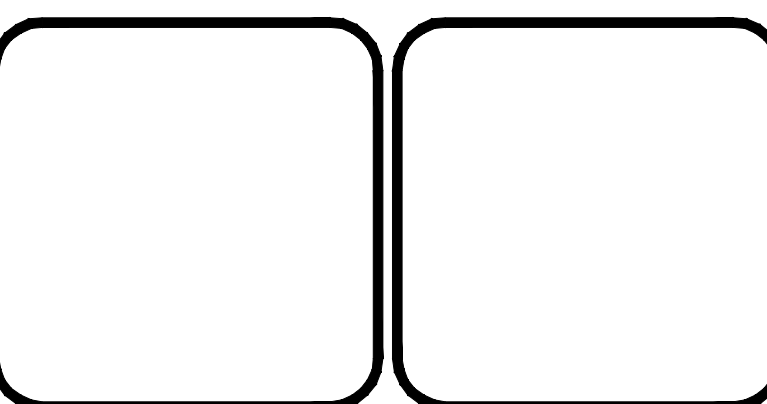
NOT TO SCALE



- NOTES**
1. ALL DIMENSIONS TO BE ±1/4" UNLESS OTHERWISE SPECIFIED.
 2. CONSULT FACTORY FOR OTHER DEPTHS.
 3. LEVEL CONTROLS MUST BE INSTALLED OUT OF THE INFLUENT FLOW TO AVOID TURBULENCES.
 4. ELECTRICAL CONDUIT & FITTINGS TO BE INSTALLED ACCORDING TO STATE AND LOCAL CODES.

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	WWW.BARNESPUMPS.COM	SHEET 1 OF 1	CD137094	REV A

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



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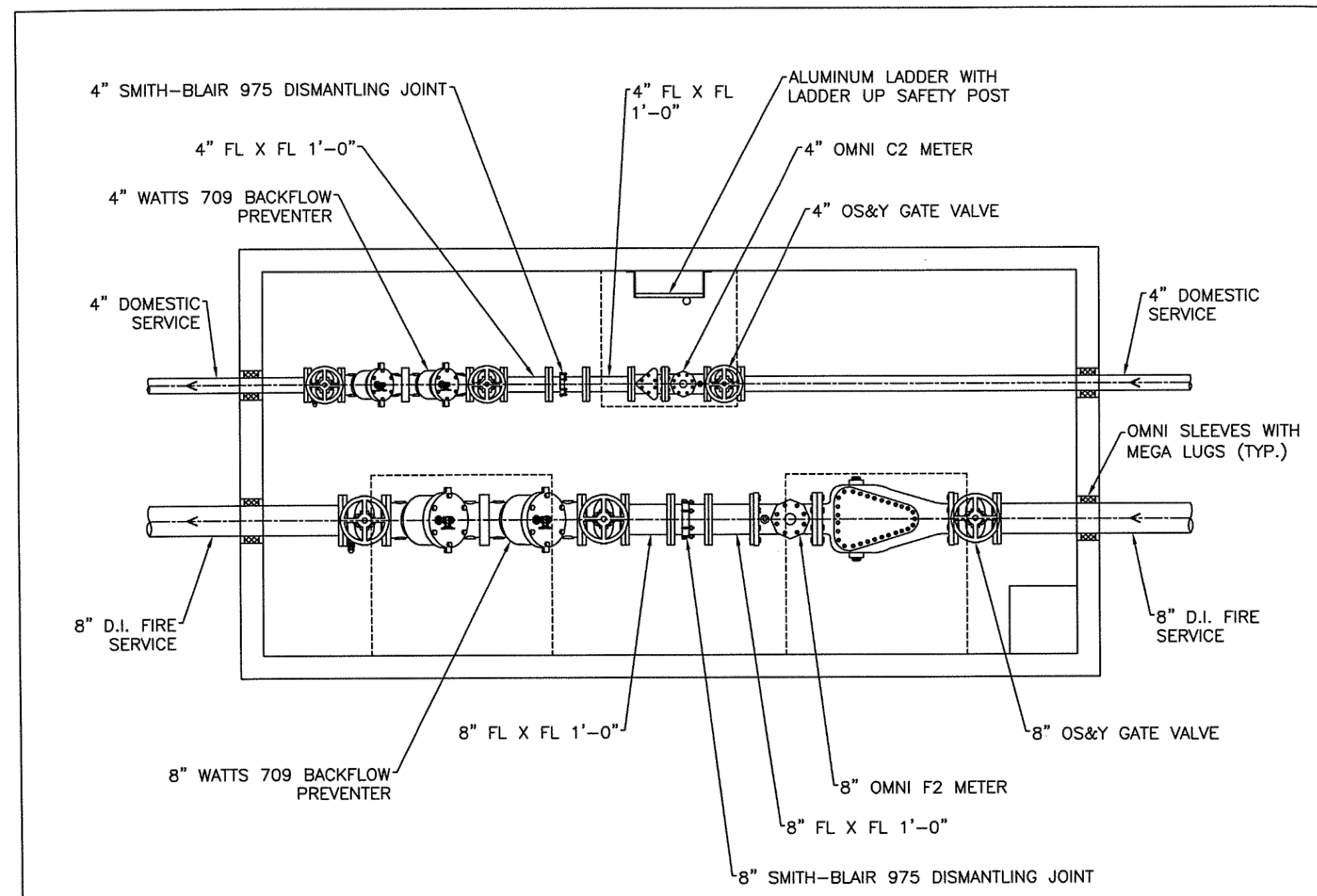
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CONSTRUCTION DETAILS - SANITARY SEWER
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

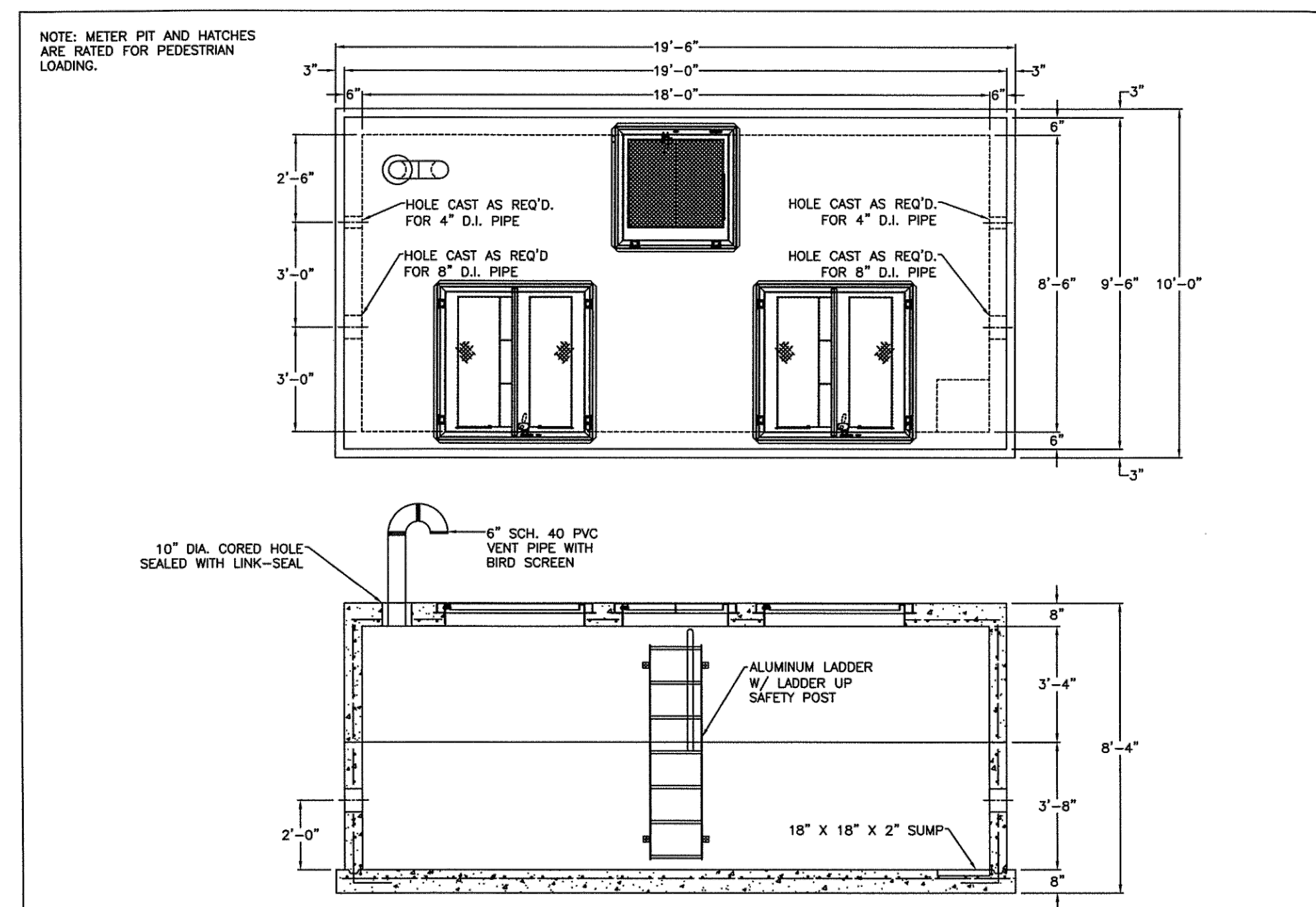
PROJ. MGR. - SBB	DRAWING NO.
DESIGN - HED/CAC	CD-6
CADD - TLB	SHEET NO.
CHECKED - SBB	47 OF 51
SCALE - AS SHOWN	PROJECT R008499.0425
DATE - 2021.08.24	





MONARCH PRODUCTS COMPANY, INC.
 YORK HAVEN, PA.

PRECAST CONCRETE WATER METER PIT
 8" FIRE & 4" DOMESTIC GUILFORD WATER FOR ENDURANCE

DRAWN BY: JTB
 SCALE: NTS
 DWG. NO.: GW-8F4D
 CWD BY: JTB
 DATE: 8/12/21
 CDD NO.: GW-8F4D.DWG

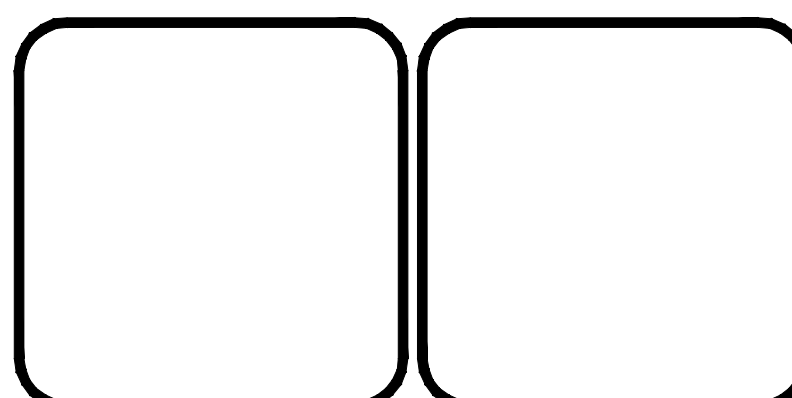



MONARCH PRODUCTS COMPANY, INC.
 YORK HAVEN, PA.

PRECAST CONCRETE WATER METER PIT
 8"-6" X 18" X 7" GUILFORD WATER FOR ENDURANCE

DRAWN BY: JTB
 SCALE: NTS
 DWG. NO.: GW-86187
 CWD BY: JTB
 DATE: 8/13/21
 CDD NO.: GW-86187.DWG

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB




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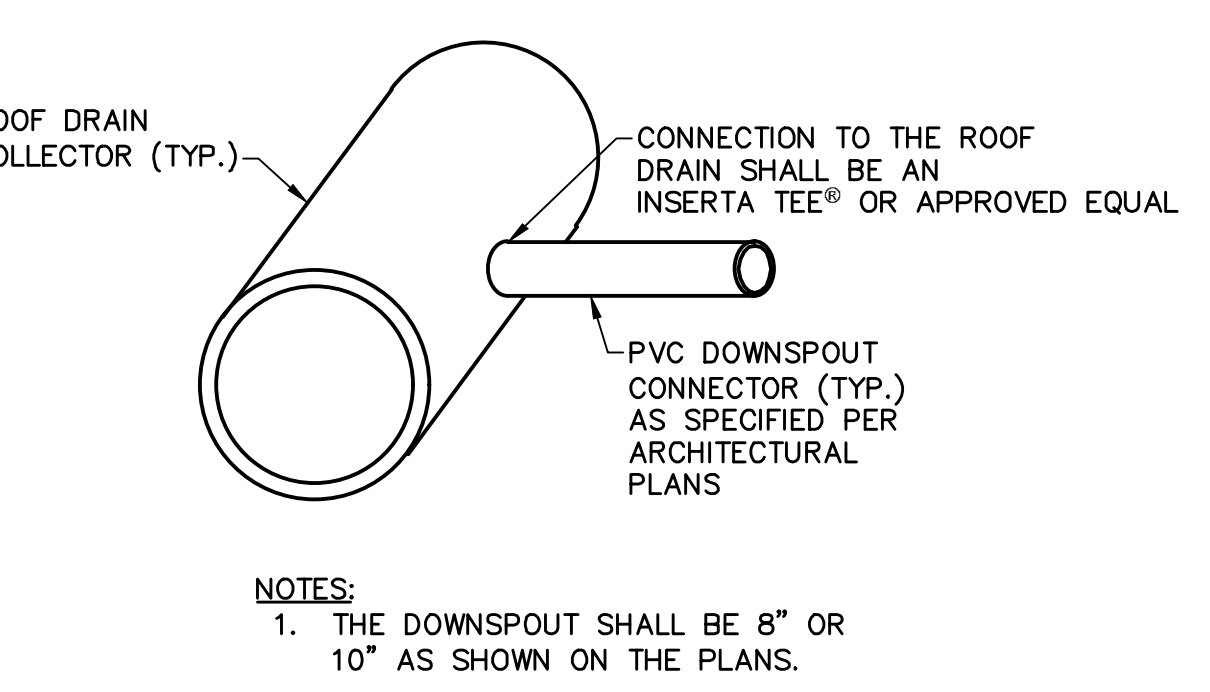
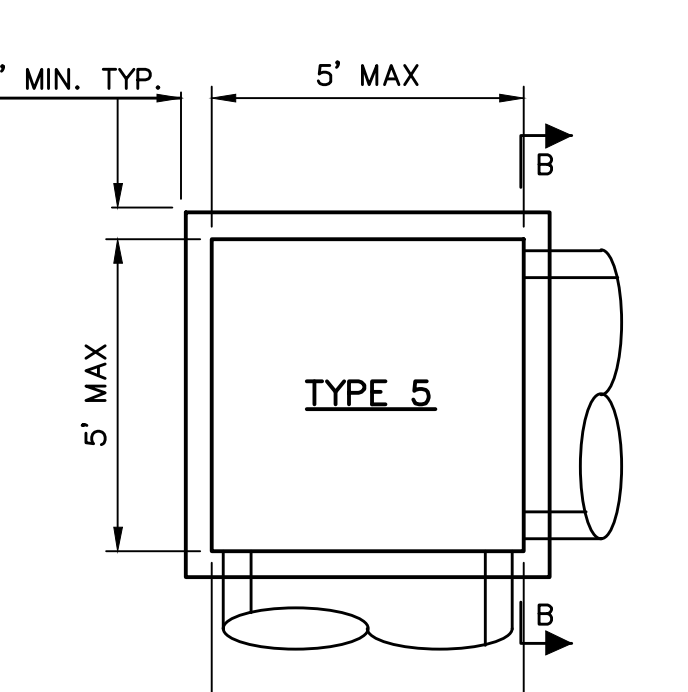
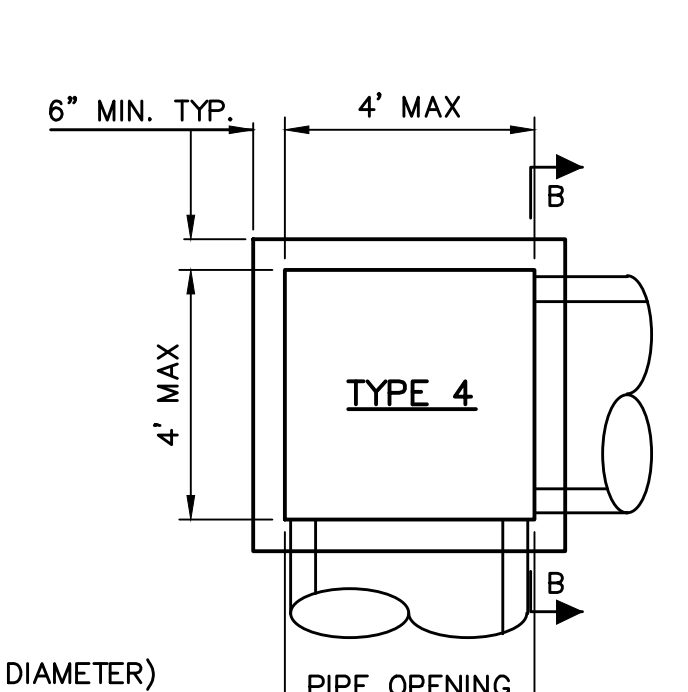
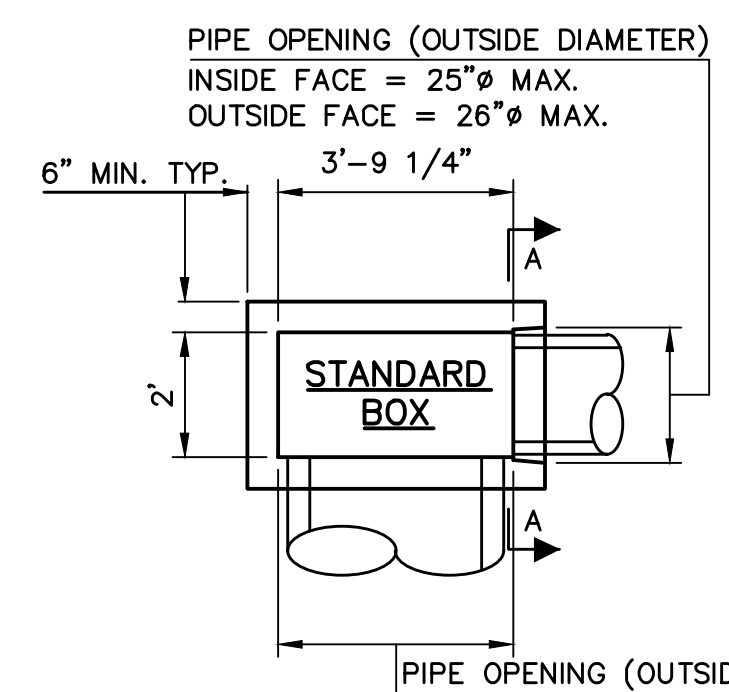
ALLEMAN ROAD PROPERTY, LLC
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 SUITE 105
 RADNOR, PA 19807
 484-320-7808 OFFICE

CONSTRUCTION DETAILS - WATER
 FOR
ALLEMAN ROAD PROPERTY, LLC
 GUILFORD TOWNSHIP
 FRANKLIN COUNTY
 PENNSYLVANIA

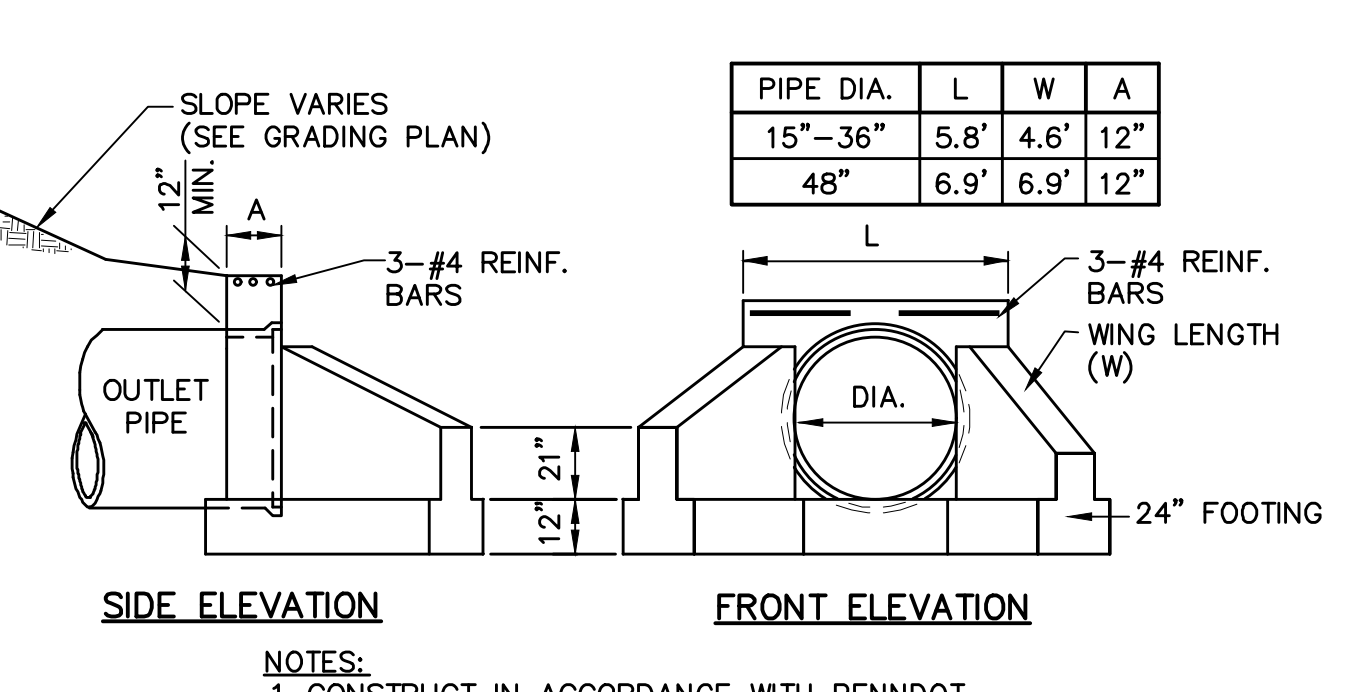
PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
CD-4
 SHEET NO.
45 OF 51
 PROJECT R008499.0425

