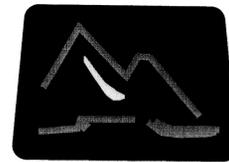


MAJOR SUBDIVISION FINAL PLAN HIDDEN FOREST PHASE 2

SECTION OF



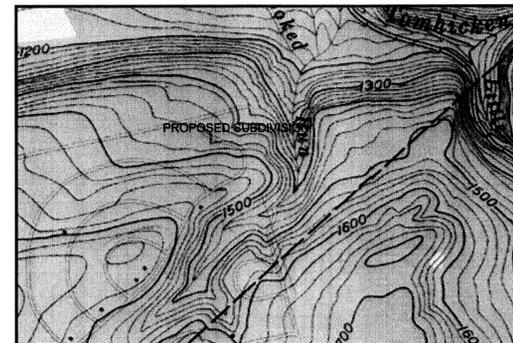
EAGLE ROCK

NORTH UNION TOWNSHIP, SCHUYLKILL COUNTY, PENNSYLVANIA

OWNER/SUBDIVIDER
EAGLE ROCK RESORT CO.
1031 VALLEY OF LAKES,
HAZLETON, PA 18201

PREPARED BY:
BRINKASH
ASSOCIATES, INC.
SURVEYING & ENGINEERING
1713 CENTRE STREET ASHLAND, PA 17921
(570)-875-1018 (PHONE) (570)-875-1670 (FAX)

LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SOILS TYPE
	PROPOSED ELECTRIC
	PROPOSED SEWER
	PROPOSED WATER
	PROPOSED FIRE HYDRANT
	STORMWATER PIPE/OUTLET PROTECTION
	WINGED ENDWALL/HEADWALL
	FILTER FABRIC FENCING (SIZE)
	MINIMUM BLDG. SETBACK LINE
	PROPOSED STREET SIGN
	PROPOSED STOP SIGN
	PROPOSED IRON PIN TO BE SET
	PROPOSED CHECK DAM
	75' CLEAR SIGHT TRIANGLE
	ROCK CONSTRUCTION ENTRANCE
	SOILS BOUNDARY



DATE:
MAY 15, 2014
REVISED:
JULY 2, 2014

PREVIOUSLY GRANTED MODIFICATIONS
(APPROVED 4/16/14 COUNTY PLANNING COMMISSION MEETING)

1. 1122.A - The Ordinance requires underground utilities in accordance with PA PUC order of July 8, 1970. Modification request was approved for the deferment of the utility location to the P.U.C.
2. 703.A.1.i - Landscape Plan - Modification request was approved to exclude the requirement of the submission of a Landscape Plan.
3. 1105.G - Lot Access - 75 feet minimum distance from driveways to intersecting streets. The modification request was approved to reduce the minimum distance from driveways to intersection streets from the required 75 feet to 50 feet.
4. 1105.A - Land Requirements - development of lots in excess of 25% slope. Modification request was approved with the condition that a note on the Final Plan which specifically enumerates by lot number all lots with slope in excess of 25%, the note must also include a statement indicating that approved zoning variance may be required in order to develop those lots in accordance with Section 308.C of the Schuylkill County Zoning Ordinance.
5. 1111.D.2.b - Street Grades - cross slope of 2% - Modification request was approved for 2% cross slope to be consistent with the approved Individual NPDES permit.
6. 1111.B - Grades in excess of 10% - Modification request for roadway grades in excess of 10% to allow a maximum roadway grade of 15% was approved.
7. 1109 Right of Way and Cartway widths: shoulders 4' wide - The modification request to maintain the 4 foot wide shoulder was approved.
8. 1121.O - Required fifty (50') foot setback from storm water basins. - The modification request to reduce the required 50 foot setback from stormwater basins to at least 10 feet setback on all facilities noting that no infiltration facilities are located up gradient of structures was approved.
9. 1118 Curbing - The modification request regarding no curbing was approved.
10. 1125 - Sidewalks - The modification request regarding no sidewalks was approved.

DEED REFERENCE: DB. 230, PG. 118
TAX ID NO.: MAP ID: 19-06-00027.00
NORTH UNION TOWNSHIP

RECORDER OF DEEDS

Notary Public
A. Matthew Duzan
Recorder of Deeds

201400008469
Filed for Record in
SCHUYLKILL COUNTY, PA
MARIE SCHULTZ, RECORDER OF DEEDS
07-16-2014 at 11:53 am
MAP OR SUBD 195.00

Bk _____ Page _____
201400008469
EAGLE ROCK-HIDDEN FOREST PHASE 2
TO NORTH UNION
MAP BK 58 PG 447



UTILITY WARNING

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDON. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

INDEX OF DRAWINGS

- 1 OF 17 • COVER SHEET
- 2 OF 17 • GENERAL NOTES/ LINE TABLES
- 3 OF 17 • KEY MAP
- 4 OF 17 • SUBDIVISION PLAN-1
- 5 OF 17 • SUBDIVISION PLAN-2
- 6 OF 17 • SUBDIVISION PLAN-3
- 7 OF 17 • GRADING / UTILITY PLAN-1
- 8 OF 17 • GRADING / UTILITY PLAN-2
- 9 OF 17 • GRADING / UTILITY PLAN-3
- 10 OF 17 • PROFILE ROAD ISABELLA CREST-1
- 11 OF 17 • PROFILE ROAD ISABELLA CREST-2
- 12 OF 17 • PROFILE ROAD CEDAR CREEK DRIVE
- 13 OF 17 • CONSTRUCTION DETAILS-1
- 14 OF 17 • CONSTRUCTION DETAILS-2
- 15 OF 17 • CONSTRUCTION DETAILS-3
- 16 OF 17 • INDIVIDUAL LOT CONTROL-1
- 17 OF 17 • INDIVIDUAL LOT CONTROL-2

RESPONSIBILITY FOR MAINTENANCE AND REPLACEMENT OF FAILED BMP'S

THE EAGLE ROCK COMMUNITY ASSOCIATION (ERCA) WILL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF THE STORM WATER DETENTION AREAS INCLUDING SWALE AREAS, FOREBAYS, PIPES AND ALL COMMUNITY BMP'S. IT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS TO MAINTAIN THE DRYWELL AND RAINGARDEN SYSTEMS.