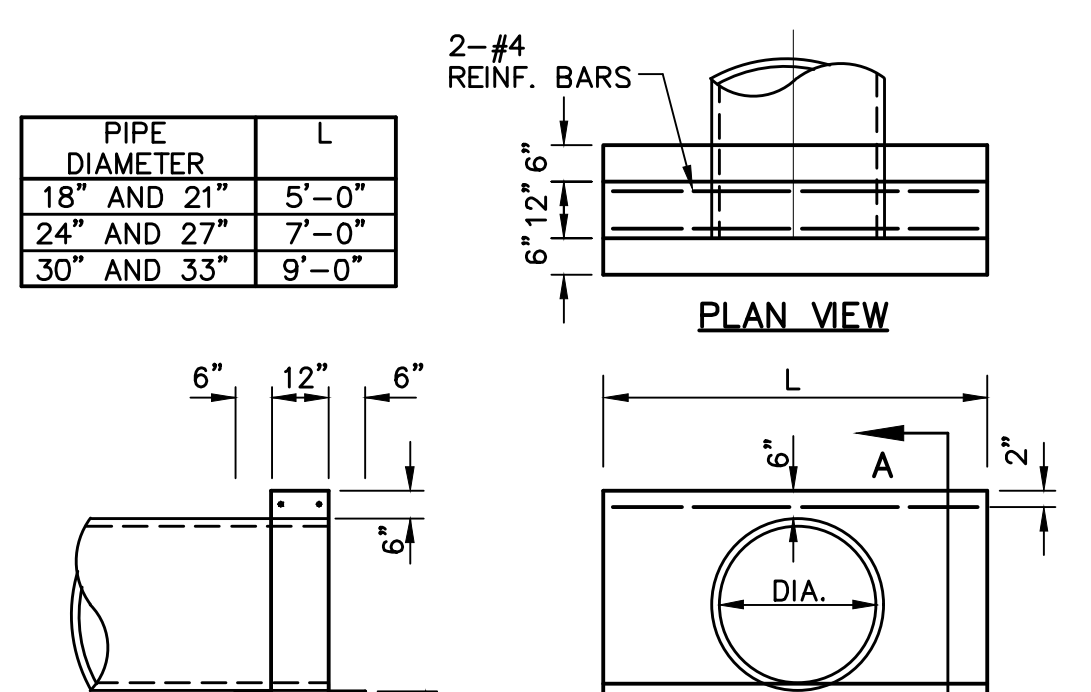
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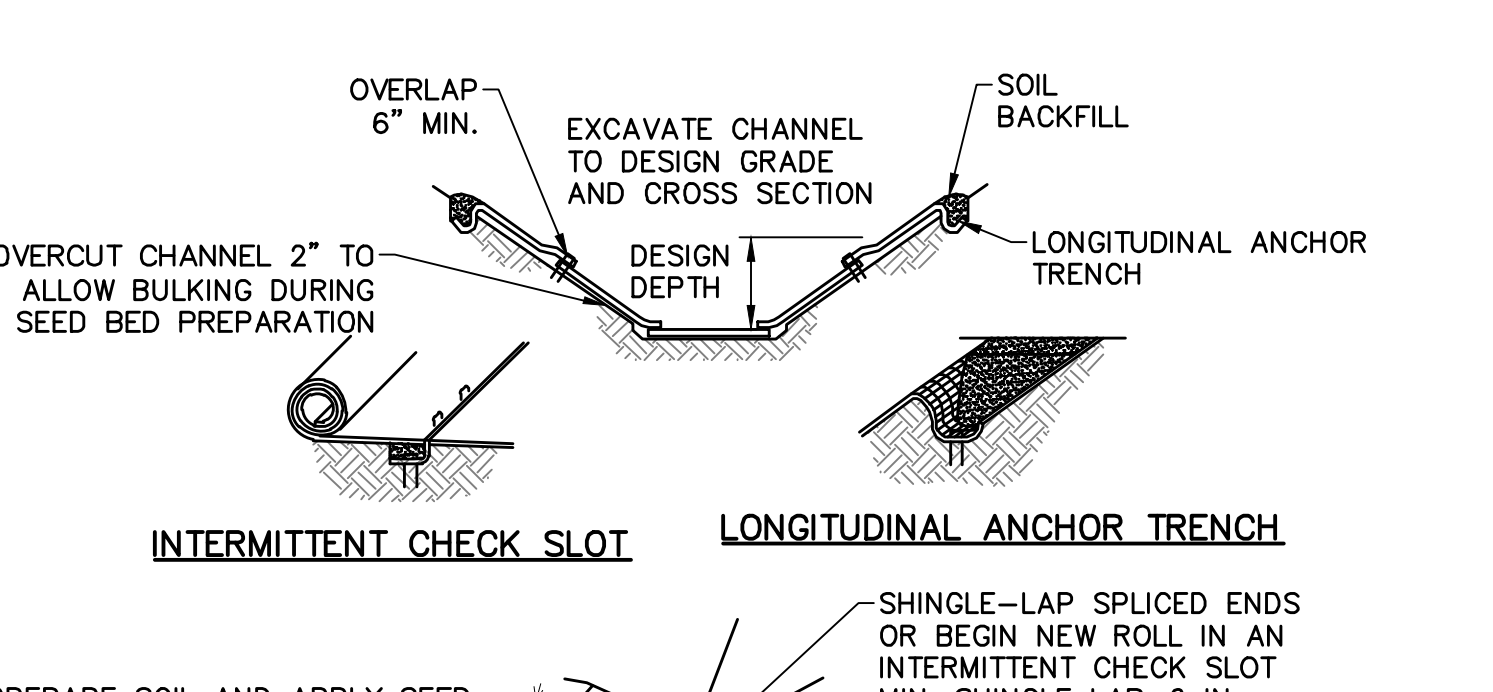
DOWNSPOUT CONNECTION TO STORMPIPE
NOT TO SCALE



TYPE D-W ENDWALL DETAIL
NOT TO SCALE

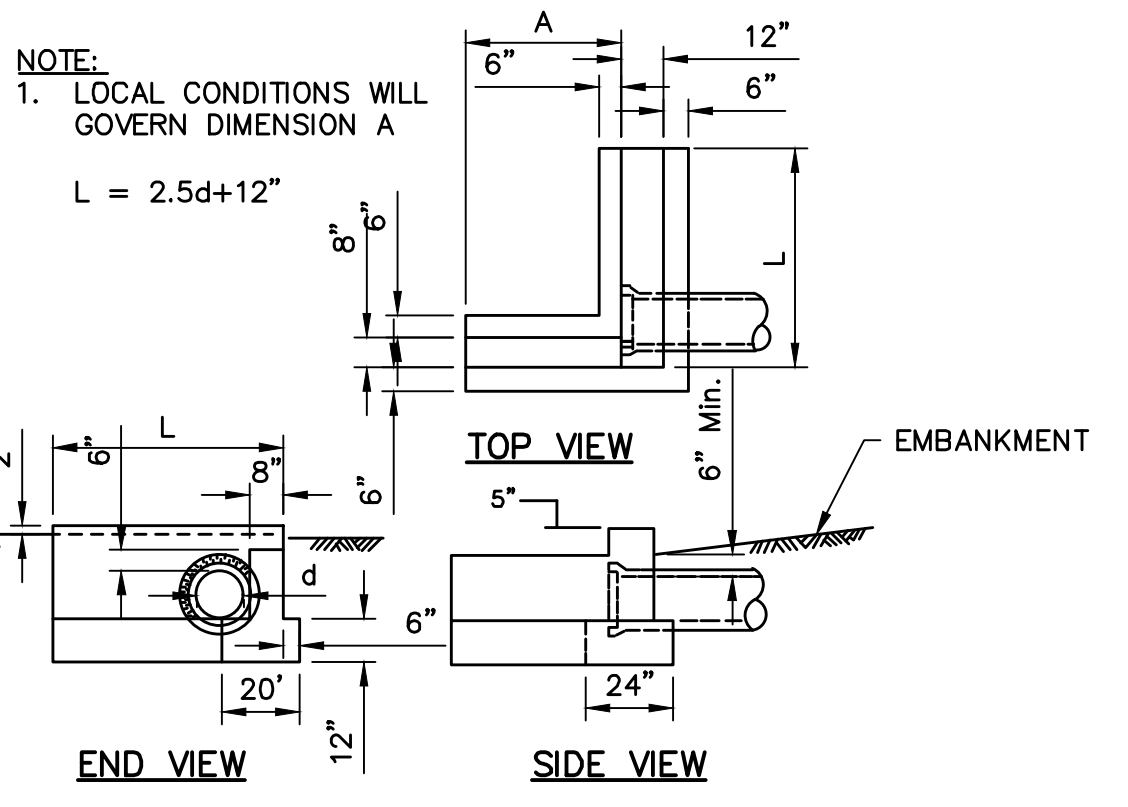


TYPE D ENDWALL
NOT TO SCALE

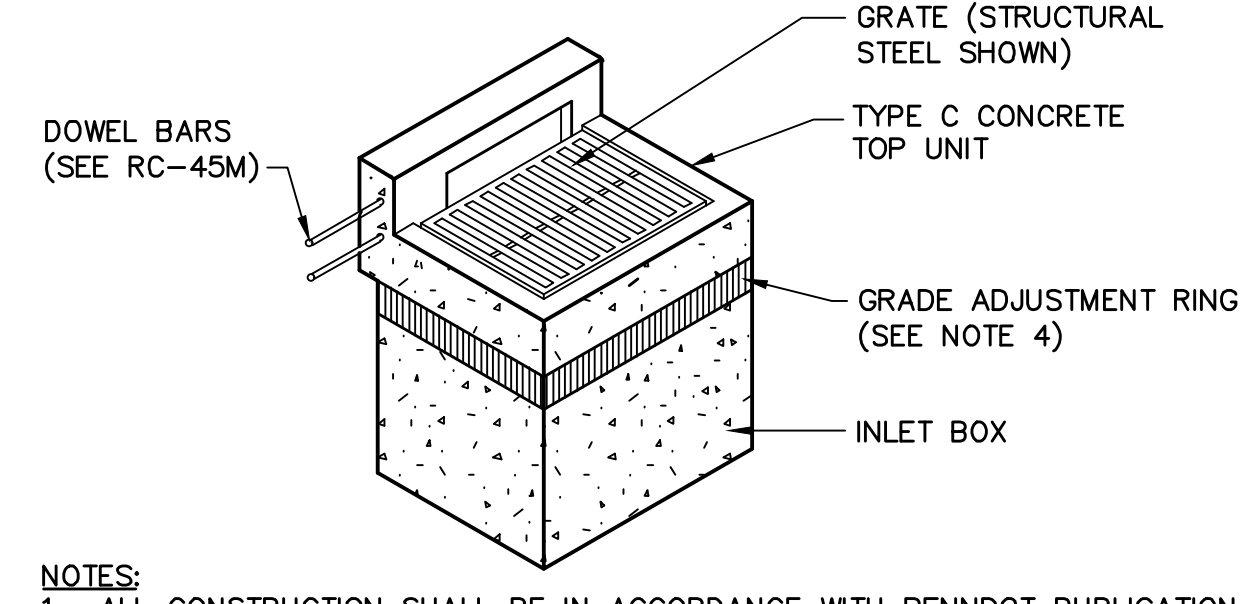


CHANNEL CROSS-SECTION
(LOOKING DOWNSTREAM)

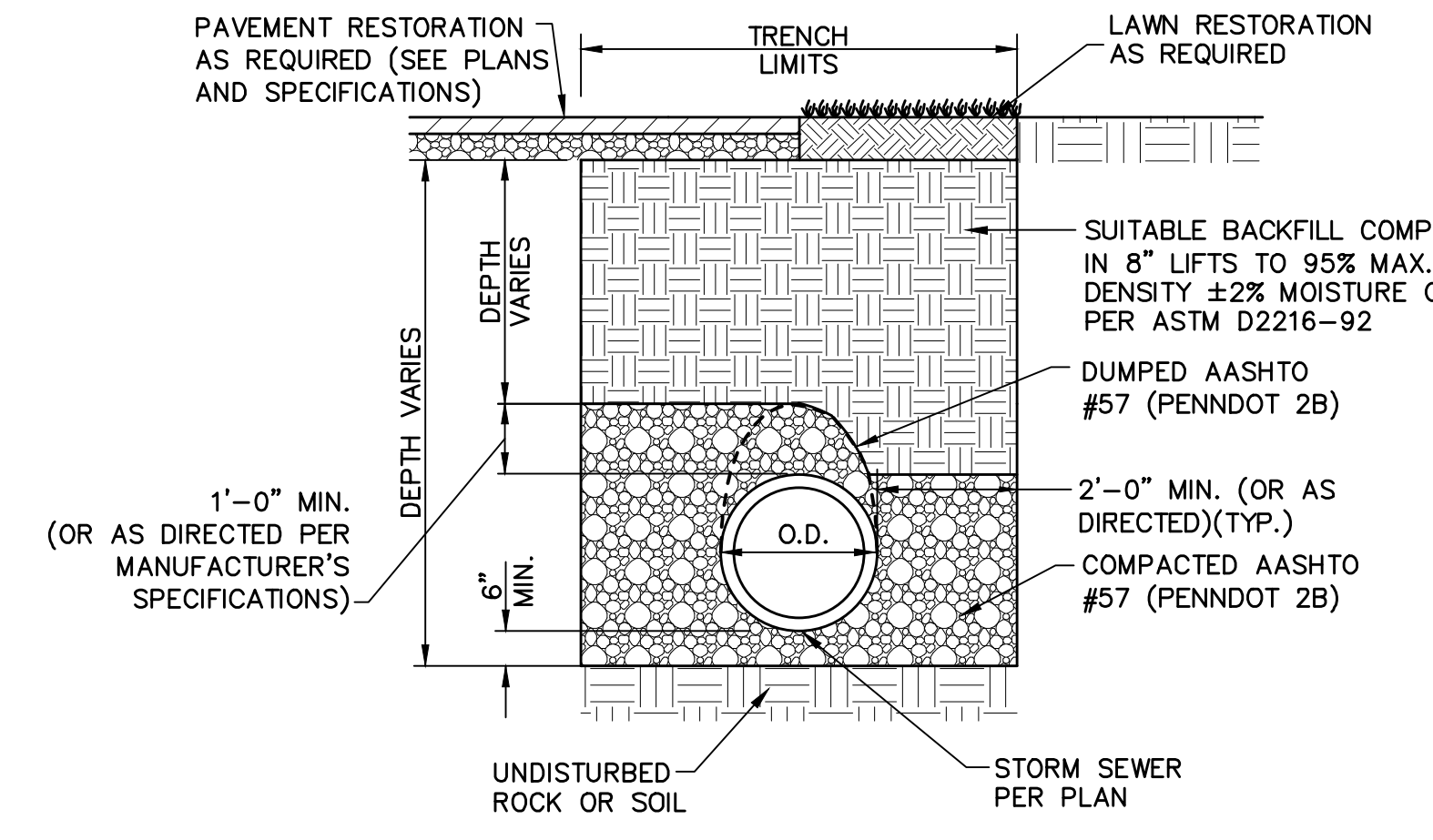
PENNDOT INLET BOXES
NOT TO SCALE



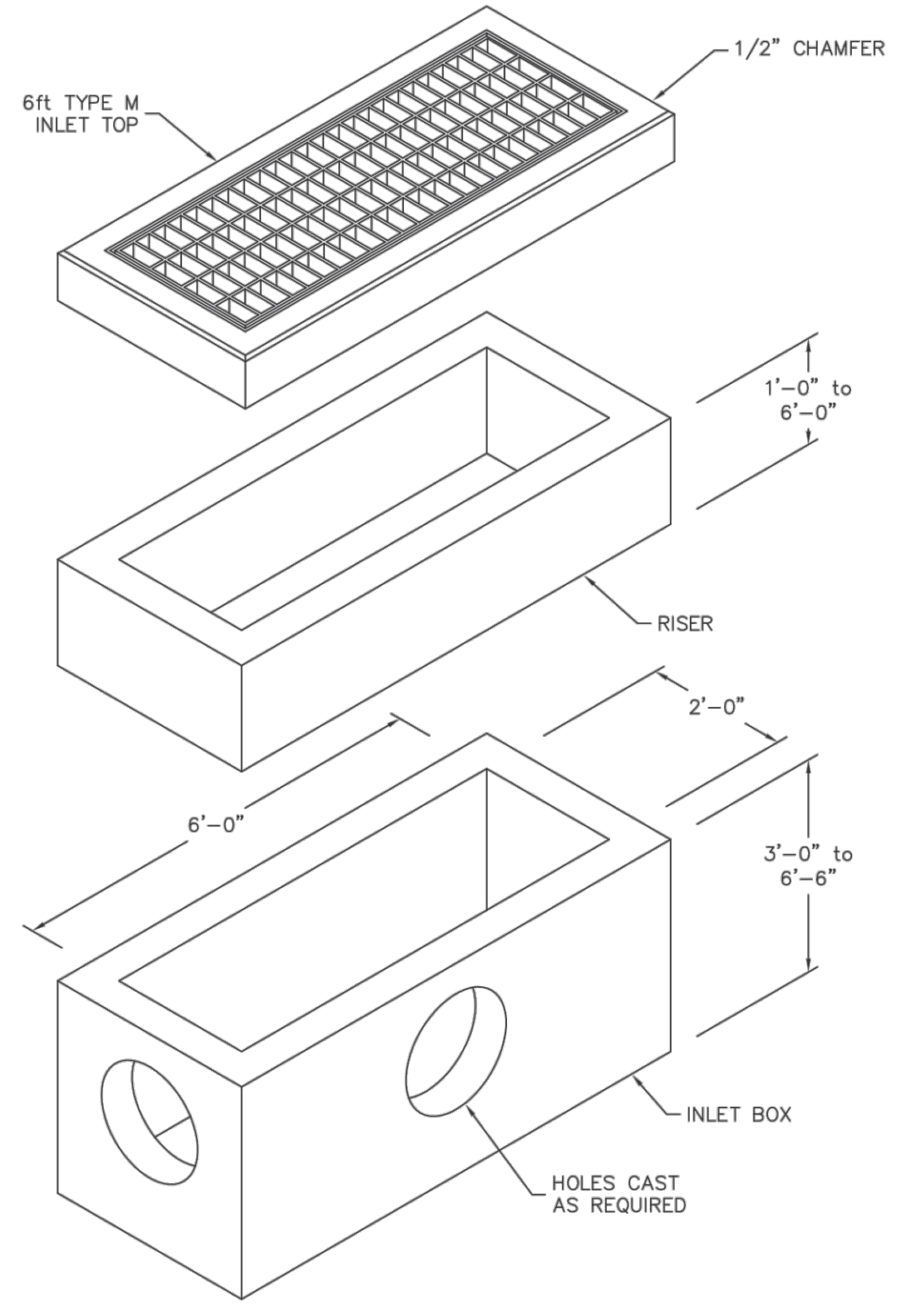
TYPE D-E ENDWALL DETAIL
NOT TO SCALE



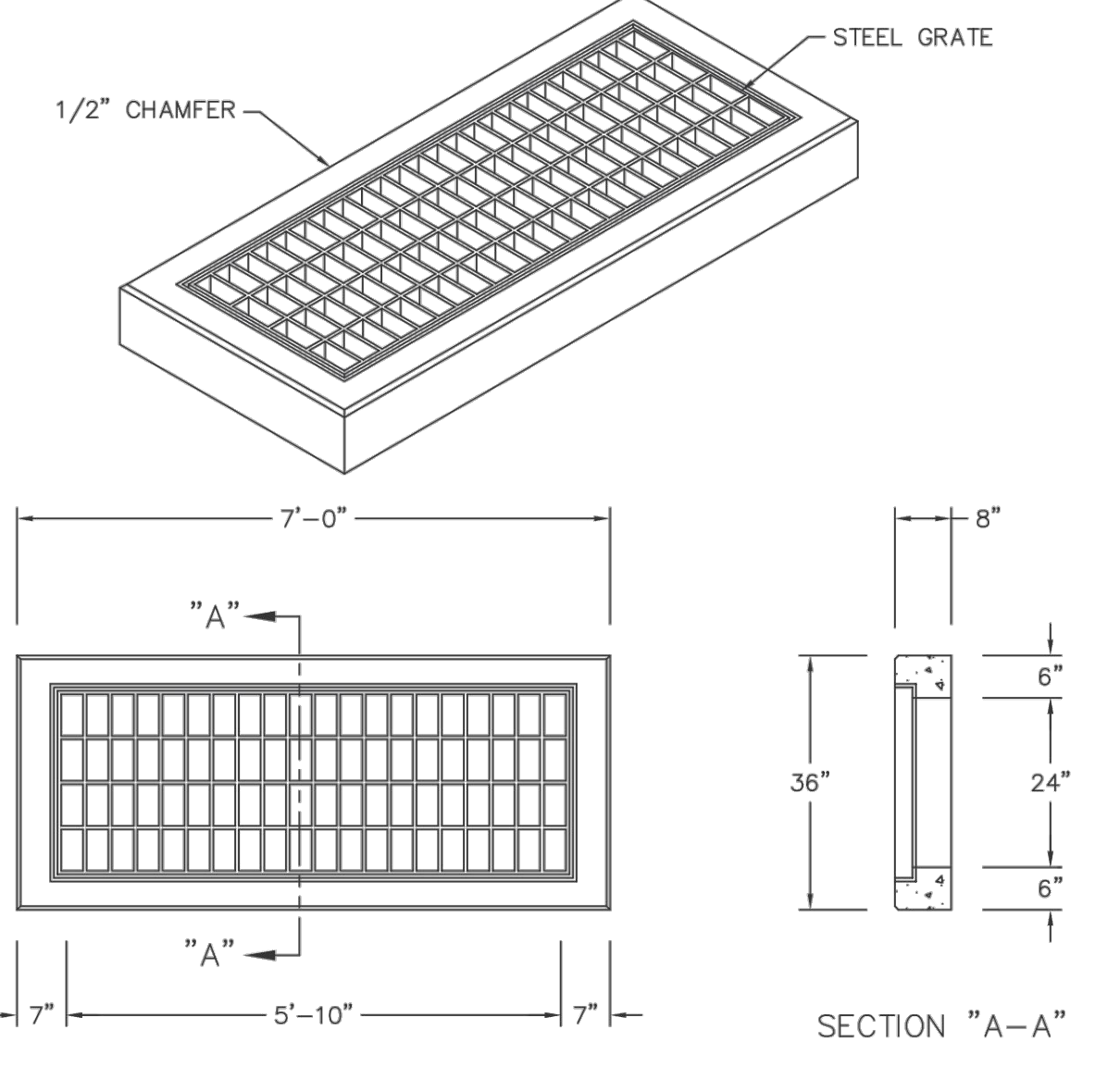
TYPE C INLET DETAIL
NOT TO SCALE



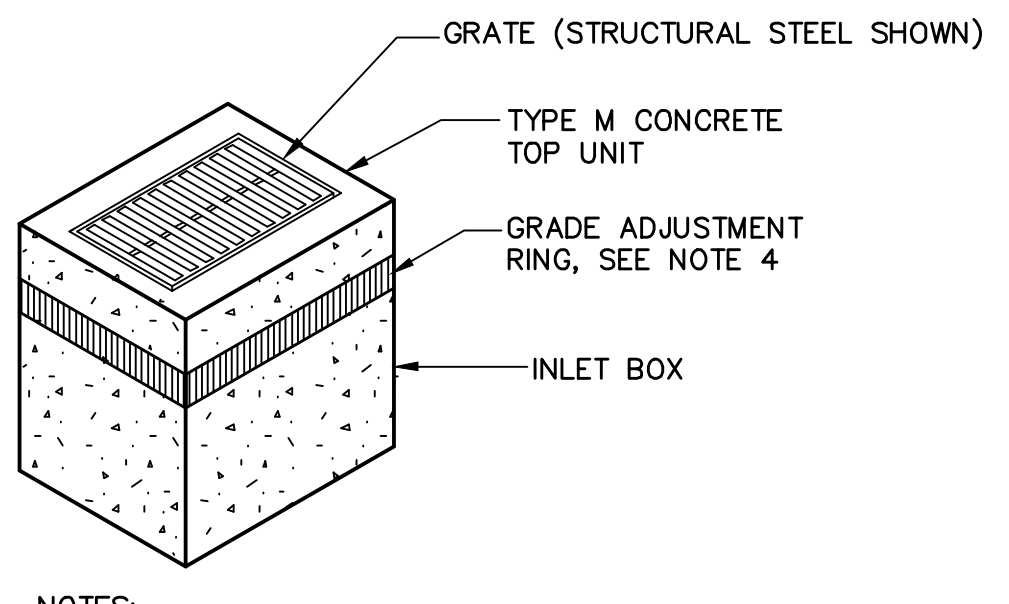
STORM TRENCH DETAIL (PLASTIC OR METAL)
NOT TO SCALE



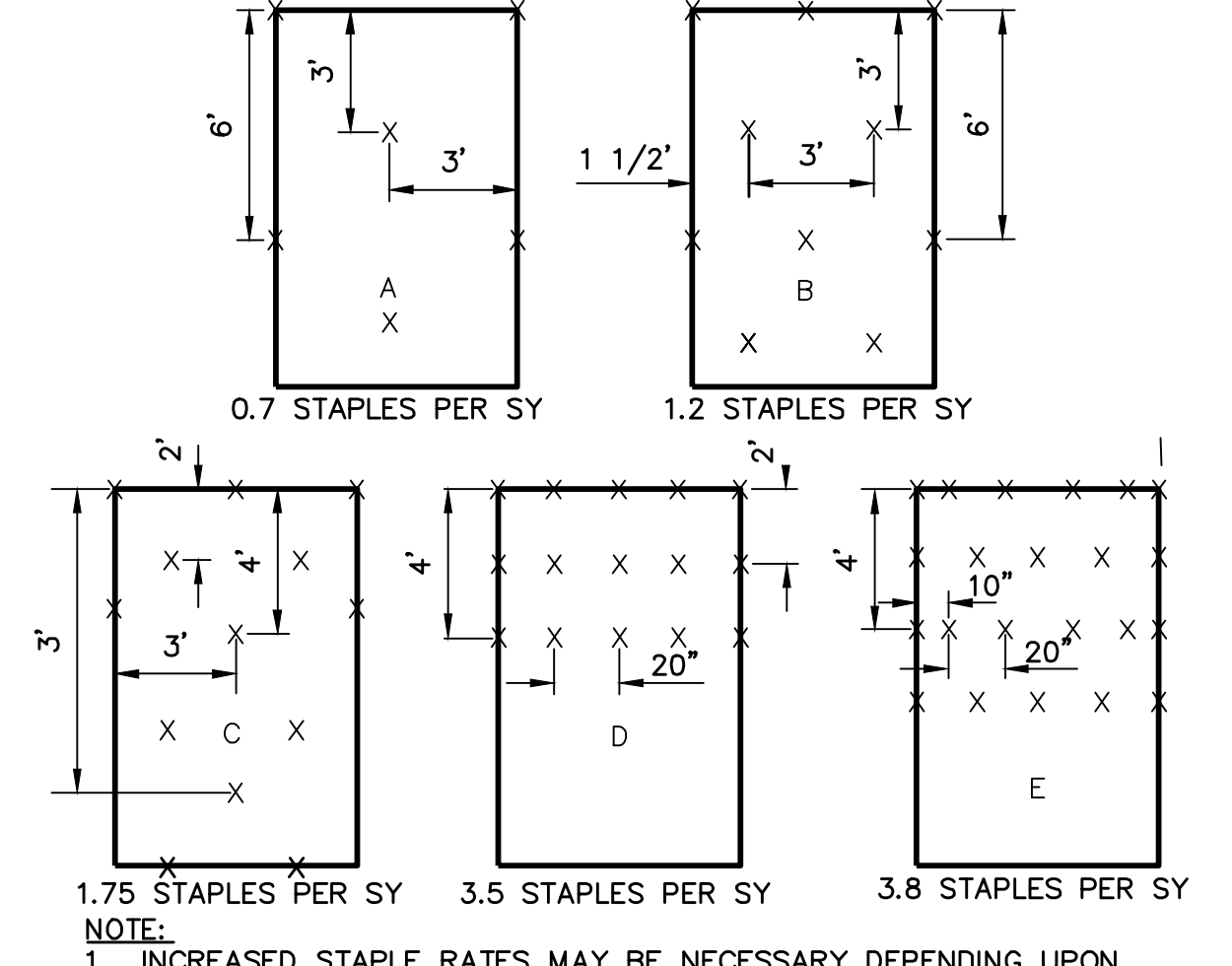
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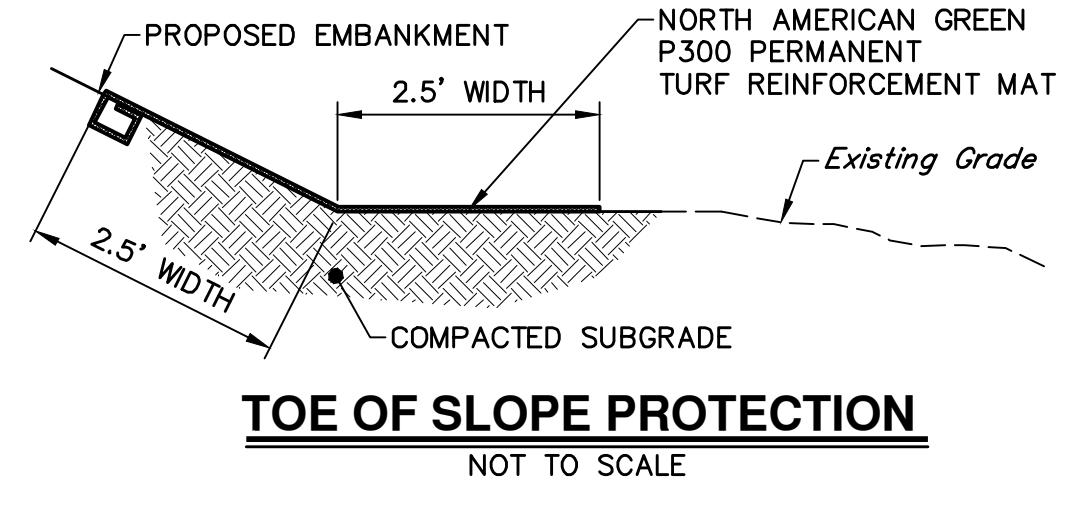
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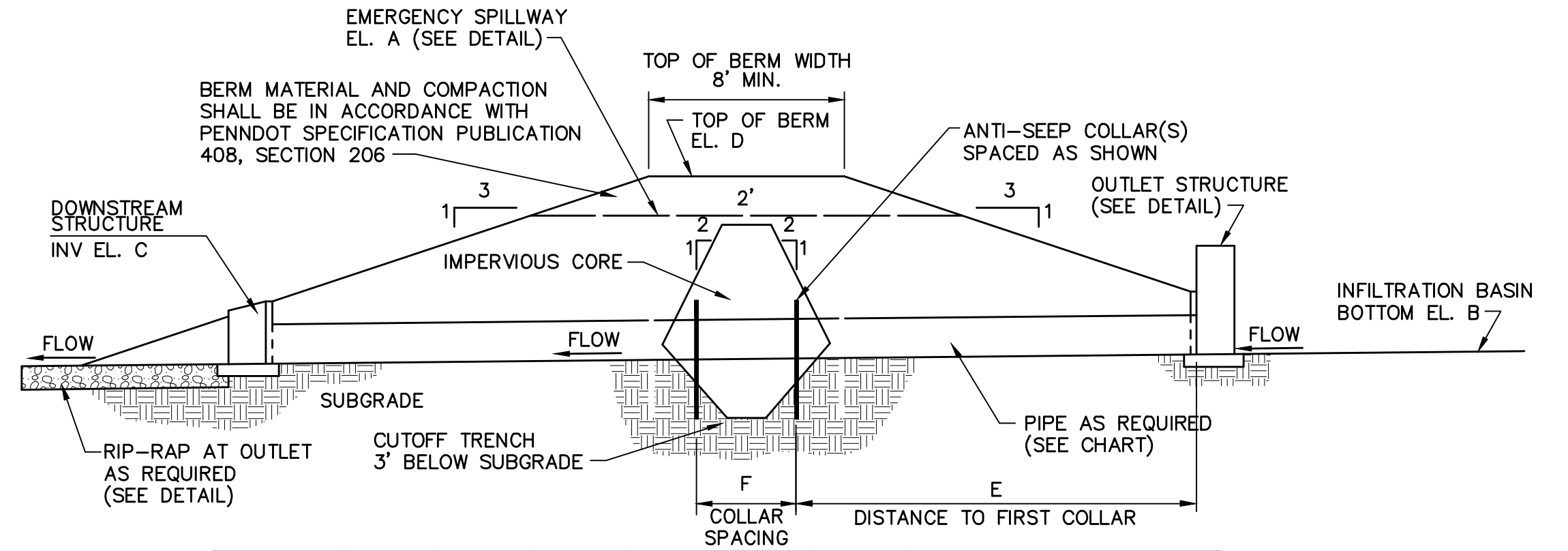
TYPE M INLET DETAIL
NOT TO SCALE



NORTH AMERICAN GREEN STAPLE PATTERN GUIDE
NOT TO SCALE

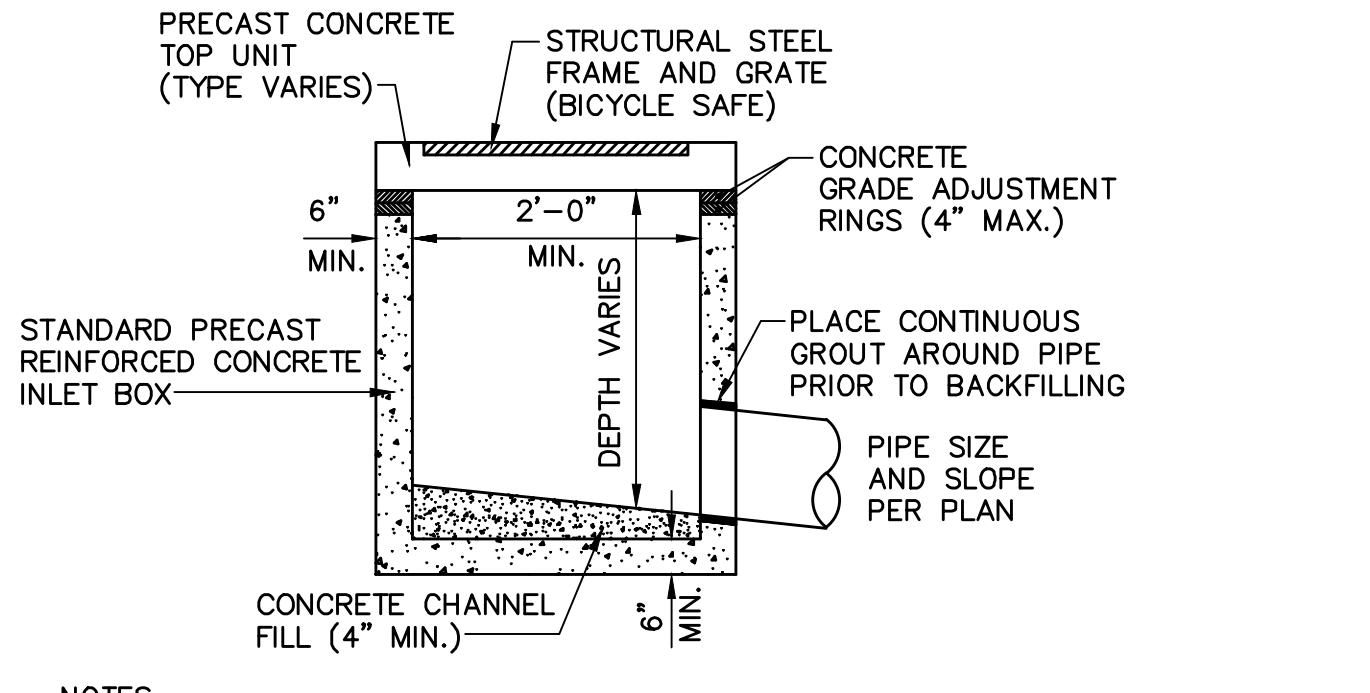


TOE OF SLOPE PROTECTION
NOT TO SCALE

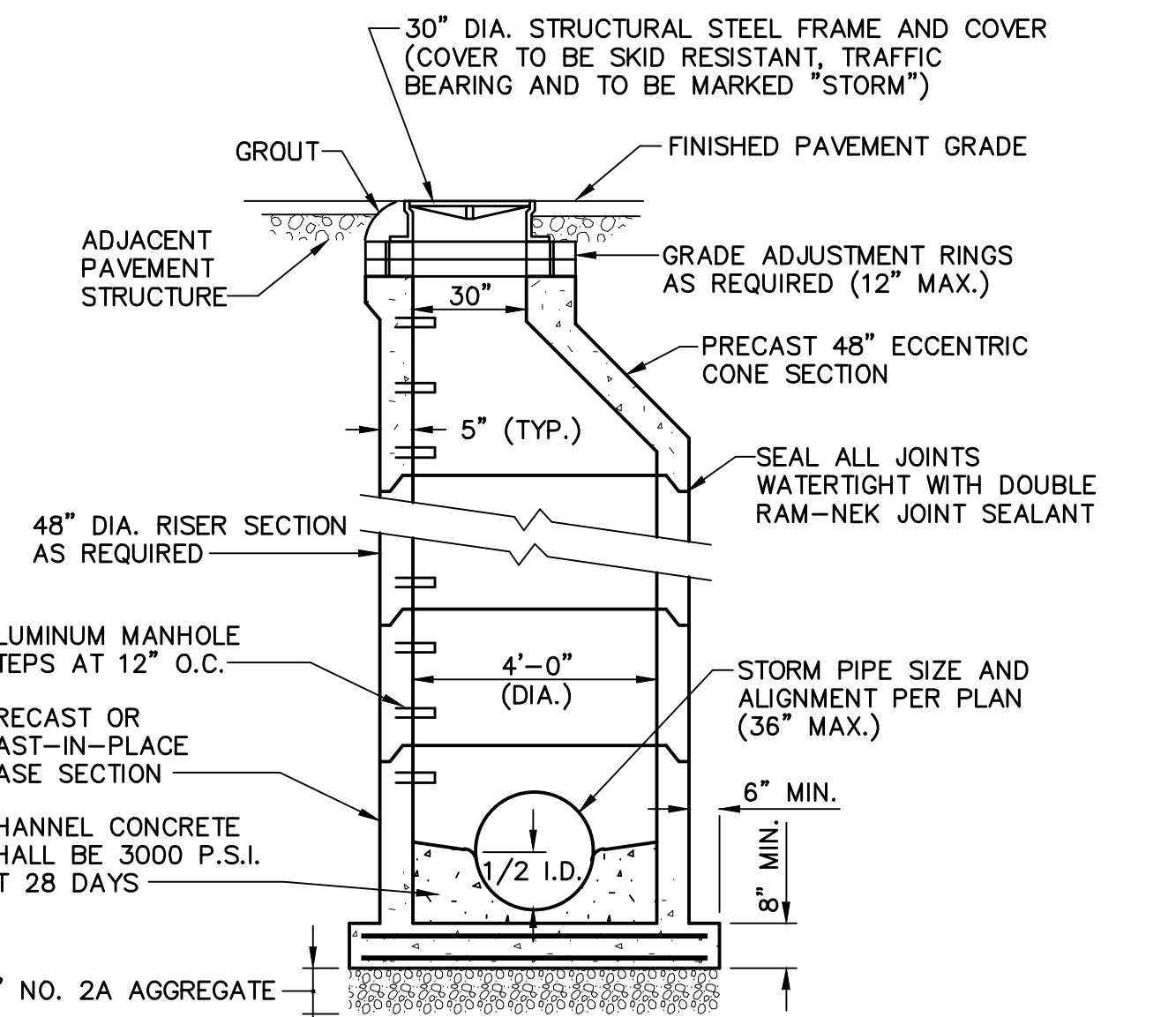


Basin No.	A	B	C	D	E	F	PIPE
A	640.50	635.00	634.80	642.00	15	N/A	24\"/>
B	646.50	642.00	639.81	648.00	10	30	24\"/>

BASIN SECTION AT OUTLET
NOT TO SCALE



INLET BOX DETAIL
NOT TO SCALE



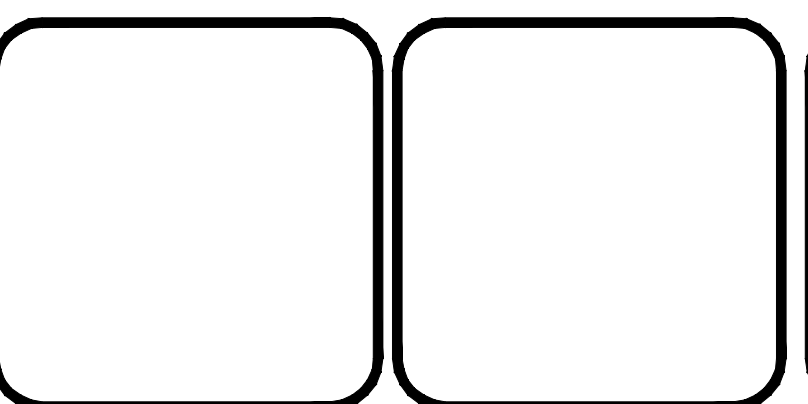
STORM SEWER MANHOLE
NOT TO SCALE

* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION

CHANNEL NO.	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING *	STAPLE PATTERN	CHANNEL SLOPE
A-1						REMOVED PER DESIGN		
A-2						REMOVED PER DESIGN		
A-3A	1.5	1	17	12.5	3	N.A. GREEN S75/VEG	D	1.3-2.3%
A-3B	1.5	1	19.5	3	15	N.A. GREEN S75/VEG	D	1.0-1.5%
A-4	2	1	8	3	3	N.A. GREEN S75/VEG	D	1.5-2.8%
A-5	2	1	8	3	3	N.A. GREEN S75/VEG	D	1.0%
A-6	3	1	9	3	3	N.A. GREEN S75/VEG	D	1-3.6%
A-7	3	1	9	3	3	N.A. GREEN S75/VEG	D	1.0%
A-8	1.5	1	7.5	3	3	N.A. GREEN S75/VEG	D	1.4-2.8%
A-9	2	1	8	3	3	N.A. GREEN S75/VEG	D	1.1%
A-10A	2	1	8	3	3	N.A. GREEN S75/VEG	D	1.8%
A-10B	2	1	8	3	3	N.A. GREEN S75/VEG	D	2.1%
A-11						REMOVED PER DESIGN		
A-12A	0	1	6	3	3	N.A. GREEN S75/VEG	D	1.0%
A-12B	0	1	6	3	3	N.A. GREEN S75/VEG	D	1.0%
A-13A	2	1	8	3	3	N.A. GREEN S75/VEG	D	1.0%
A-13B	2	1	8	3	3	N.A. GREEN S75/VEG	D	1.1%
A-14	2	1	8	3	3	N.A. GREEN S75/VEG	D	2.0-3.0%
A-15A	1.5	1	7.5	3	3	N.A. GREEN S75/VEG	D	1.9-5.0%
A-15B	1.5	1	7.5	3	3	N.A. GREEN S75/VEG	D	1.0%
B-1	2	1	8	3	3	N.A. GREEN S75/VEG	D	1.2%
B-2A	2	1.5	11	3	3	N.A. GREEN S75/VEG	D	1.5%
B-2B	2	3	20	3	3	N.A. GREEN S75/VEG	D	1.0%
B-2C	2	1.5	11	3	3	N.A. GREEN S75/VEG	D	1.0%
B-2D	2	1	8	3	3	N.A. GREEN S75/VEG	D	1.0%
RG1-1	2	2	14	3	3	N.A. GREEN S75/VEG	D	1.6%
RG1-2	2	2	14	3	3	N.A. GREEN S75/VEG	D	1.0%
RG1-3	3	1	9	3	3	N.A. GREEN S75/VEG	D	1.0%
RG2-1	2	2	14	3	3	N.A. GREEN S75/VEG	D	2.1-4.1%
RG2-2	2	2	14	3	3	N.A. GREEN S75/VEG	D	1.0-1.9%
RG3-1	2	1	8	3	3	N.A. GREEN S75/VEG	D	1.1-1.5%
RG3-2A	4	2	16	3	3	N.A. GREEN SC250/VEG	E	1.4-3.0
RG3-2B	2	1	8	3	3	N.A. GREEN SC250/VEG	E	2.8%
RG3-3	2	2	14	3	3	N.A. GREEN S75/VEG	D	1.0-2.8%
RG3-4	2	2	14	3	3	N.A. GREEN S75/VEG	D	1.6%
RG4-1	2	2	14	3	3	N.A. GREEN S75/VEG	D	1.0-3.4%
RG4-2	2	2	14	3	3	N.A. GREEN S75/VEG	D	1.0%
RG4-3A	3	2	15	3	3	N.A. GREEN SC250/VEG	E	2.5-10.1%
RG4-3B	2	2	14	3	2.5	N.A. GREEN SC250/VEG	E	2.5%
RG4-4	1.5	2	13.5	3	3	N.A. GREEN SC250/VEG	E	4.8%
RG5-1	2	2	14	3	3	N.A. GREEN S75/VEG	D	1.6-5.8%
C-1A	10	3	40	5	5	N.A. GREEN SC250/VEG	E	1.0%
C-1B.1	10	3	40	5	5	N.A. GREEN SC250/VEG	E	1.0-1.6%
C-1B.2	10	3	40	5	5	N.A. GREEN SC250/VEG	E	1.0-1.3%
C-1C	3	3	21	3	3	N.A. GREEN S75/VEG	D	1.3%
C-2	2	1	8	3	3	N.A. GREEN S75/VEG	D	1.3%
C-3	2	0.8	10	5	5	N.A. GREEN S75/VEG	D	1.4%

STANDARD CONSTRUCTION DETAIL #6-1 VEGETATED CHANNEL
NOT TO SCALE

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



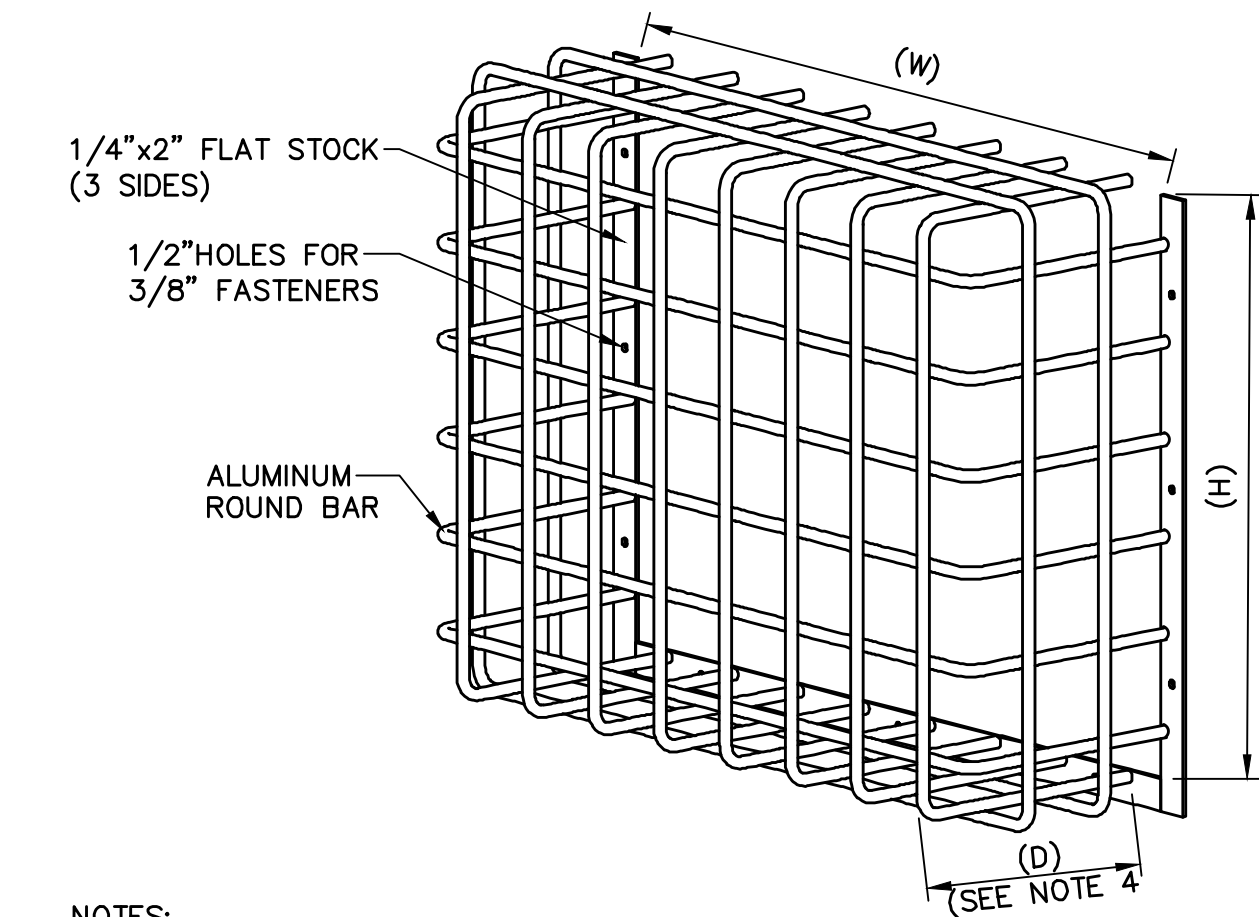
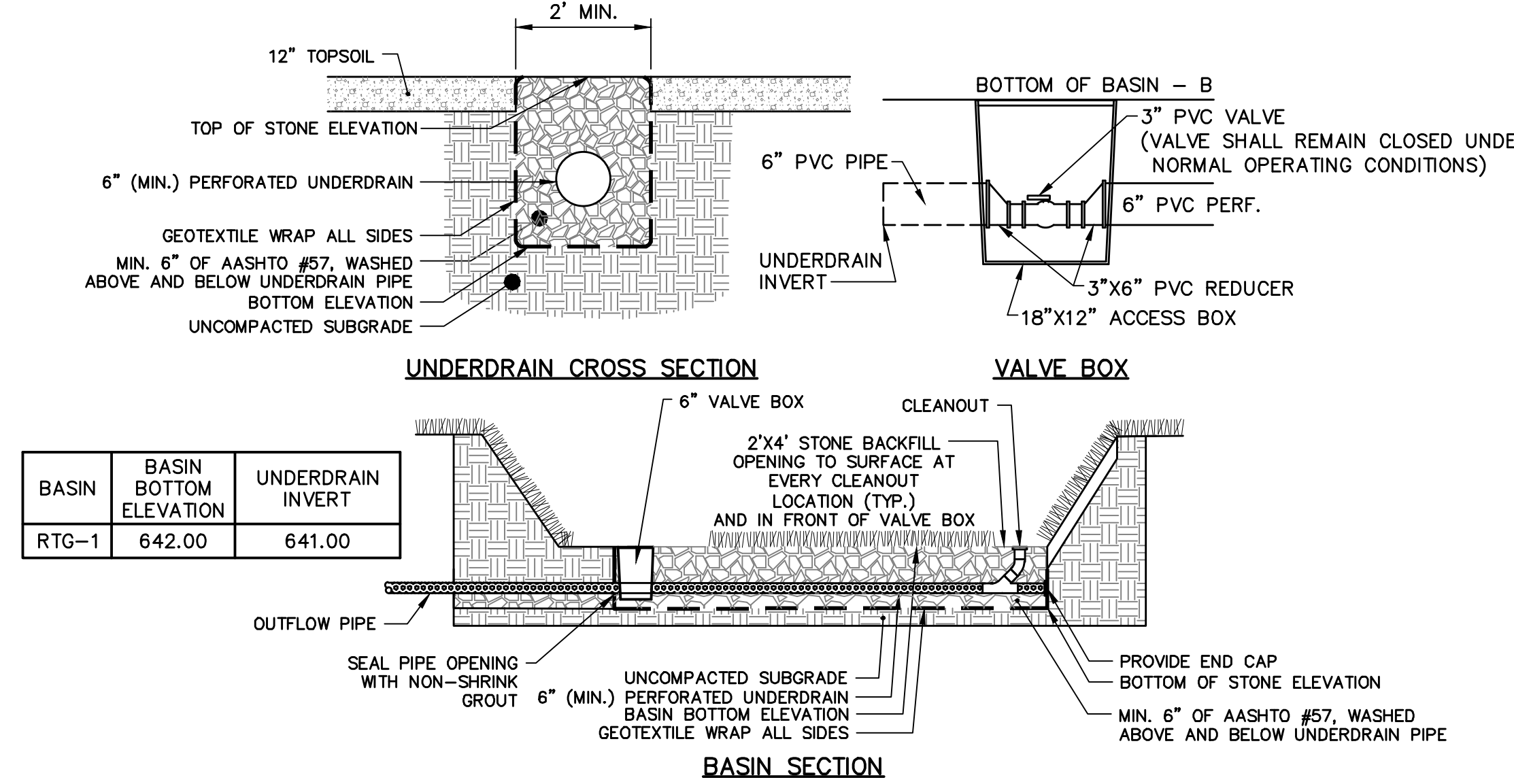
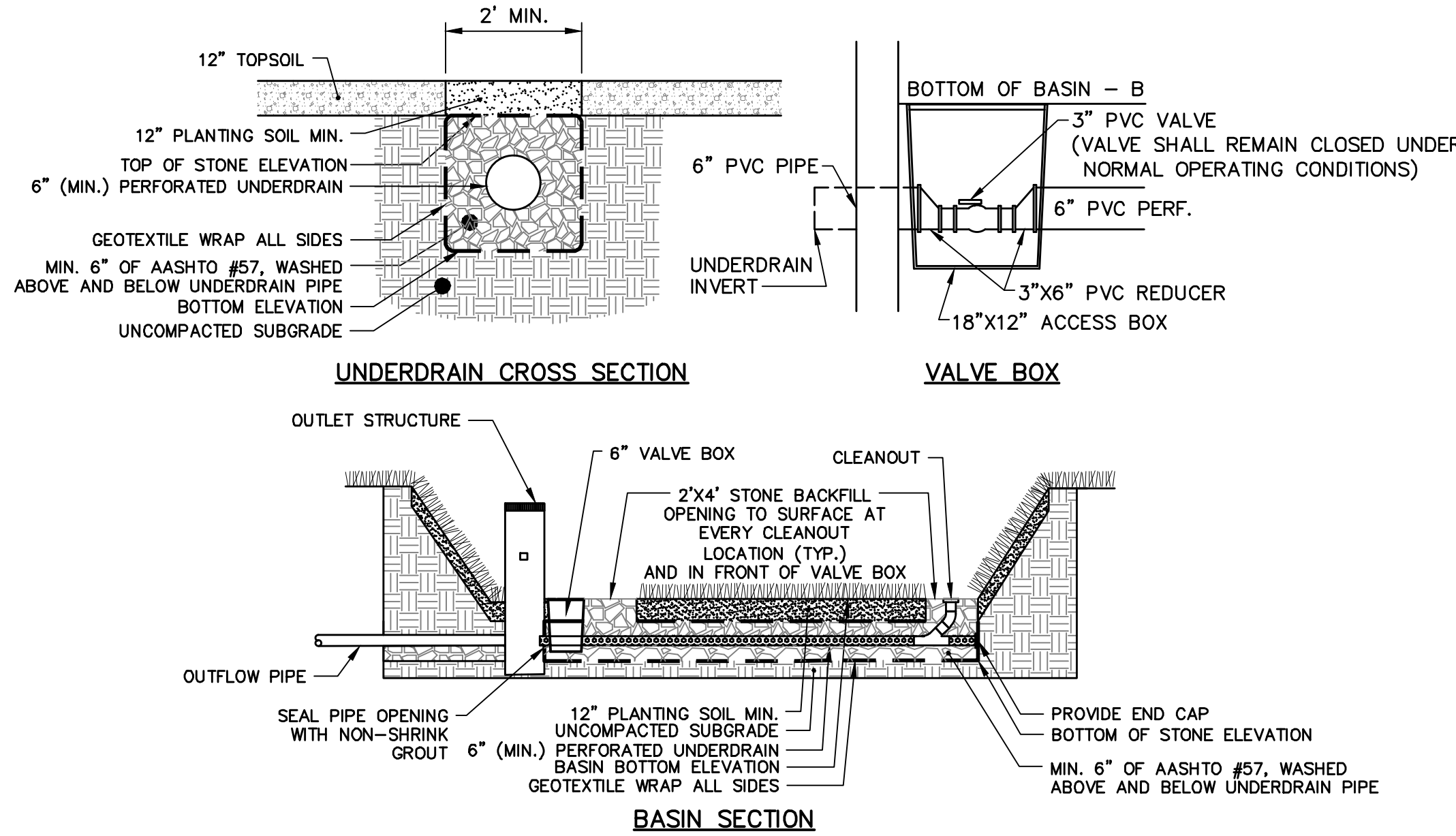
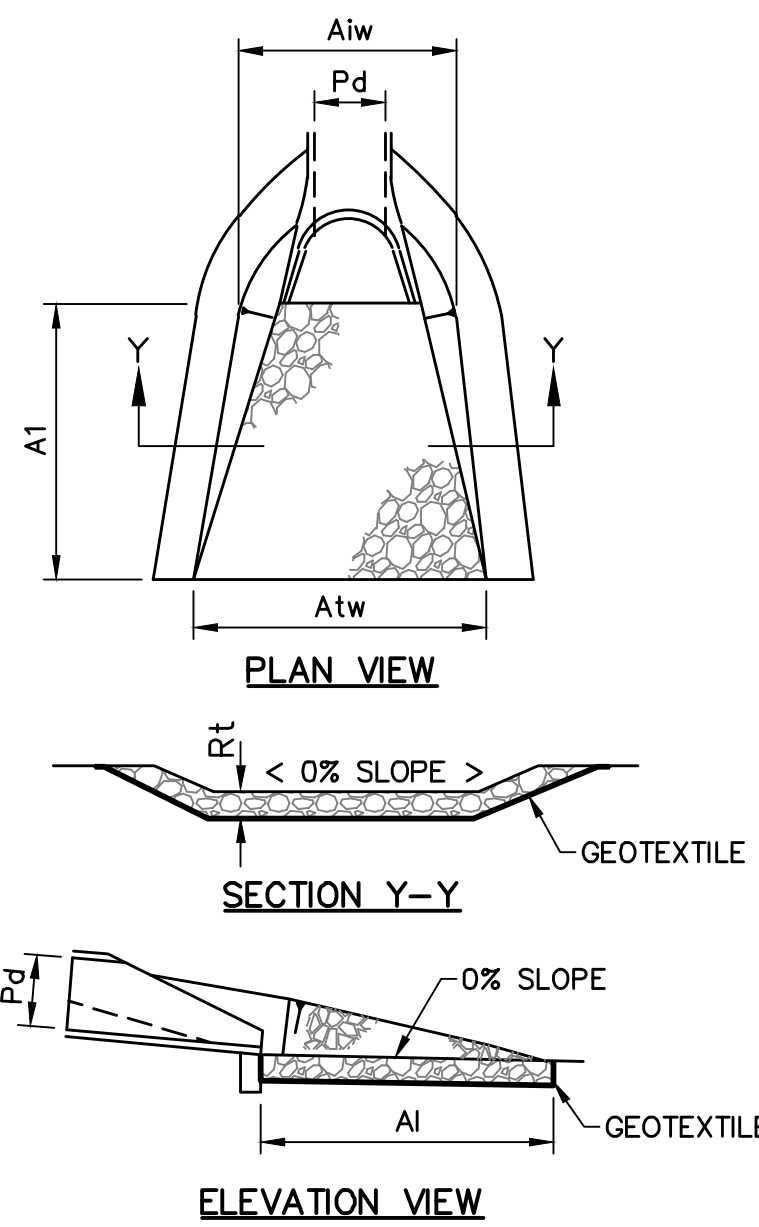
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4 RADNOR CORPORATE CENTER
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CONSTRUCTION DETAILS - STORMWATER
FOR
ALLEMAN ROAD PROPERTY, LLC
GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
CD-7
SHEET NO.
48 OF 51
PROJECT R008499.0425



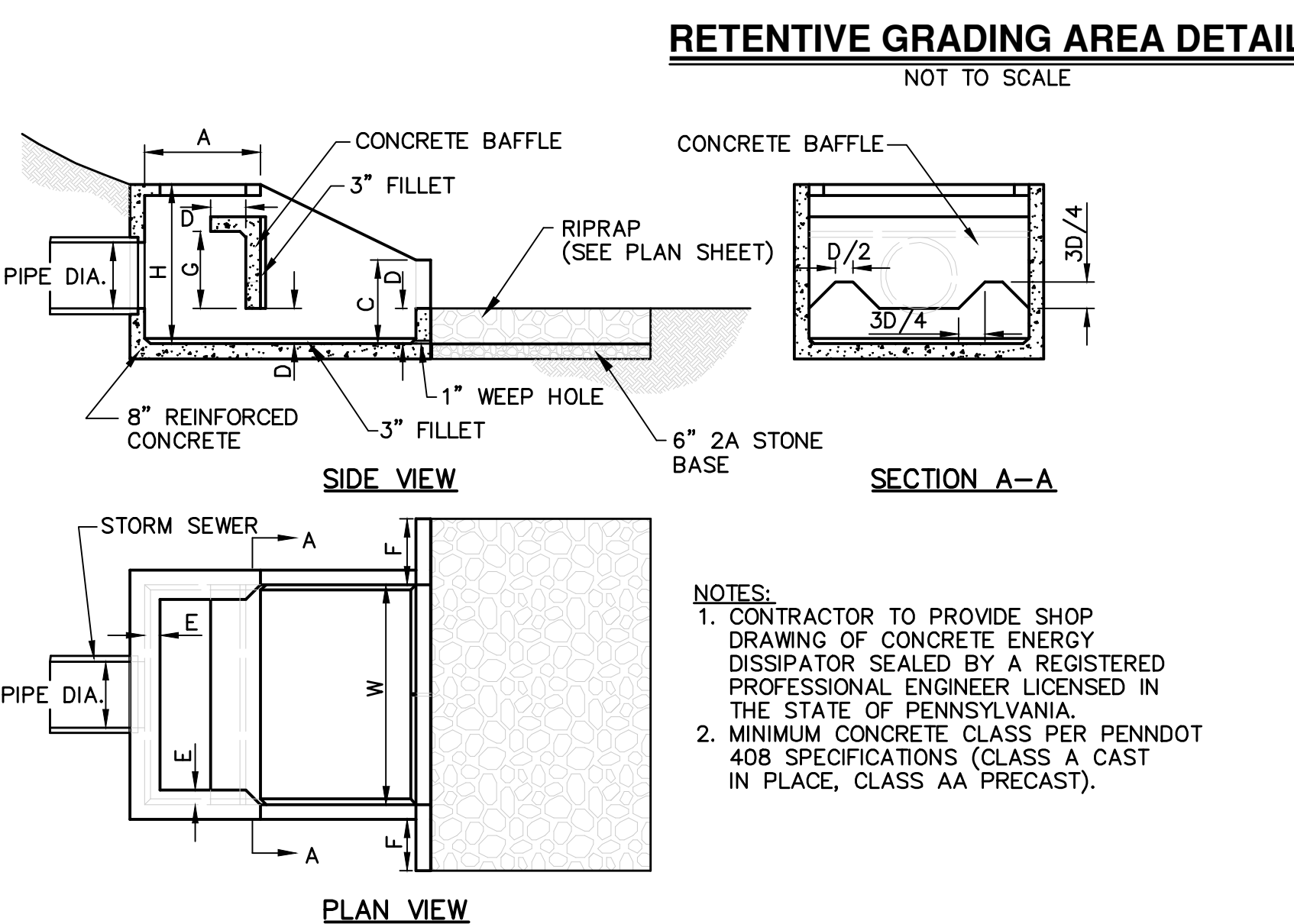
- NOTES:
- ALL MATERIALS TO BE ALUMINUM 6061-T6 ALLOY.
 - WELD ALL INTERSECTIONS.
 - FASTEN TO CONCRETE STRUCTURE WITH 3/8 in. x 3 in. STAINLESS STEEL CONCRETE WEDGE ANCHORS AT 18 in. MAX. SPACING, MINIMUM OF (4).
 - DEPTH TO O.D. OF RACK: IF THE CONCRETE WEIR EXTENDS TO THE TOP OF THE STRUCTURE, THE DEPTH OF THE TOP BARS WILL EXTEND TO MEET TOP GRATING OR FRAME OF STRUCTURE SO THERE IS NO GAP.
 - OVERALL RACK WIDTH = (W) + 4 INCHES
 - OVERALL RACK HEIGHT = (H) + BAR DIAMETER + 2 INCHES
 - OPTIONAL - 10g STAINLESS STEEL WIRE MESH WITH 1 in. GRID TO COVER RACK.
 - BUILD AS PER EFFLUENT DESIGN & FABRICATION, LLC OR APPROVED EQUIVALENT.

OUTLET STRUCTURE SIDE TRASH RACK
NOT TO SCALE

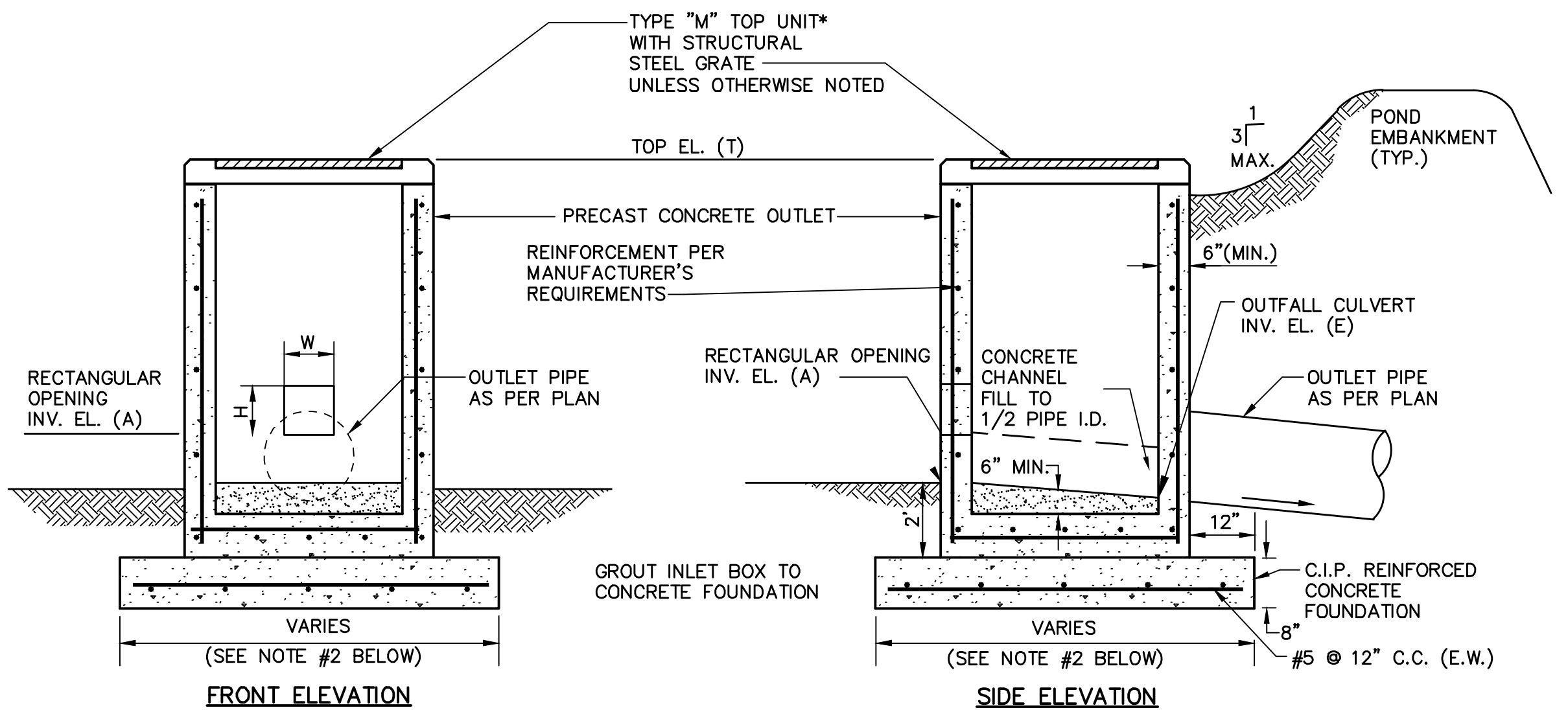
OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE R- (in)	THICK. Rt (in)	LENGTH Ai (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
EW-1	48	6	36	26	12	38
EW-1.2A.2	18	4	18	8	5	13
EW-1.3.5	18	4	18	21	8	29
EW-2	30	5	27	21	8	29
EW-3	30	5	27	20	8	28
EW-4	48	6	36	26	12	38
EW-5	18	4	18	8	5	13
EW-6	18	4	18	8	5	13
EW-9	18	5	27	8	5	13
EW-A	24	4	18	12	6	18
EW-B1	36	5	27	21	9	29
EW-B2	18	4	18	8	5	13
EW-BP1	48 x 96 BOX CULVERT	6	36	17	12	19
EW-C1	84 x 60	6	36	32	21	32
EW-R1.1	18	4	18	8	5	13
EW-R1.2	18	4	18	8	5	13
EW-R1.2A.1	18	4	18	8	5	13
EW-R2.1	18	4	18	8	5	13
EW-R3.1	18	4	18	8	5	13
EW-R3.2	42	5	27	22	11	33
EW-R4.1	24	5	27	12	6	18
TES-1	15	4*	18	8	5	13

- NOTES:
- PLANTING SOIL SHALL BE LOAN SOIL AMENDED WITH COMBINED 25% SAND AND 75% TOPSOIL BASE.
 - GEOTEXTILE SHALL CONSIST OF POLYPROPYLENE FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:
GRAB TENSILE STRENGTH (ASTM-D4632) > OR = 120 LBS.
MULLEN BURST STRENGTH (ASTM-D3786) > OR = 225 LBS.
FLOW RATE (ASTM-D4491) > OR = 95 GAL./MIN./FT²
UV RESISTANCE AFTER 500 HRS. (ASTM-D4355) > OR = 70%
HEAT-SET OR HEAT CALENDARED FABRICS ARE NOT PERMITTED
 - PVC CLEANOUT ADAPTER WITH PLUG SHALL REMAIN CLOSED DURING NORMAL OPERATING CONDITIONS AND ONLY REMOVED AS NEEDED TO DEWATER THE BASIN.

BASIN UNDERDRAIN DETAIL
NOT TO SCALE



RETENTIVE GRADING AREA DETAIL
NOT TO SCALE



- NOTES:
- PROVIDE FIELD PLACED CONCRETE FILL IN THE BOTTOM OF ALL OUTLET STRUCTURES TO A DEPTH OF 1/2 OF THE PIPE I.D. PROVIDE AN ADEQUATE FLOW CHANNEL FOR THE TRANSITION TO THE OUTLET PIPE. SHAPE BOX BOTTOM FOR POSITIVE DRAINAGE.
 - CONSTRUCT THE REINFORCED CONCRETE FOUNDATION TO A DIMENSION 24" LARGER THAN THE OUTSIDE DIMENSIONS OF THE OUTLET STRUCTURE.
 - CONSTRUCT OUTLET STRUCTURE IN ACCORDANCE WITH PENNDOT PUBLICATION 72, RC-34 FOR PRECAST CONCRETE INLET BOXES.
 - INSTALL MANHOLE STEPS IN REQUIRED OUTLET STRUCTURES AS REQUIRED. SEE COPOLYMER POLYPROPYLENE PLASTIC MANHOLE STEP DETAIL.

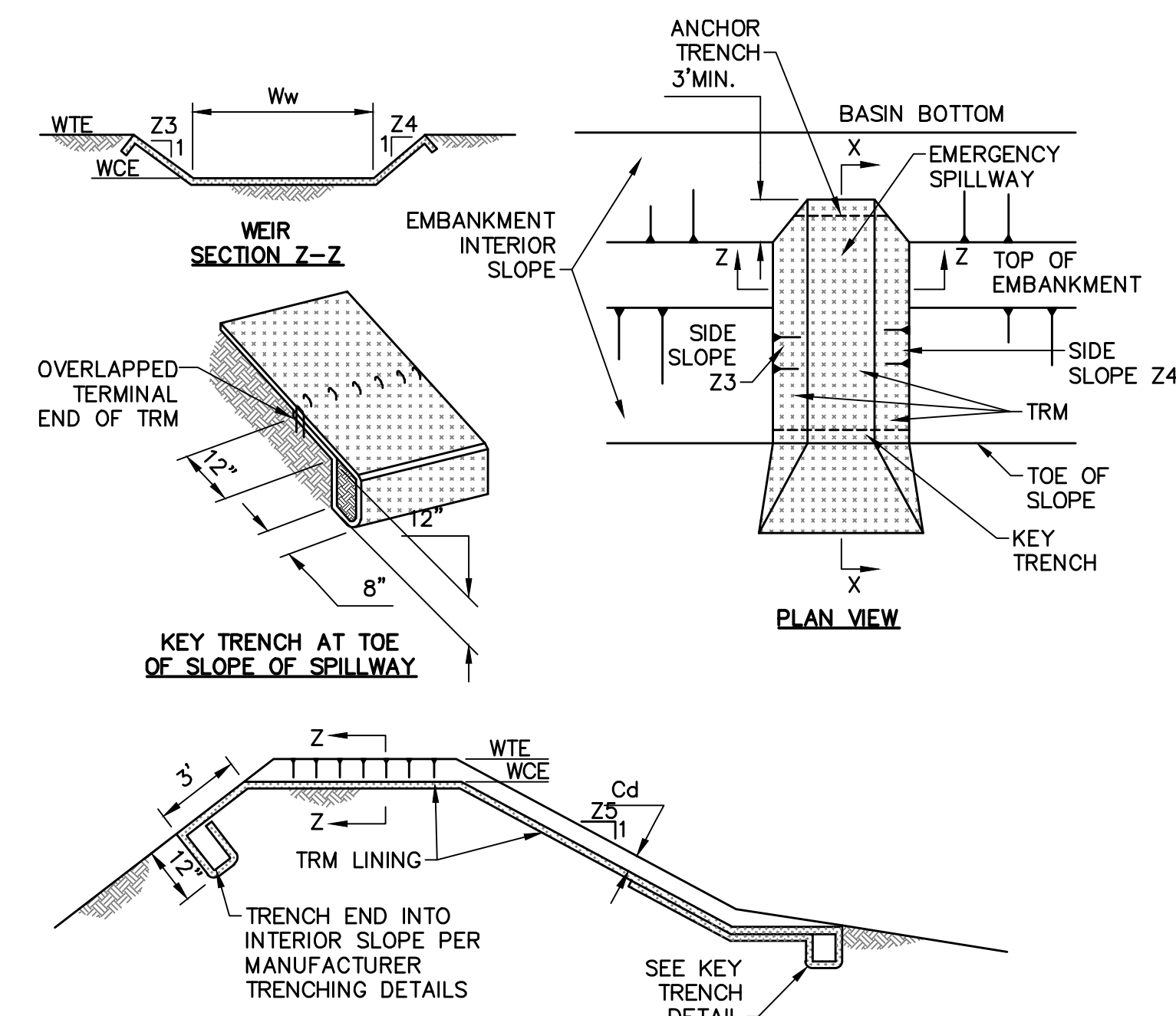
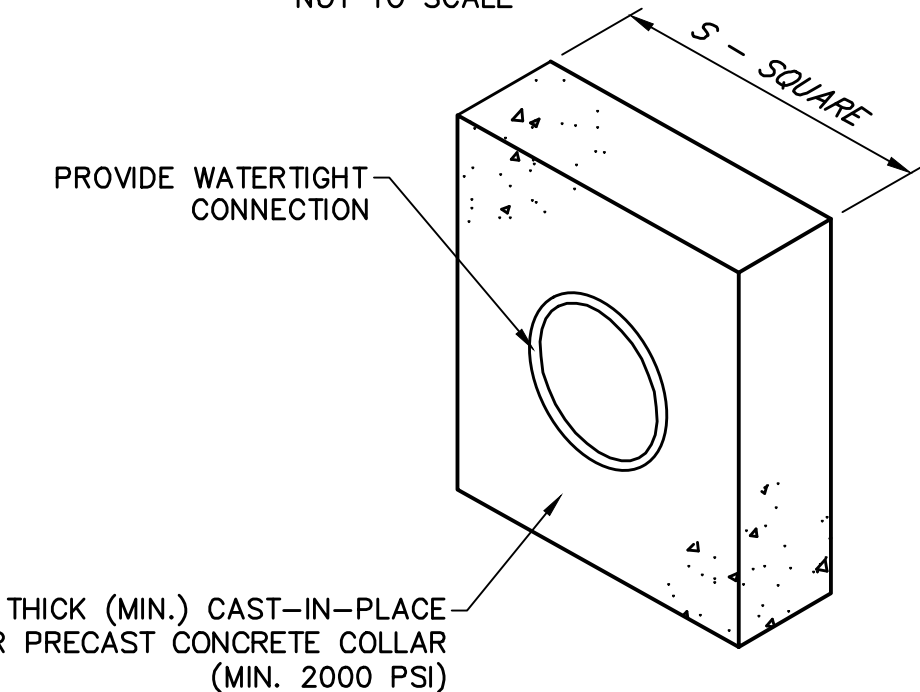
BASIN NO.	TOP ELEVATION T	INVERT A	WIDTH W	HEIGHT H	INVERT E	ADD. 8" PVC TEMP. SKIMMER AT TYP. INVERT
OS-A	638.50	636.10	12	6	635.00	635.00
OS-B*	644.35	N/A	N/A	N/A	641.00	-
OS-RG1	638.35	N/A	N/A	N/A	635.50	-
OS-RG2	644.85	N/A	N/A	N/A	642.00	-
OS-RG3	650.50	N/A	N/A	N/A	645.46	-
OS-RG4	646.25	N/A	N/A	N/A	643.75	-
OS-RG5	647.00	N/A	N/A	N/A	643.09	-
OS-RG5.1	645.90	N/A	N/A	N/A	643.09	-

*2'x6" INLET BOX AND GRATE TO BE UTILIZED FOR OUTLET STRUCTURE OS-B

OUTLET STRUCTURE DETAIL
NOT TO SCALE

- NOTES:
- ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
- ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

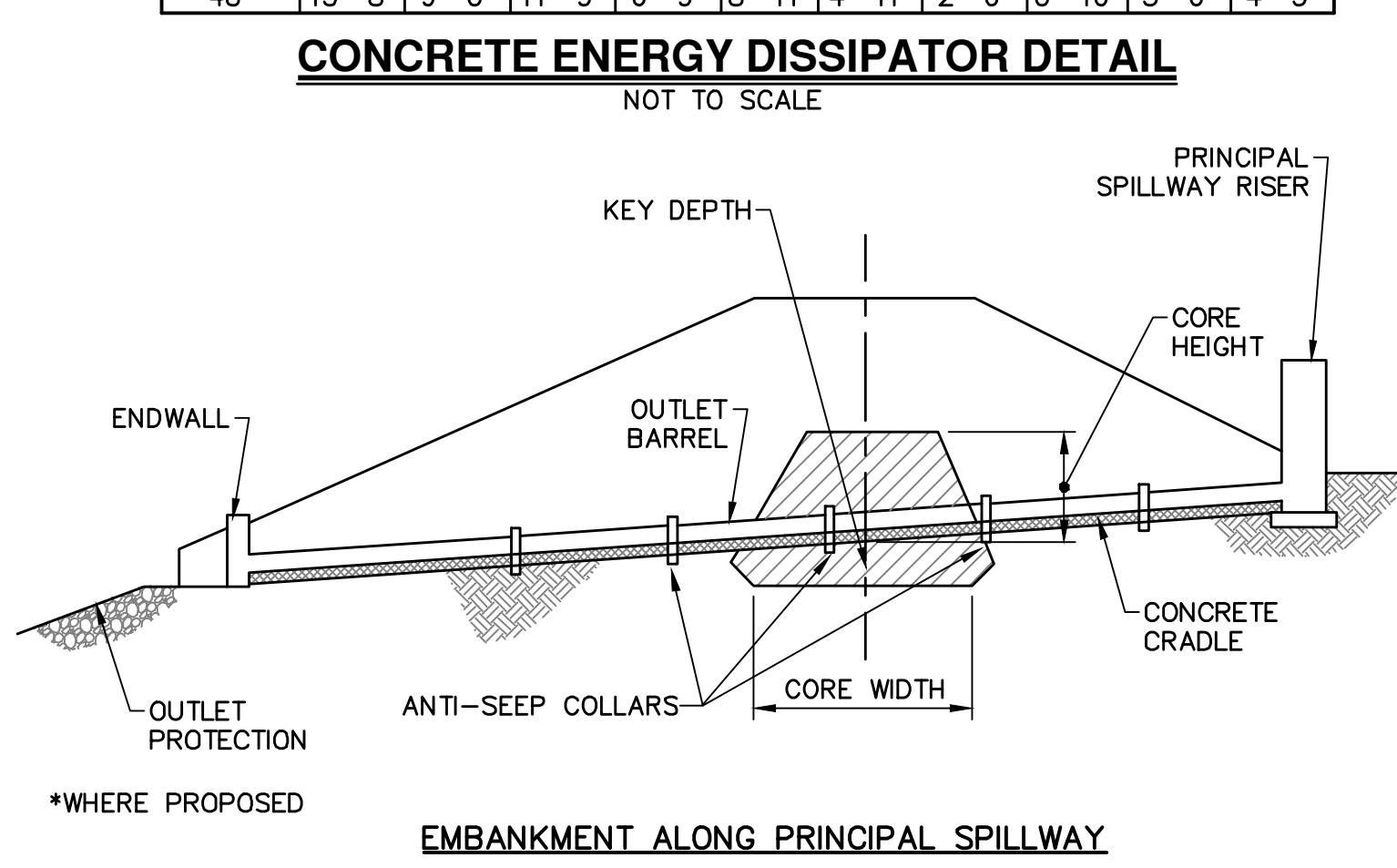
STANDARD CONSTRUCTION DETAIL #9-1
RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL
NOT TO SCALE



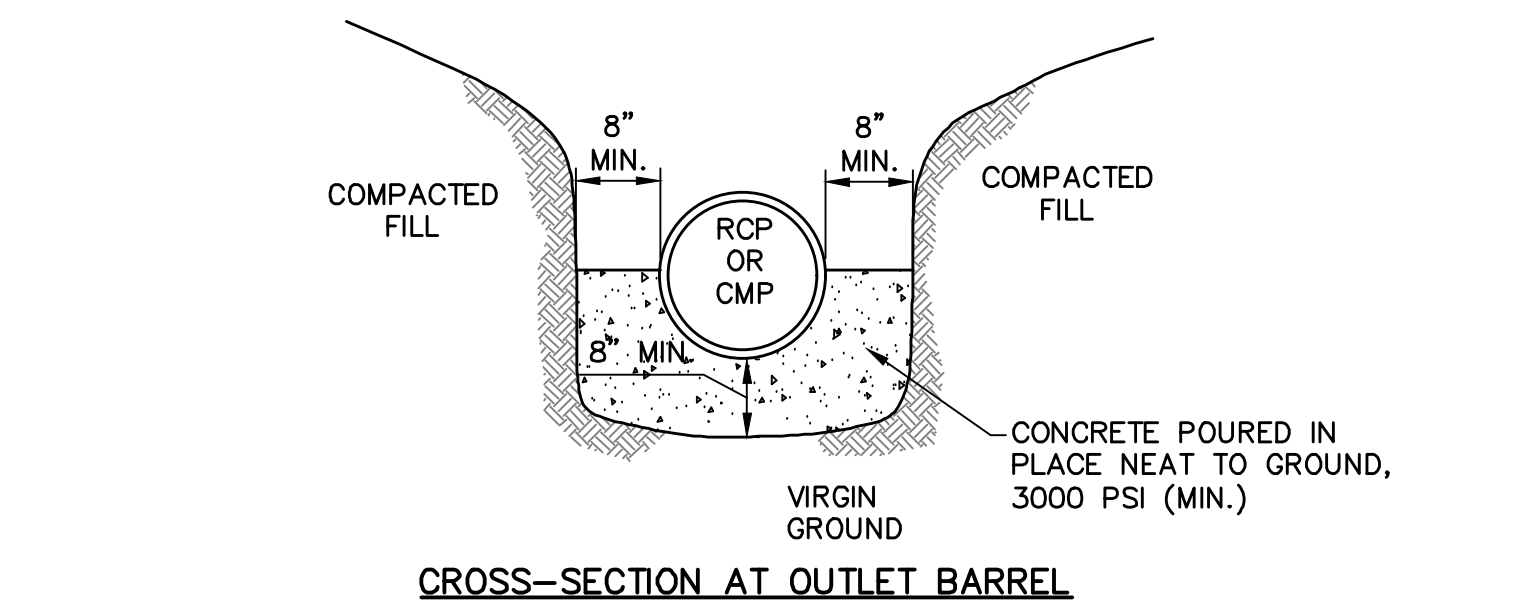
BASIN NO.	WEIR		CREST ELEV WCE (FT)	WIDTH Ww (FT)	TRM TYPE	STAPLE PATTERN (STAPLE /SY)	Z5 (FT)	DEPT H Cd (FT)
	Z3 (FT)	Z4 (FT)						
A	3	3	642.00	640.50	40	SC250	E	N/A
B	3	3	648.00	646.50	40	SC250	E	N/A

- NOTES:
- HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING.
 - DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.

BASIN EMERGENCY SPILLWAY WITH TRM LINING
NOT TO SCALE



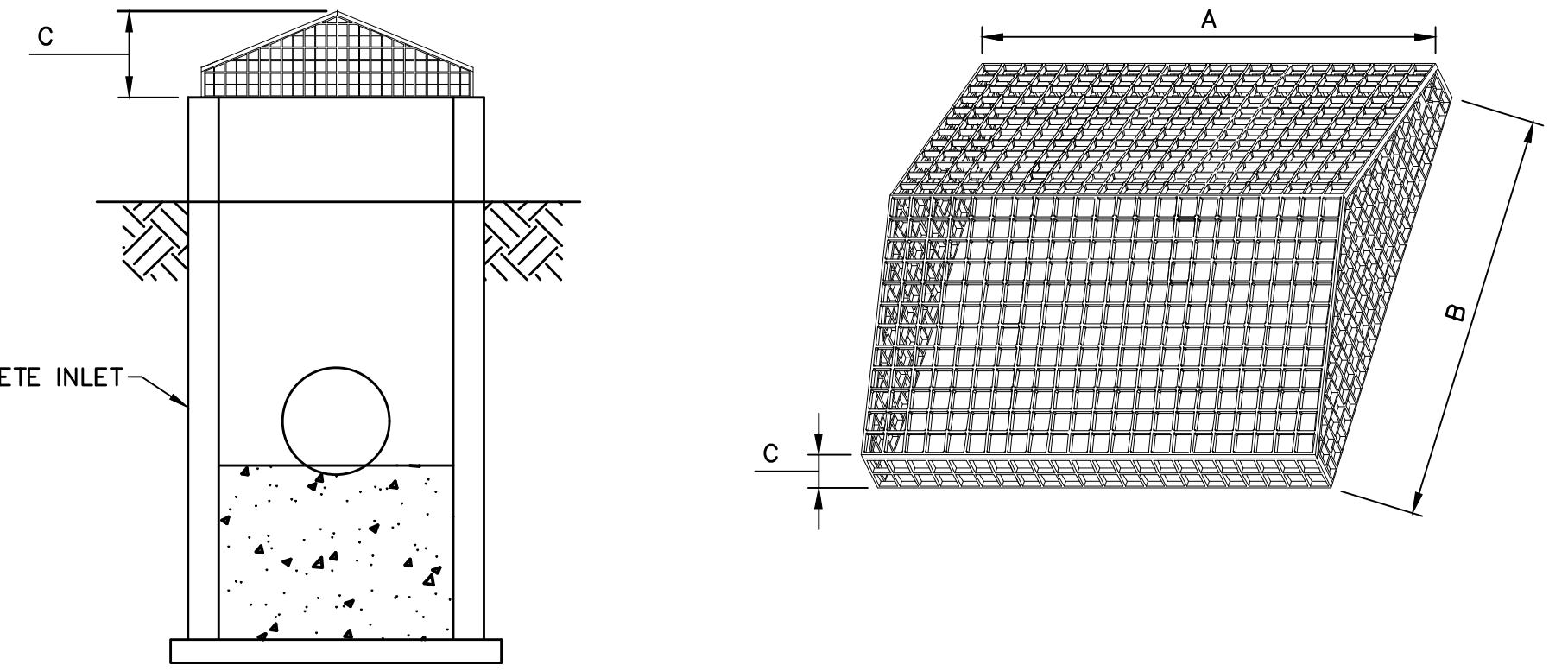
CONCRETE ENERGY DISSIPATOR DETAIL
NOT TO SCALE



- NOTES:
- THIS DETAIL IS AN ADAPTATION OF STANDARD CONSTRUCTION DETAIL #7-17 OF THE PA EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (2012).
 - A CONCRETE CRADLE MAY BE USED IN CONJUNCTION WITH ANTI-SEEP COLLARS.
 - ANTI-SEEP COLLAR NUMBER, SIZE AND SPACING SHALL BE AS SHOWN ELSEWHERE IN PLAN.

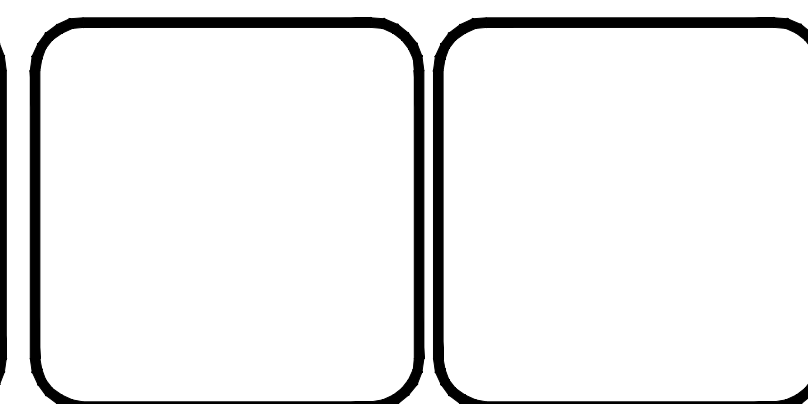
CONCRETE CRADLE FOR BASIN OR TRAP OUTLET BARREL
NOT TO SCALE

A	B	C
LENGTH (IN)	WIDTH (IN)	HEIGHT (IN)
55-1/2	29	27-5/8
79	40-3/4	27-5/8



TRASH RACK ASSEMBLY
NOT TO SCALE

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



HRG
Herbert, Rowland & Grubb, Inc.
Engineering & Related Services
AN EMPLOYEE-OWNED COMPANY

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Chambersburg, PA 17201
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4 RADNOR CORPORATE CENTER
SUITE 105
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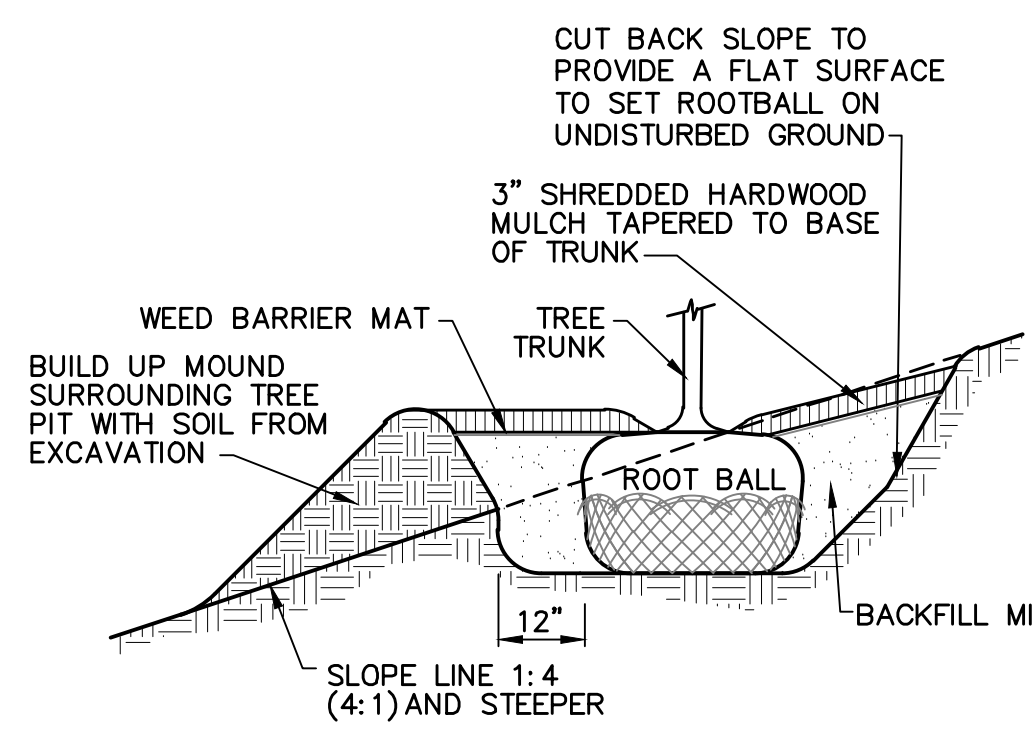
484-320-7808 OFFICE

CONSTRUCTION DETAILS - STORMWATER
FOR
ALLEMAN ROAD PROPERTY, LLC

GUILFORD TOWNSHIP
FRANKLIN COUNTY
PENNSYLVANIA

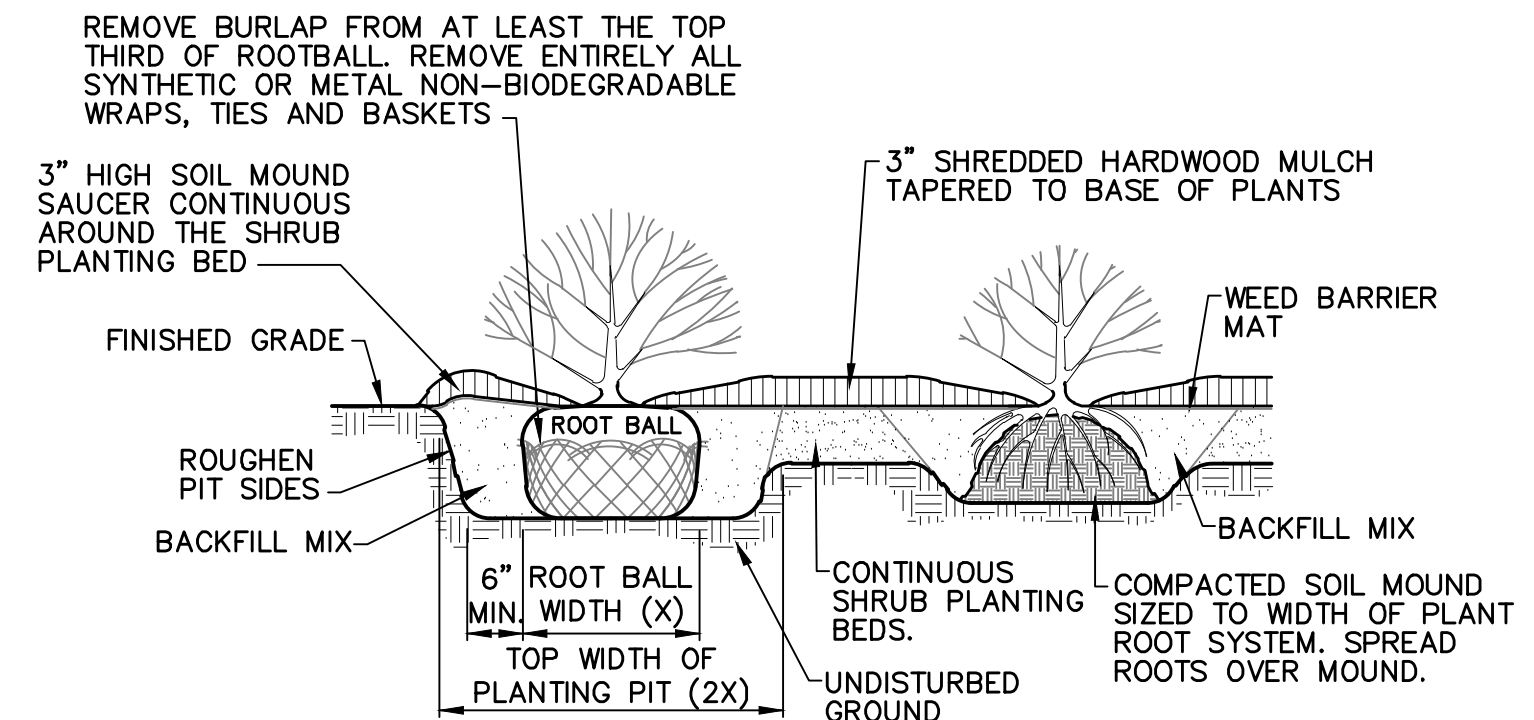
PROJ. MGR. - SBB
DESIGN - HED/CAC
CADD - TLB
CHECKED - SBB
SCALE - AS SHOWN
DATE - 2021.08.24

DRAWING NO.
CD-8
SHEET NO.
49 OF 51
PROJECT R008499.0425

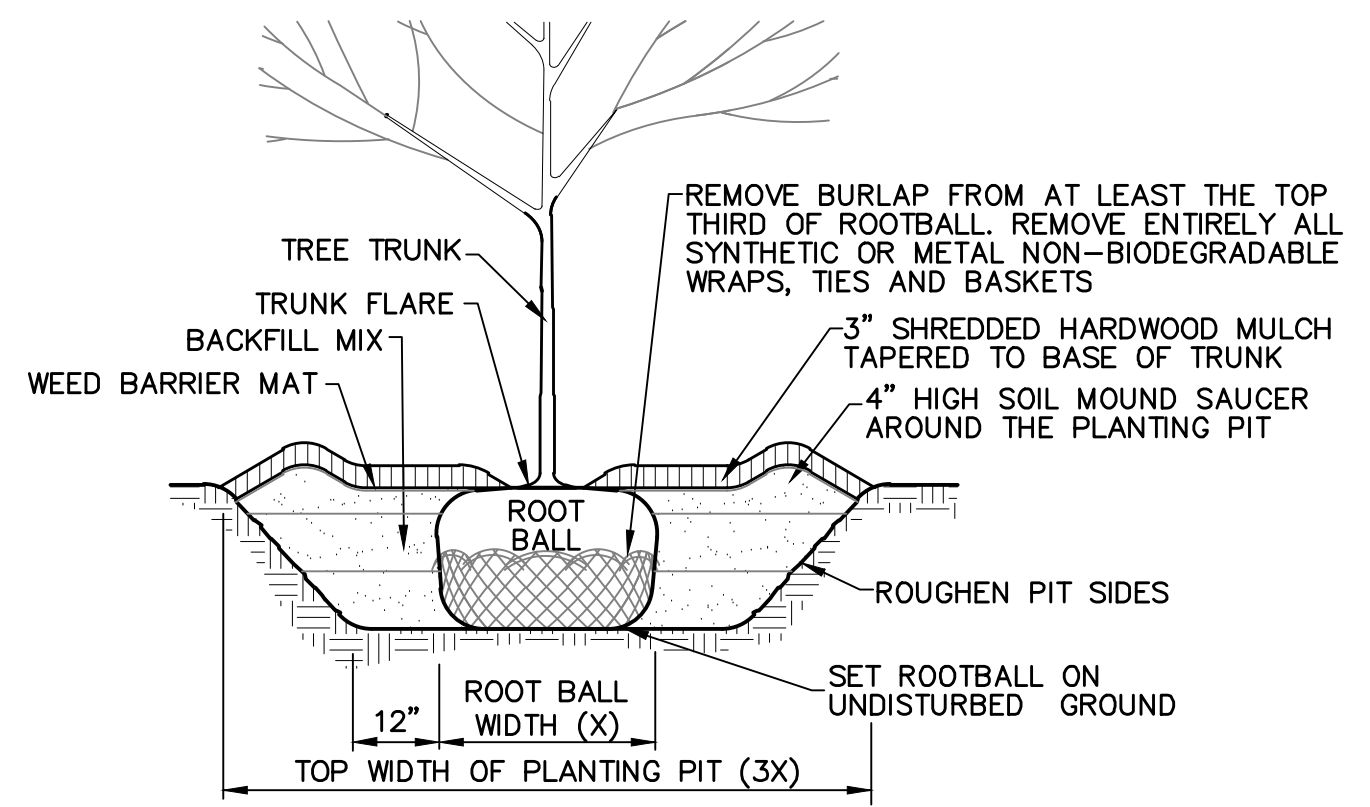


NOTE:
1. ALL TREE PLANTINGS ON SLOPE LINE 1:4 (4:1) OR STEEPER REQUIRE BRACING. REFER TO BRACING DETAIL.

SLOPE PLANTING DETAIL FOR DECIDUOUS AND EVERGREEN TREES
NOT TO SCALE

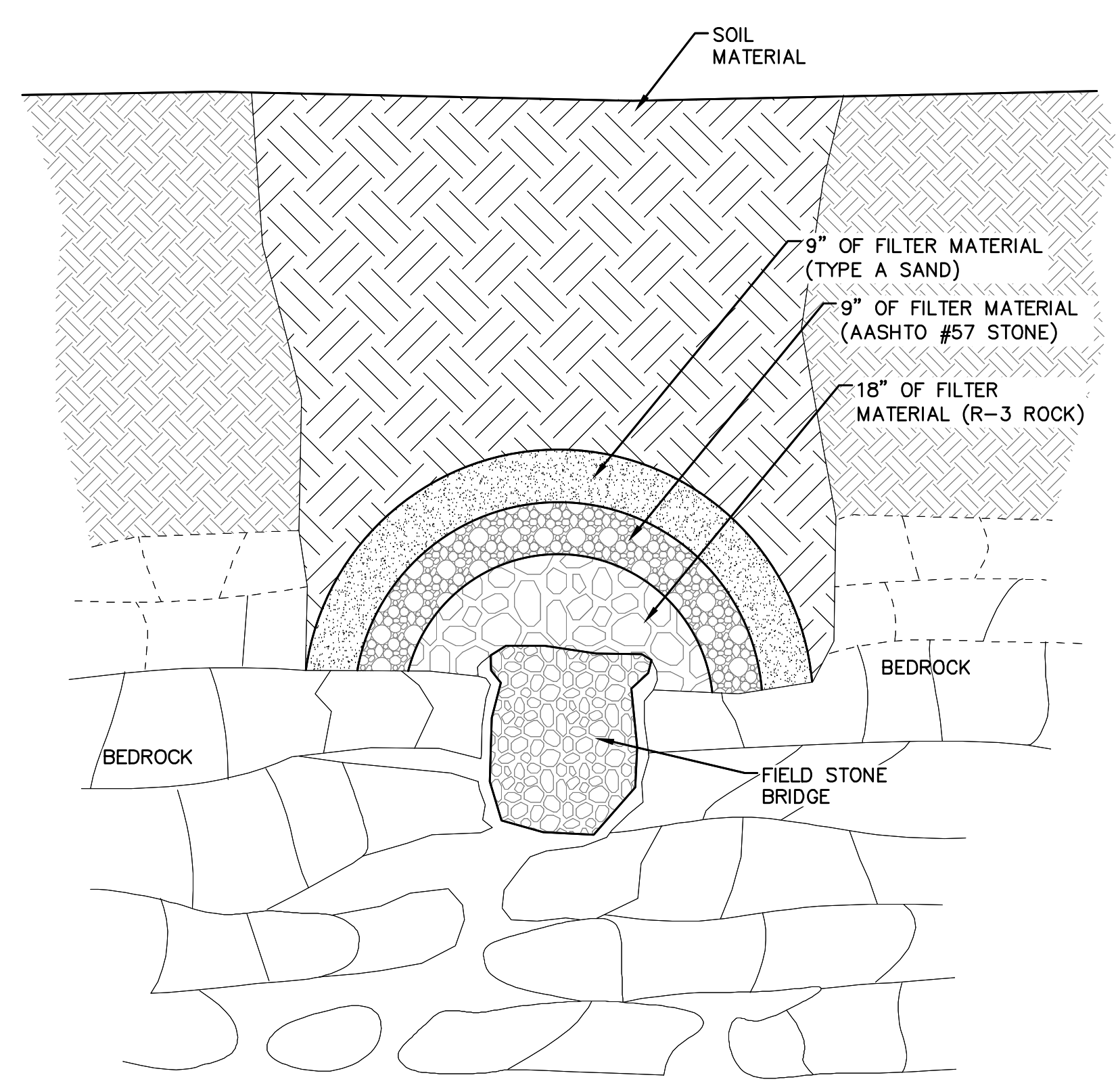


SHRUB PLANTING AND SHRUB BED PREPARATION DETAILS
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

NOTES:
1. TRUNK FLARE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO THE ORIGINAL NURSERY CONDITION. TOP OF ROOTBALL SHALL BE PLACED NO LOWER THAN PREVAILING FINISHED GRADE OF ADJACENT GROUND. TOP OF ROOTBALL MAY BE SET AS MUCH AS 2\"/>



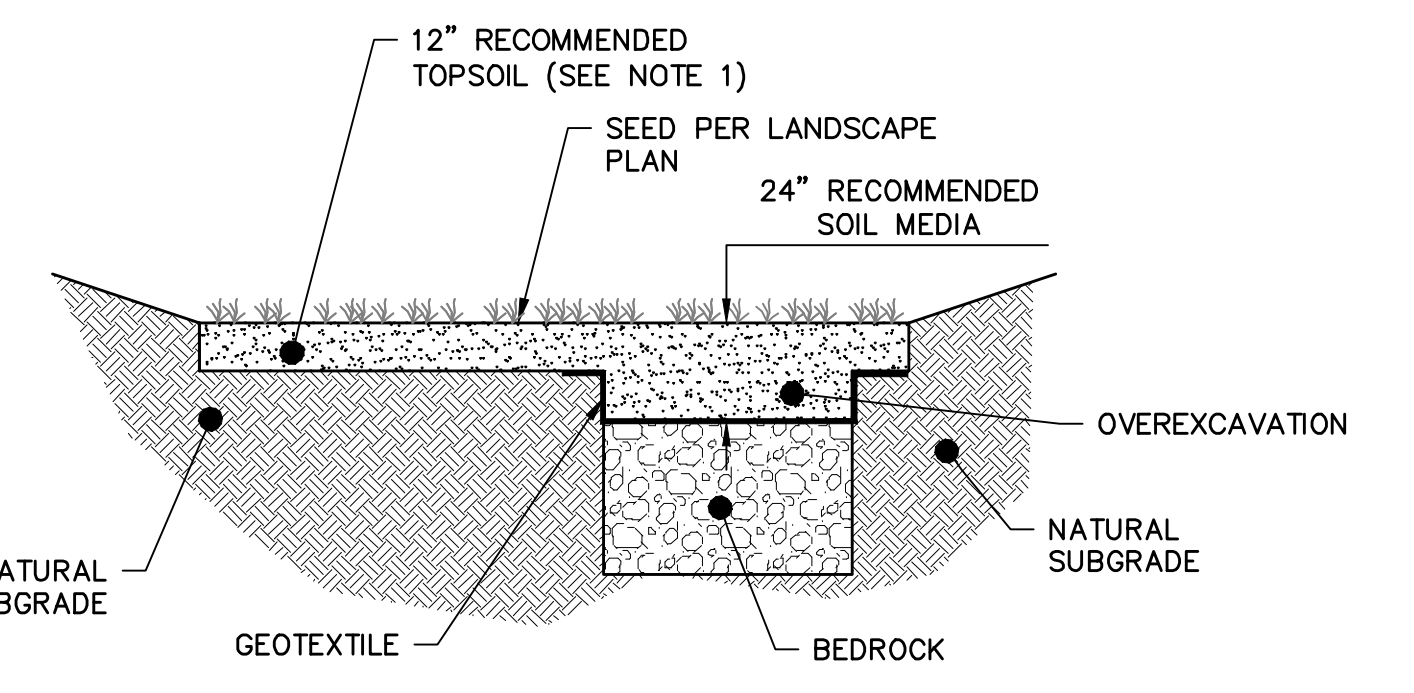
NOTES:
1. CONTACT A PROFESSIONAL GEOLOGIST FOR SINKHOLES IN PROXIMITY TO A BUILDING OR UNDER PAVEMENT
2. EXCAVATE LOOSE MATERIAL FROM THE SINKHOLE AND EXPOSE SOLUTION VOID(S) IF POSSIBLE. ENLARGE SINKHOLE IF NECESSARY TO ALLOW FOR INSTALLATION OF FILTER MATERIAL. OSHA REGULATIONS MUST BE FOLLOWED AT ALL TIMES DURING EXCAVATION.
3. A NON-WOVEN GEOTEXTILE WITH A BURST STRENGTH BETWEEN 100 AND 200 PSI MAY BE SUBSTITUTED FOR THE AASHTO # 57 STONE AND TYPE A SAND.
4. SELECT FIELD STONE(S) ABOUT 1.5 TIMES LARGER THAN SOLUTION VOID(S) TO FORM 'BRIDGE'. PLACE ROCK(S) SO NO LARGE OPENINGS EXIST ALONG SIDES. STONES USED FOR THE 'BRIDGE' AND FILTERS SHALL HAVE A MODERATELY HARD ROCK STRENGTH AND BE RESISTANT TO ABRASION AND DEGRADATION. SHALE AND SIMILAR SOFT AND/OR NON-DURABLE ROCK ARE NOT ACCEPTABLE.
5. MINIMUM THICKNESS OF R-4 IS 18\"/>

SINKHOLE REPAIR WITH A SOIL COVER
NOT TO SCALE

SOILS LIMITATIONS AND RESOLUTIONS

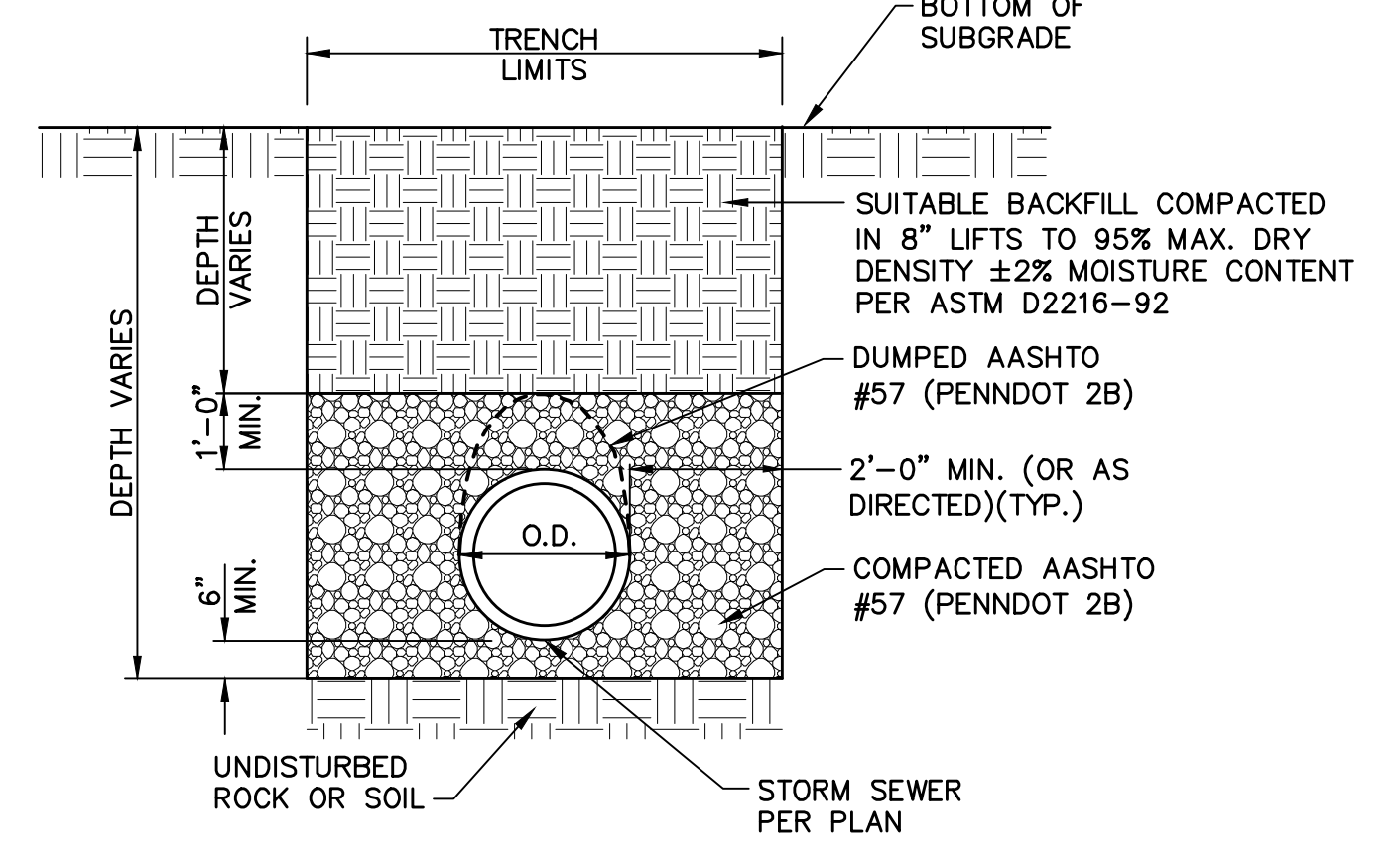
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL NEED TO HAVE APPROPRIATE EAS CONTROLS.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL, INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.

SOIL NAME	SOIL LIMITATIONS															
	CUTBACKS CAVE	CORROSIVE TO CONCRETE / STEEL*	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE	HYBRIC / HYDRIC INCLUSIONS	LOW STRENGTH / LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK-SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
CLARKSBURG	X	C/S		X		X	X	X	X	X	X	X	X	X	X	X
HAGERSTOWN	X	S		X		X	X	X	X	X	X	X	X	X	X	X

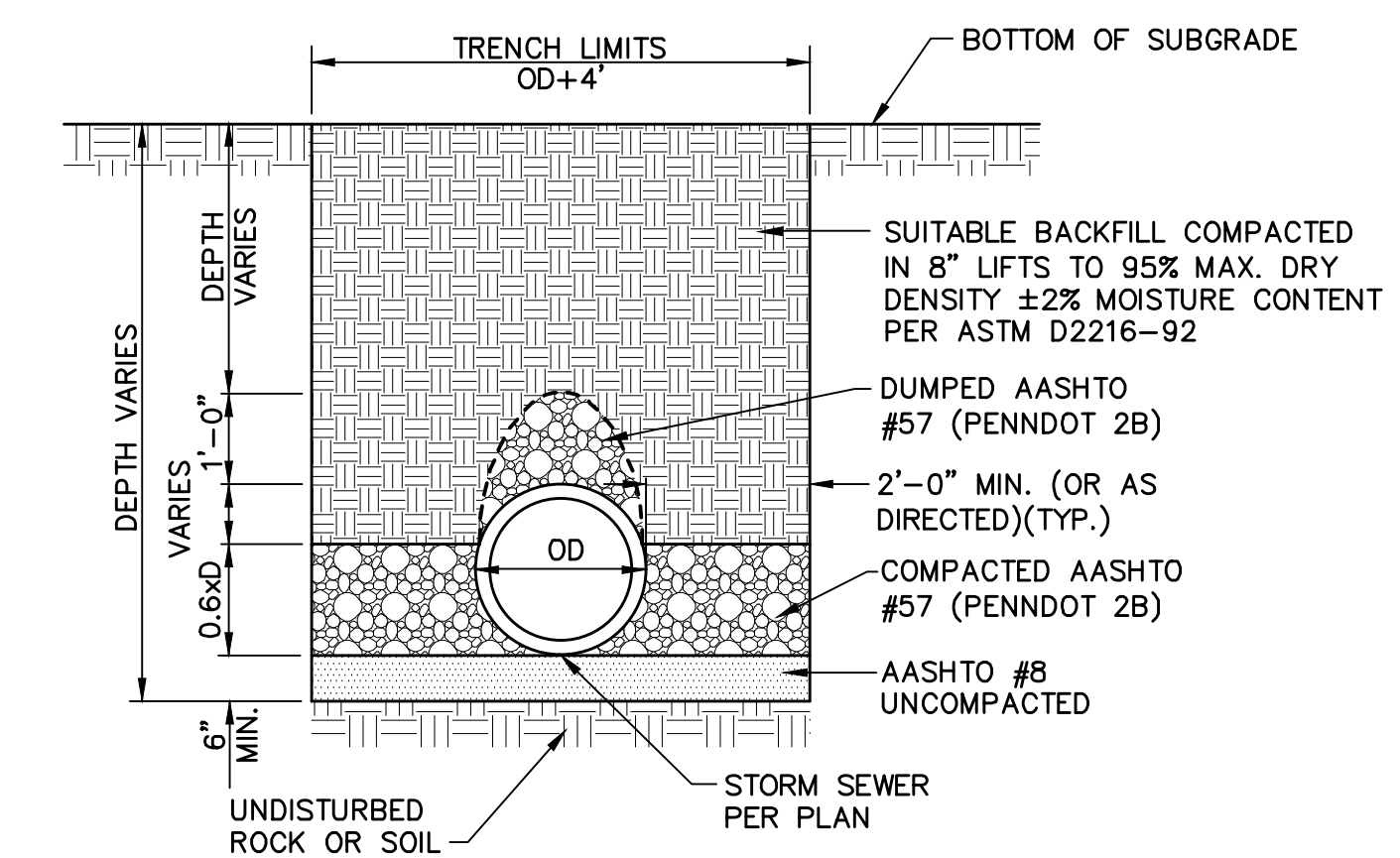


NOTES:
1. TOPSOIL MIXTURE SHALL CONSIST OF A MIXTURE OF 25 PERCENT CONCRETE SAND AND 75 PERCENT TOPSOIL. THE MIXTURE SHALL BE PLACED AS LOOSELY AS POSSIBLE WITH LIMITED PASSES OF TRACKED EQUIPMENT. FIELD ADJUSTMENTS TO THE SAND MIXTURE PERCENTAGE MAY BE NECESSARY IF THE TOPSOIL COMPOSITION CHANGES.
2. IF BEDROCK IS ENCOUNTERED DURING CONSTRUCTION OF BASIN, OVEREXCAVATE ROCK TO A MINIMUM OF TWO FEET BELOW THE BASIN BOTTOM. INCREASE PLANTING SOIL DEPTH TO THE BEDROCK. A SEPARATION GEOTEXTILE FABRIC SHALL BE PLACED BETWEEN THE ROCK SURFACE AND INFILTRATION MEDIA.
3. IF PERCHED WATER IS ENCOUNTERED DURING CONSTRUCTION OF THE BASIN, OVER EXCAVATION MAY BE REQUIRED TO ALLEVIATE THE CAUSE OF THE TRAPPED SURFACE WATER. INCREASE THE PLANTING SOIL DEPTH TO THE BOTTOM OF THE EXCAVATION.
4. BASIN BOTTOM ELEVATION IS THE FINISHED GRADE OF THE BASIN.
5. OVEREXCAVATED AREA SHALL BE BACKFILLED WITH RECOMMENDED INFILTRATION MEDIA TOPSOIL MIXTURE OF 25 PERCENT CONCRETE SAND AND 75 PERCENT TOPSOIL.
6. LARGE ROCKS, FROZEN MATERIAL, CONSTRUCTION DEBRIS, ETC SHALL NOT BE USED FOR BACKFILL MATERIAL.

INFILTRATION BASIN SOIL MEDIA DETAIL
NOT TO SCALE



STORM TRENCH DETAIL (PLASTIC OR METAL)
NOT TO SCALE



STORM TRENCH DETAIL (CONCRETE)
NOT TO SCALE

BASIN NUMBER	TOP ELEVATION	TOP OF EMBANKMENT (FT.)	SIDE SLOPE	BOTTOM OF BASIN ELEVATION (FT.)	SOIL MIX DEPTH (E) (FT.)	BOTTOM OF TOPSOIL ELEVATION (F) (FT.)	UNDERDRAIN INVERT ELEVATION (G) (FT.)	OUTLET PIPE INVERT ELEVATION (H) (FT.)	OUTLET STRUCTURE DIMENSIONS (FT.)	CLEANOUT ELEVATION (J) (FT.)
RAINGARDEN 1	641.00	641.00	3:1	637.00	2.0	635.00	635.50	635.50	2'x4'	637.00
RAINGARDEN 2	647.00	647.00	3:1	644.00	2.0	642.00	642.50	642.00	2'x4'	644.00
RAINGARDEN 3	653.00	653.00	3:1	649.50	2.0	648.00	648.50	645.46	2'x4'	650.00
RAINGARDEN 4	648.00	648.00	3:1	644.50	2.0	642.50	643.82	643.82	2'x4'	645.00
RAINGARDEN 5 *	648.00	648.00	3:1	644.50	2.0	642.50	643.09	643.09	2'x4'	645.00

* NOTE: THERE MAY BE MULTIPLE OUTLET STRUCTURES LOCATED WITHIN THESE FACILITIES. REFER TO PLANS FOR DETAILS

RAIN GARDEN W/ PERFORATED UNDERDRAIN
NOT TO SCALE

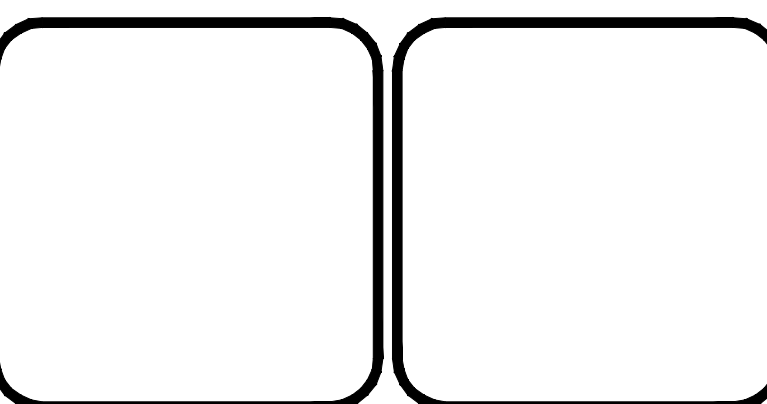
GEOTECHNICAL EXPLORATION

THE FOLLOWING CONCLUSIONS AND RECOMMENDATIONS AND SPECIFICATIONS WERE OBTAINED FROM:
FINAL STORMWATER INFILTRATION REPORT
200 ALLEMAN ROAD
GUILFORD TOWNSHIP, FRANKLIN COUNTY, PA
BY GEO-TECHNOLOGY ASSOCIATES, INC.

INFILTRATION CONCLUSIONS AND RECOMMENDATIONS

BASED ON OUR EXPLORATIONS AND ANALYSES, STORMWATER INFILTRATION PRACTICES ARE EXPECTED TO BE FEASIBLE AT THE EXPLORED AREAS. HOWEVER, SEASONALLY HIGH GROUNDWATER AND BEDROCK ARE CONSIDERED AS INFILTRATION LIMITING ZONES PER THE MANUAL AND THE FACILITIES SHOULD BE FOUNDED AT LEAST TWO FEET ABOVE ANY NOTED LIMITING ZONES. SHALLOW BEDROCK WAS PREVALENT ACROSS THE SITE AND WILL LIMIT THE FEASIBLE DEPTH OF INFILTRATION.
THE MEASURED INFILTRATION RATES WERE VARIABLE RANGING FROM 0.53 TO 7.5 INCHES PER HOUR. THE VERY HIGH INFILTRATION RATE OF 17 INCHES AN HOUR IN IT-10, SHOULD BE DISCARDED AS AN ANOMALY AND NOT AN ACCURATE INDICATION OF THE INFILTRATION RATES OF THE SOLS. WHERE RATES EXCEED 6.0 IN/HR., THE PLACEMENT OF A SOIL BUFFER OVER THE SUBGRADES MAY BE REQUIRED, AS DESCRIBED IN THE MANUAL.
THE FIELD RATES PROVIDED IN THE TABLE ABOVE ARE UNFACTORED, AND SHOULD BE AVERAGED PER THE MANUAL, AND FACTORED BY 2, TO DETERMINE THE DESIGN RATES. PRUDENT ENGINEERING JUDGEMENT SHOULD BE USED TO DETERMINE THE FINAL DESIGN RATES THAT WILL REASONABLY BE EXPECTED IN THE TYPICAL SITE CONDITIONS AS DESCRIBED HEREIN.
THE FACILITY DEPTHS SHOULD BE AS SHALLOW AS POSSIBLE TO AVOID ROCK AND PINNACLES, WHERE COMPETENT BEDROCK IS ENCOUNTERED DURING CONSTRUCTION OF THE SWM INFILTRATION FACILITIES. IT SHOULD BE REMOVED TO A DEPTH OF 2 FEET BELOW THE BOTTOM OF THE FACILITY AND REPLACED WITH AN APPROVED ENGINEERED INFILTRATION MEDIA. A SEPARATION GEOTEXTILE FABRIC SHALL BE PLACED BETWEEN THE ROCK SURFACE AND INFILTRATION MEDIA TO REDUCE THE POTENTIAL FOR LOSS OF THE MEDIA IN ROCK FRACTURES RESULTING FROM EXCAVATION AND BLASTING. WE RECOMMEND USING INFILTRATION MEDIA CONSISTING OF A MIXTURE OF 25 PERCENT CONCRETE SAND AND 75 PERCENT TOPSOIL BECAUSE THE INFILTRATION RATE IS RELATED TO THE SOIL DENSITY. THE MIXTURE SHALL BE PLACED AS LOOSELY AS POSSIBLE WITH LIMITED PASSES OF TRACKED EQUIPMENT. FIELD ADJUSTMENTS TO THE SAND MIXTURE PERCENTAGE MAY BE NECESSARY IF THE TOPSOIL COMPOSITION CHANGES.
INFILTRATION RATES IN FINE-GRAINED RESIDUAL SOILS ARE HIGHLY DEPENDENT ON THE SECONDARY POROSITY CREATED BY SOLUTIONING, BIOLOGICAL ACTIVITY (ROOTS AND BURROWS), AND DESICCATION CRACKS. THESE DELICATE SECONDARY FEATURES ARE DIFFICULT TO PRESERVE DURING CONSTRUCTION. THE NATURAL SOIL CONDITIONS MUST BE CAREFULLY PROTECTED FROM COMPACTION DURING CONSTRUCTION. EXCAVATION OF THE FINAL TWO FEET ABOVE THE BOTTOM OF THE FACILITY SHOULD TAKE PLACE FROM THE PERIMETER OF THE FACILITY WITH A HYDRAULIC EXCAVATOR OR LOW GROUND PRESSURE EQUIPMENT, IF POSSIBLE. DESIGN AND CONSTRUCTION MEASURES SHOULD BE PROVIDED TO LIMIT DISTURBANCE AND COMPACTION OF THE SUBGRADES AND SOIL EROSION INTO THE FACILITIES, AND THUS THE POTENTIAL TO REDUCE THE INFILTRATION CHARACTERISTIC OF THE SURFACE SOILS. IF IT IS POSSIBLE THAT THE INFILTRATION FACILITIES MAY FUNCTION DIFFERENTLY THAN PLANNED, DEPENDING ON LOCALIZED SUBSURFACE CONDITIONS, CARE TAKEN DURING CONSTRUCTION, AND THE PASSAGE OF TIME.
THE CARBONATE BEDROCK AND PRESENCE OF RELATIVELY SHALLOW ROCK PRESENTS A MODERATE TO HIGH RISK OF SOLUTION ACTIVITY. THE CLIENT SHOULD UNDERSTAND THAT INFILTRATION OF STORMWATER CAN PROMOTE AND ACCELERATE THE DEVELOPMENT OF SINKHOLES, AND THAT PERIODIC SINKHOLE REPAIR WILL BE LIKELY DURING THE LIFE OF THE FACILITY. THE CLIENT SHOULD BE NOTIFIED WHEN SINKHOLES OR GROUND SURFACE DEPRESSIONS OCCUR, IN ORDER TO EVALUATE THE CONDITIONS AND DEVELOP THE MITIGATION MEASURES. THIS WILL TYPICALLY ENTAIL EXCAVATION OF THE SINKHOLE TO EXPOSE THE CONDITIONS, THREATS, AND ROCK STRUCTURE. POSSIBLE METHODS OF REPAIR WILL DEPEND ON THE SPECIFIC CONDITIONS AND MAY INCLUDE AN INVERTED FILTER OF ROOTBALL AND AGGREGATE, LOW PERMEABILITY SOIL FLAGGING, OR GROUT/FLOWABLE FILL BACKFILLING.
PADEP INDICATES THAT A LOADING RATIO OF 3:1 IS RECOMMENDED FOR KARST TERRAIN. HOWEVER, WE UNDERSTAND THAT THE SITE WILL HAVE A LOADING RATIO OF APPROXIMATELY 6:1 ALTHOUGH THIS RATIO EXCEEDS THE VALUES RECOMMENDED FOR KARST SITES BY THE PENNSYLVANIA'S STORMWATER BEST MANAGEMENT PRACTICES MANUAL (MANUAL). WE BELIEVE THAT THE RATIOS WILL NOT CREATE A HIGH RISK TO THE FUNCTIONING OF THE FACILITIES. FOR THE FOLLOWING REASONS:
• THE MANUAL STATES THAT A COMMON REASON FOR SYSTEM FAILURE IS THE DESIGN OF SYSTEMS THAT INFILTRATE SUBSTANTIAL VOLUMES IN A SMALL AREA. SINCE GROUNDWATER IS DEEPER WITHIN THE POROUS KARST BEDROCK, THERE IS NOT A CONCERN WITH MOUNDING OF INFILTRATING WATER ON THE GROUNDWATER TABLE OR ON THE TOP OF ROCK SURFACE.
• WE UNDERSTAND THAT THE MAJORITY OF THE STORMWATER ENTERING THE BMP WILL EITHER BE FROM ROOF WATER, WHICH IS EXPECTED TO BE RELATIVELY CLEAN, OR WILL BE DIRECTED THROUGH GRASS SWALES BEFORE ENTERING THE FACILITY. THE GRASS SWALES WILL HELP FILTER SEDIMENT AND CONTAMINATES. THERE ARE NO FACILITIES THAT ALLOW FOR DIRECT INTRODUCTION OF PAVEMENT RUNOFF INTO THE BMP FACILITY.
• THE SWALES WILL INFILTRATE WATER; HOWEVER, THIS INFILTRATION HAS NOT BEEN FACTORED INTO THE LOADING RATIO CALCULATION FOR THE SITE.
• THE INFILTRATION FACILITIES ARE SEPARATED FROM BUILDINGS, PAVEMENTS AND OTHER CRITICAL STRUCTURES, SUCH THAT SINKHOLES WILL NOT COMPROMISE THE STABILITY OF SUCH STRUCTURES.
• THE SOIL OVERBURDEN IS OFTEN SHALLOW, WHICH WILL RESULT IN SMALLER DIAMETER SINKHOLES, AS COMPARED TO DEEP SOIL OVERBURDEN, WHICH CAN DEVELOP MUCH LARGER SINKHOLES.

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB



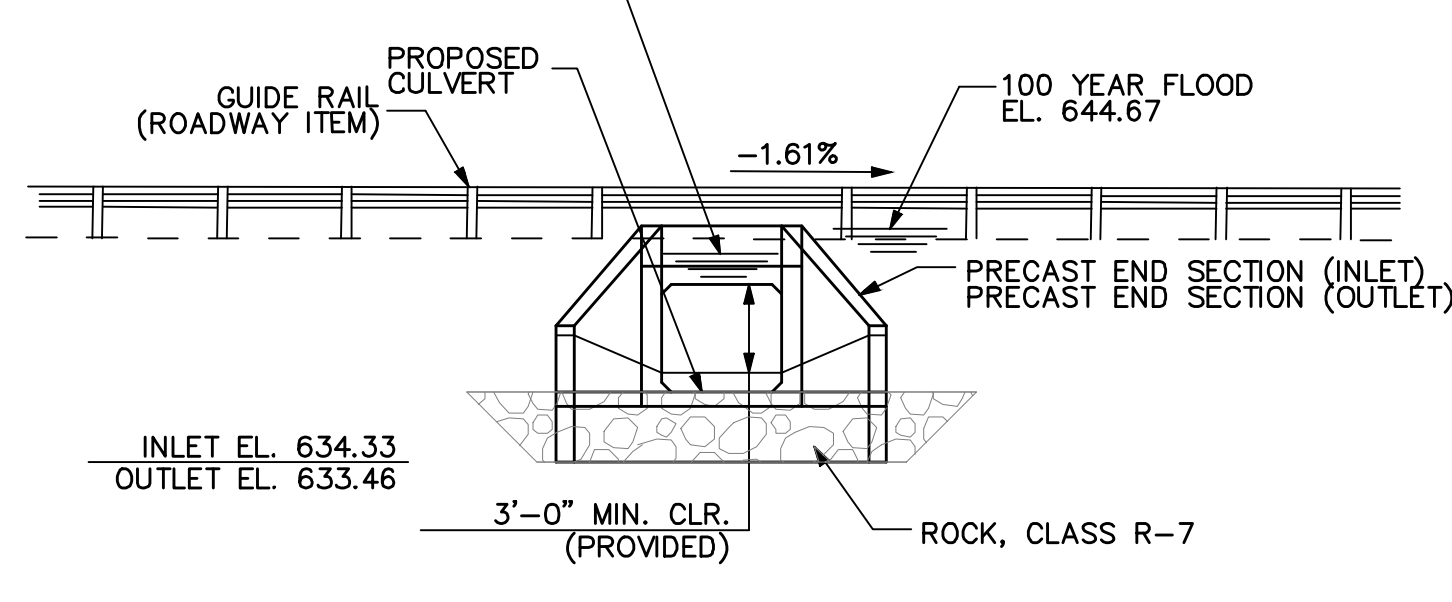
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ALLEMAN ROAD PROPERTY, LLC
4 RADNOR CORPORATE CENTER
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RADNOR, PA 19807
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CONSTRUCTION DETAILS - STORMWATER		PROJ. MGR. - SBB	DRAWING NO.
DESIGN- HED/CAC	CADD- TLB	CHECKED- SBB	CD-9
SCALE- AS SHOWN	DATE- 2021.08.24		SHEET NO. 50 OF 51
GUILFORD TOWNSHIP	FRANKLIN COUNTY	PENNSYLVANIA	PROJECT 008499.0425

NOTE A:
SPECIAL BACKFILL IN THIS AREA (FROM END OF WING TO 10' FROM END OF BOX) MUST CONSIST OF COMPACTED NO. 2A COARSE AGGREGATE OR FLOWABLE BACKFILL, TYPE B. (TYPICAL EACH SIDE AT INLET END OF STRUCTURE.)

NOTE B:
PLACE STREAMBED MATERIAL SALVAGED FROM EXCAVATION ON TOP OF R-6 ROCK TO A HEIGHT EVEN WITH THE TOP OF BAFFLES. INCIDENTAL TO CLASS 3 EXCAVATION.



ELEVATION NOT TO SCALE

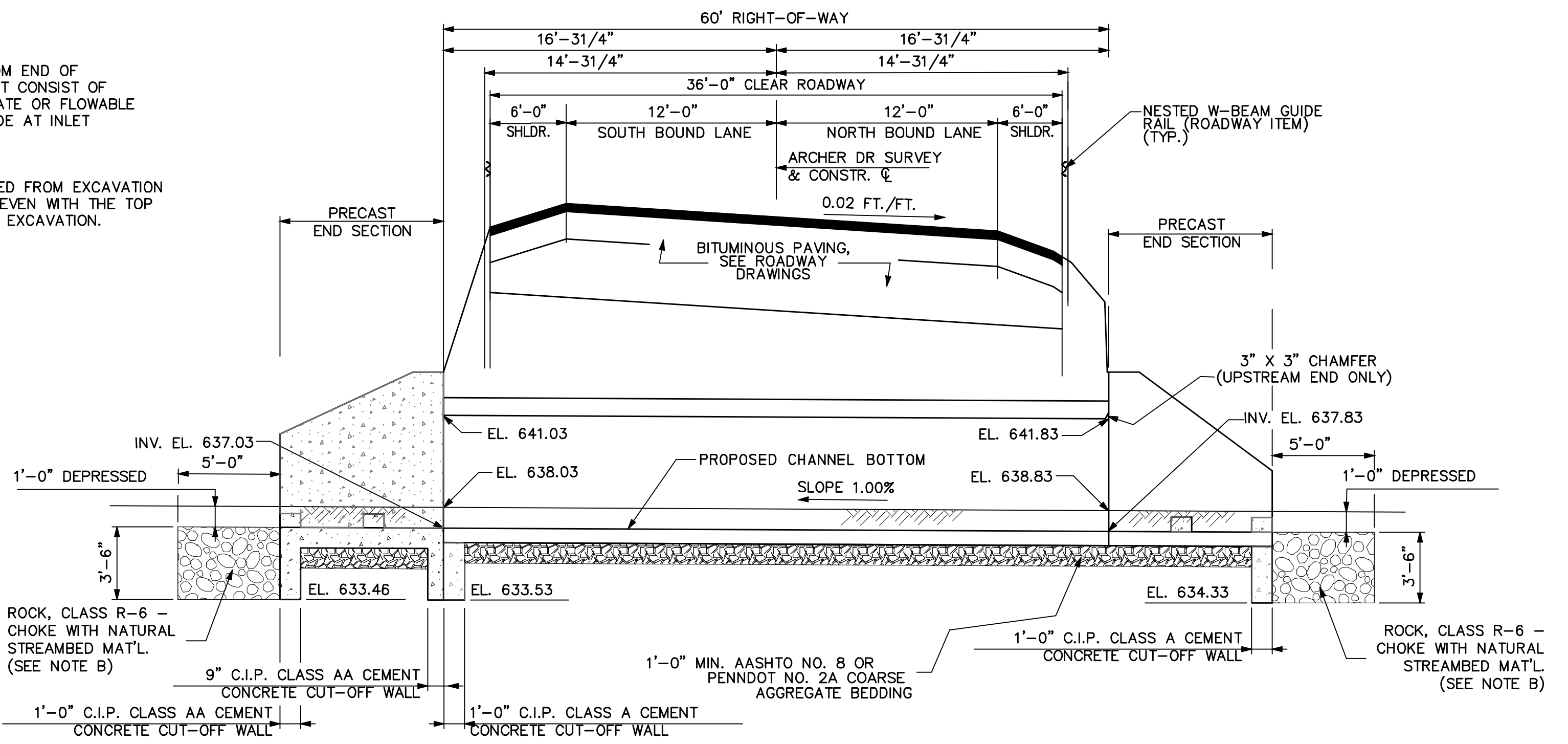
HYDRAULIC DATA

DRAINAGE AREA = 0.64 SQ. MI.
 DESIGN FLOOD:
 FREQUENCY = 25 YEARS
 MAGNITUDE = 144 CFS
 VELOCITY = 6.37 FPS
 ELEVATION = 642.57

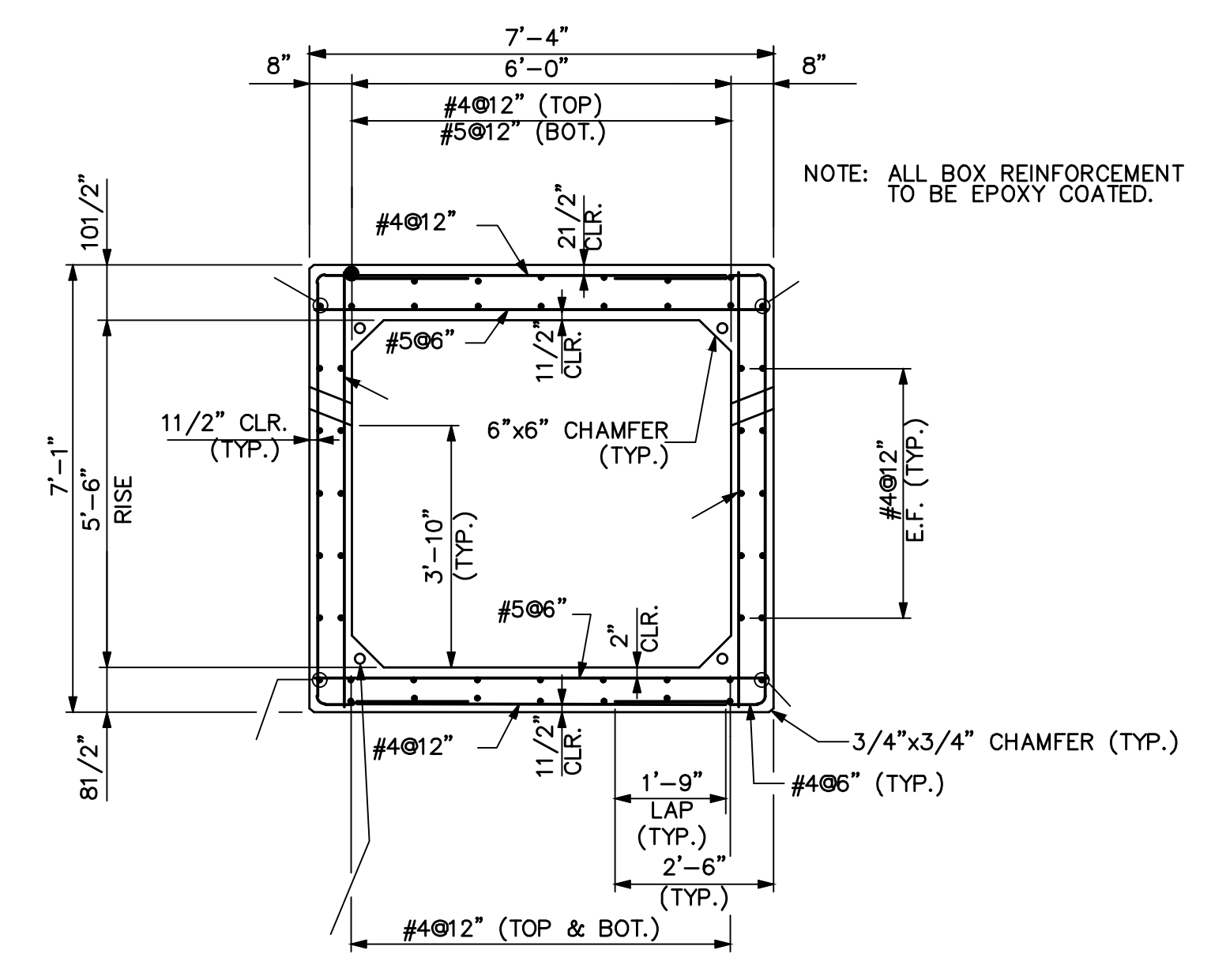
100 YR. FLOOD:
 MAGNITUDE = 250 CFS
 VELOCITY = 7.53 FPS
 ELEVATION = 644.67

FLOOD OF RECORD: N/A

EXISTING WATERWAY OPENING: N/A
 PROPOSED WATERWAY OPENING: 32.0 S.F.
 NORMAL WATER SURFACE ELEVATION: 641.75
 PROPOSED FULL FLOW CAPACITY: . CFS

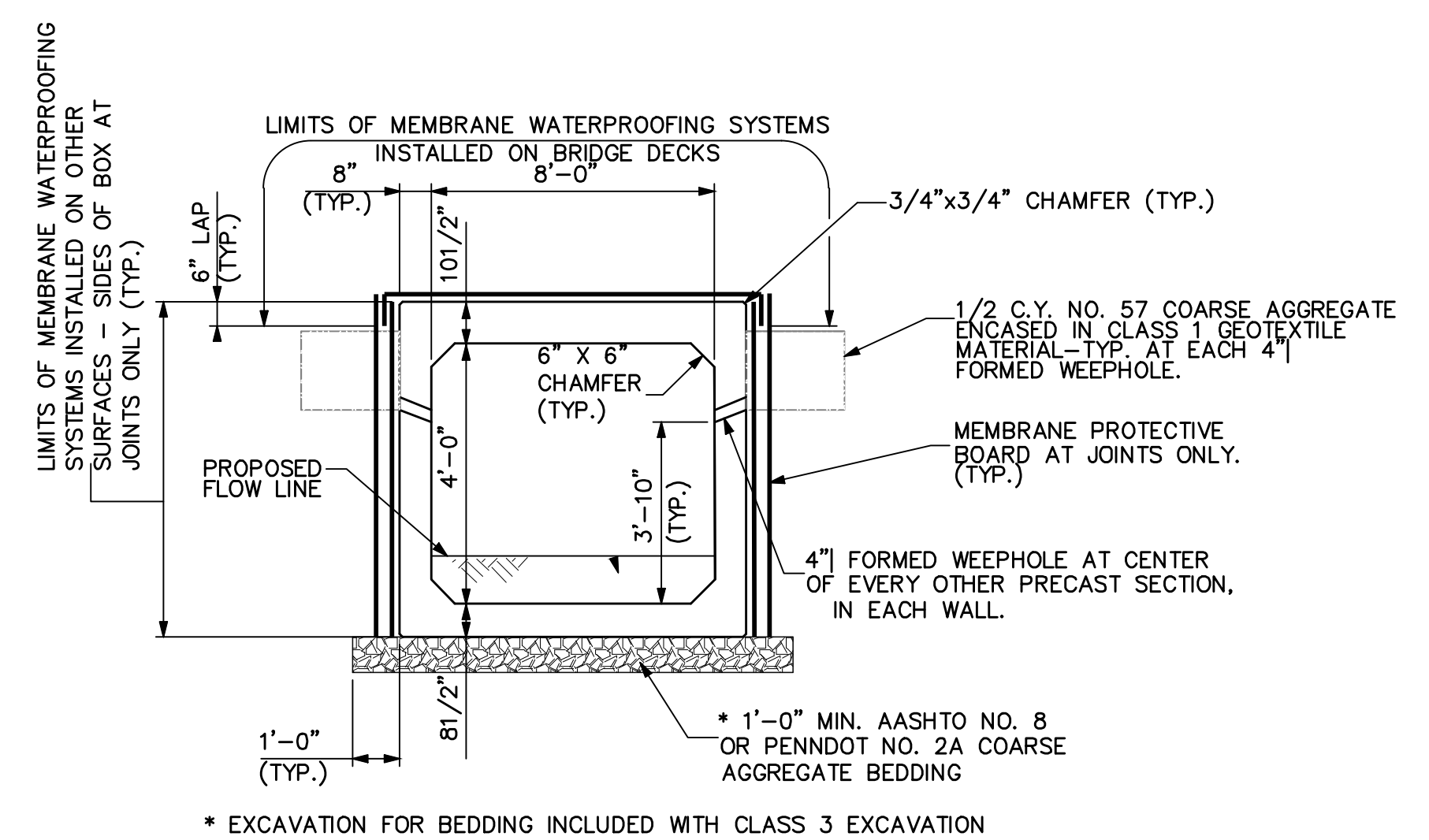


SECTION A-A NOT TO SCALE

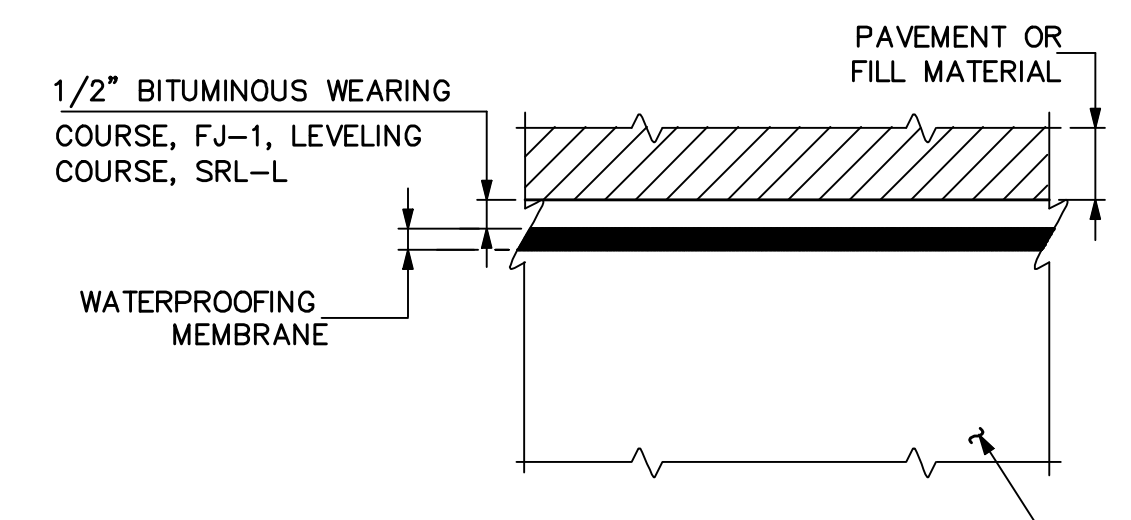


PRECAST BOX SECTION

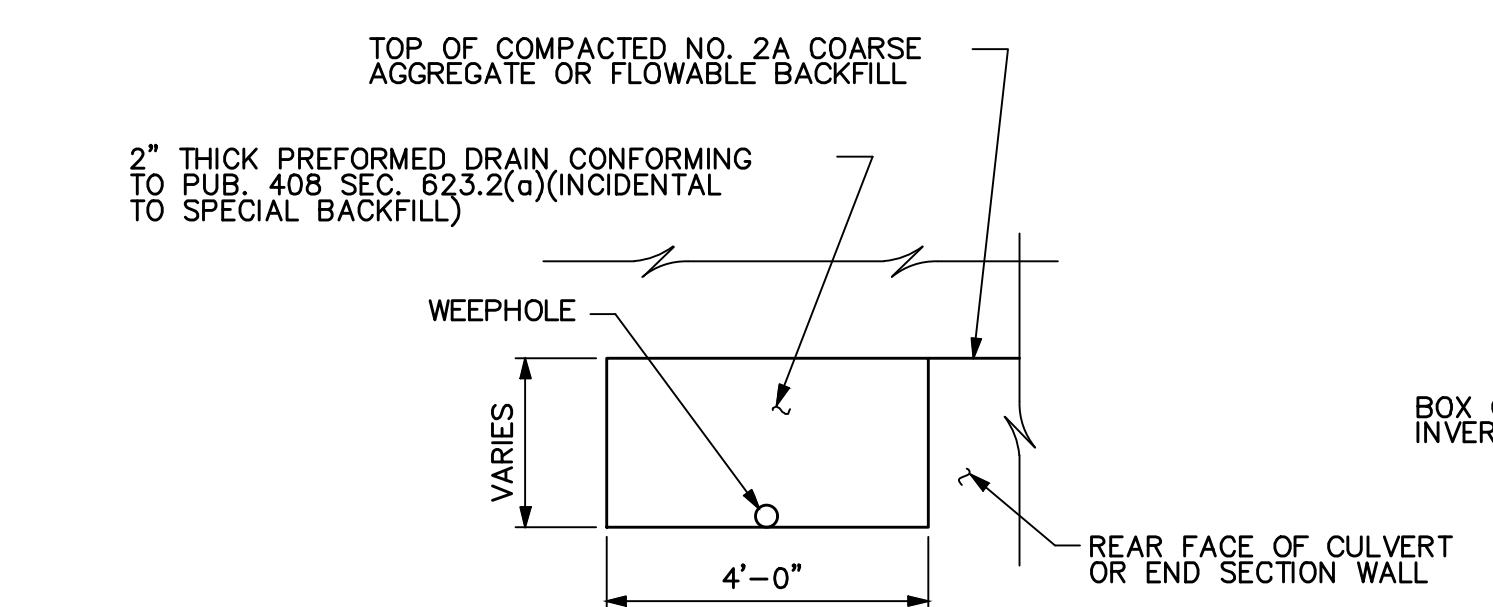
0 1 2 FEET



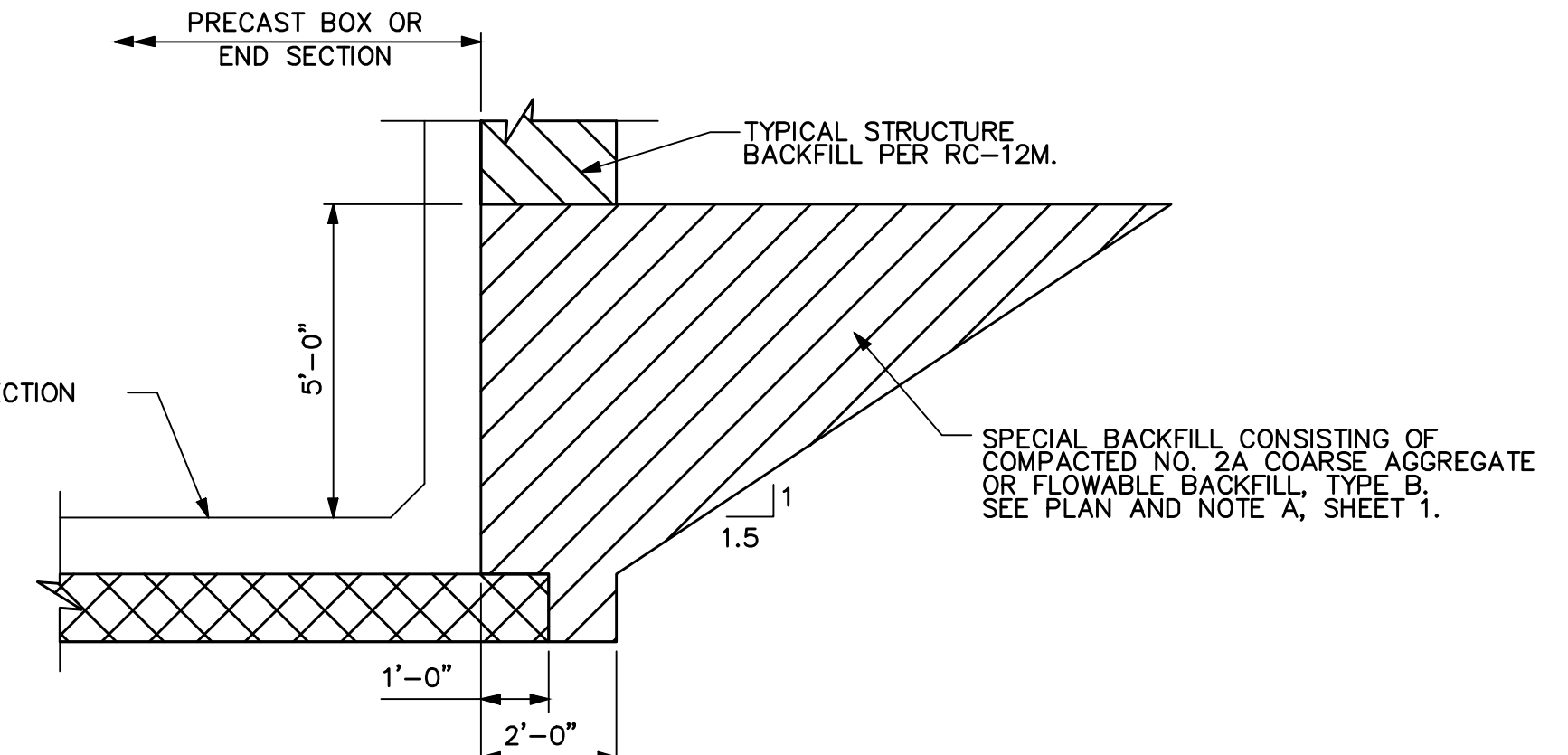
TYPICAL BOX SECTION NOT TO SCALE



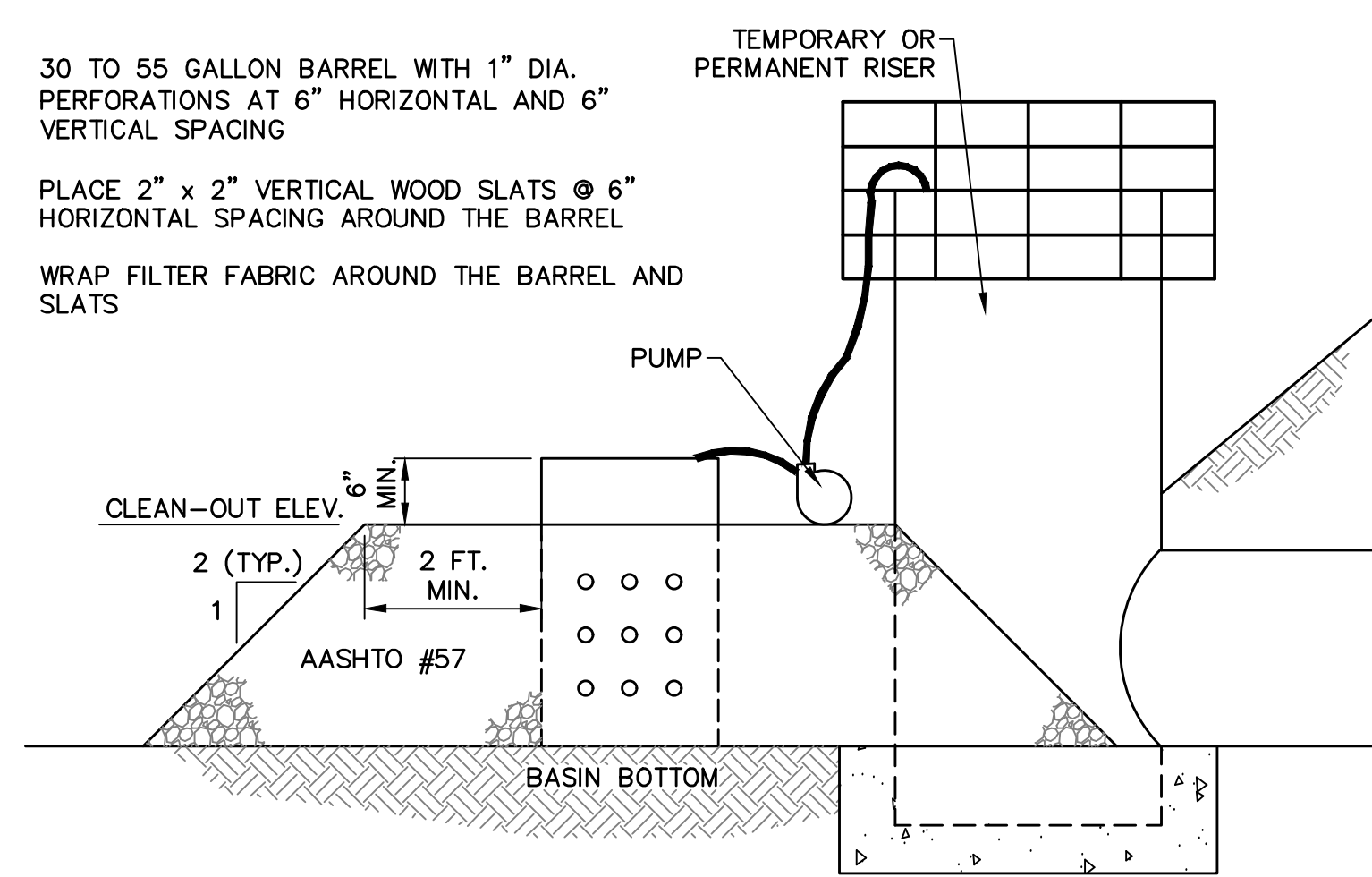
WATERPROOFING DETAIL NOT TO SCALE



PREFORMED DRAIN DETAIL NOT TO SCALE



SPECIAL BACKFILL DETAIL AT INLET END NOT TO SCALE



NOTES:
 DEWATERING FACILITY SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF BASIN/TRAP.
 PRIOR TO INITIATING OPERATION OF DEWATERING FACILITY, ALL ACCUMULATED SEDIMENT SHALL BE CLEANED FROM THE INSIDE OF THE BARREL.
 DEWATERING FACILITY SHALL BE CONTINUOUSLY MONITORED DURING OPERATION. IF FOR ANY REASON THE DEWATERING FACILITY CEASES TO FUNCTION PROPERLY, IT SHALL BE IMMEDIATELY SHUT DOWN AND NOT RESTARTED UNTIL THE PROBLEM HAS BEEN CORRECTED.

**STANDARD CONSTRUCTION DETAIL #7-18
 SEDIMENT BASIN OR SEDIMENT TRAP
 SEDIMENT STORAGE DEWATERING FACILITY
 NOT TO SCALE**

NOTE: ONLY USE PREFORMED DRAIN IN BACKFILL AREAS REQUIRING COMPACTED NO. 2A COARSE AGGREGATE OR FLOWABLE BACKFILL.

NO.	REVISION	DATE	BY
2	PER TWP ENGINEER REVIEW COMMENTS	2022.02.23	TLB CAC
1	PER TWP ENGINEER REVIEW COMMENTS	2021.12.16	TLB

HRG
 Herbert, Rowland & Grubic, Inc.
 Engineering & Related Services
 AN EMPLOYEE-OWNED COMPANY

207 Grant Street
 Chambersburg, PA 17201
 (717) 263-2070
 hrg@hrg-inc.com
 www.hrg-inc.com

ALLEMAN ROAD PROPERTY, LLC
 4 RADNOR CORPORATE CENTER
 SUITE 105
 RADNOR, PA 19807
 484-320-7808 OFFICE

CONSTRUCTION DETAILS - STORMWATER
 FOR
 ALLEMAN ROAD PROPERTY, LLC

PROJ. MGR. - SBB
 DESIGN - HED/CAC
 CADD - TLB
 CHECKED - SBB
 SCALE - AS SHOWN
 DATE - 2021.08.24

GUILFORD TOWNSHIP
 FRANKLIN COUNTY
 PENNSYLVANIA

DRAWING NO.
CD-10

SHEET NO.
51 OF 51

PROJECT R008499.0425

PENNSYLVANIA PUBLIC UTILITY COMMISSION

Application of the Department of Transportation :
of the Commonwealth of Pennsylvania :
for approval to alter the public at-grade crossing :
by the installation of the new automatically :
operated flashing light crossing warning signal :
where South Third Street (T-559) crosses the : A-2015-2466693
single track of Norfolk Southern Railroad :
Company (DOT No: 535 152 B) in Guilford :
Township, Franklin County all in accordance with :
the Federal Grade Crossing Program and the :
Allocation of costs incident thereto :

CERTIFICATE OF SERVICE

I hereby certify that a true and correct copy of Guilford Township’s Status Report was served upon the parties listed below by First Class Mail.

Stephen K. Haas
Administrative Law Judge
Pennsylvania Public Utility Commission
P.O. Box 3265
Harrisburg, PA 17105-3265

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Nauman Smith Shissler & Hall
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Karen L. Cummings, Esquire
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Black & Davison P.C.
Franklin County Solicitor
14 North Main Street
Chambersburg, PA 17201

Kayla L. Rost, Esq.
Pennsylvania Public Utility Commission
Bureau of Investigation and Enforcement
400 North Street
Harrisburg, PA 17120

Respectfully Submitted,

SALZMANN HUGHES, P.C.

Dated: April 11, 2022

By: /s/ Scott T. Wyland