IN THE EVENT THAT ANY OF THE PROPOSED BMP'S FAIL AS DESIGNED OR AS CONSTRUCTED FOR ANY REASON, THE DEVELOPER AND THEIR HEIRS AND ASSIGNS SHALL BE RESPONSIBLE FOR REPLACEMENT IN ACCORDANCE WITH THE POST CONSTRUCTION STORMWATER MANAGEMENT PLANS. IN THE EVENT THAT DIFFERING SITE CONDITIONS AND/OR THE UNSUITABILITY OF DESIGNED BMP'S FOR THE FIELD CONDITION EXISTS, THE DEVELOPER AND THEIR HEIRS AND ASSIGNS MUST PRESENT AN ALTERNATIVE DESIGN FOR APPROVAL BY THE APPROPRIATE AGENCIES CONSISTENT WITH THE INTENT OF THIS POST CONSTRUCTION STORMWATER PLAN.

STORMWATER MAINTENANCE NOTE:

EAGLE ROCK SHALL HAVE THE RIGHT TO REPAIR, REPLACE OR MAINTAIN ANY DRAINAGE FACILITIES SHOWN WITHIN THE EASEMENTS PROVIDED ON THE SUBJECT PROPERTY.

I, MICHAEL P. BRINKASH PLS, PE, HAVE PREPARED AND HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF SCHUYLKILL CO. SUBDIVISION, LAND DEVELOPMENT, AND STORMWATER ORDINANCE.

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAT SHOWN AND DESCRIBED HEREON AS WELL AS ALL DRAWINGS BEARING MY SEAL, ARE TRUE AND CORRECT AS TO ACCURACY AS REQUIRED BY THE COMMISSION AND WERE PREPARED BY ME OR UNDER MY DIRECTION AND FOR WHICH I ACCEPT FULL RESPONSIBILITY, AND THAT THE PERMETER MONUMENTS HAVE BEEN ACCURATELY PLACED AS REQUIRED.

SIGNED THIS 7 DAY OF JULY, 2014.



MICHAEL P. BRINKASH PLS, PE 8/30/14

PA REGISTRATION NO. SU-056284-E
PA REGISTRATION NO. PE060680

OWNERS AFFIDAVIT:

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF SCHUYLKILL

ON THIS, THE 9th DAY OF July, 2014, BEFORE ME, THE UNDERSIGNED OFFICER PERSONALLY APPEARED Dan Duran, WHO BEING DULY SWORN ACCORDING TO LAW DEPOSES AND SAYS THAT HE IS THE AGENT OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS MADE AT HIS CONSENT, THAT HE ACKNOWLEDGED THE SAME TO BE HIS PLAN AND DESIRES IT TO BE RECORDED AS SUCH ACCORDING TO LAW.

SCHUYLKILL COUNTY PLANNING COMMISSION

APPROVED BY THE SCHUYLKILL COUNTY PLANNING COMMISSION THIS 16th DAY OF July, 2014

SIGNED Susan A Smith CHAIRMAN

SIGNED SECRETARY

UPI CERTIFICATION

CERTIFICATION OF PARCEL NUMBERS ONLY

DOES NOT CERTIFY CONTENTS OF THIS DOCUMENT

SCHUYLKILL COUNTY ASSESSMENT BUREAU

Dan Duran

Dianne J. French
NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
Notary Seal
Dianne J. French, Notary Public
Black Creek Twp., Luzerne County
My Commission Expires Dec. 10, 2014
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES
12/10/14 MY COMMISSION EXPIRES

GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO CREATE 87 SINGLE FAMILY RESIDENTIAL LOTS ON LANDS OWNED BY EAGLE ROCK RESORT CO.
- ALL PHYSICAL FEATURES AS SHOWN ON THIS PLAN ARE NOT SURVEYED WITH THE SAME DEGREE OF ACCURACY AS THE BOUNDARY LINES, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE, AS SHOWN ON THIS PLAN.
- EROSION AND SEDIMENT CONTROL PLAN APPROVAL IS REQUIRED FROM THE COUNTY CONSERVATION DISTRICT.
- BRINKASH ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF THE PUBLIC OR THE CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO PURCHASING MATERIALS AND CONSTRUCTION. IN THE EVENT OF A DISCREPANCY OR INCONSISTENCY WITH THESE PLANS AND/OR MANUFACTURER'S SPECIFICATIONS, THE CONTRACTOR OR DEVELOPER SHOULD NOTIFY THE ENGINEER IMMEDIATELY TO COORDINATE RESOLUTION.
- ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS, PUBLICATION 408, AND CONSTRUCTION STANDARDS, PUBLICATION 72, UNLESS OTHERWISE NOTED.
- STREET NAME AND TRAFFIC CONTROL SIGNS SHALL BE IN ACCORDANCE WITH SECTION 1205.A OF THE SCHUYLKILL COUNTY SALDO.
- CULVERTS SHALL BE PLACED AT ALL LOW POINTS BE CLEARED OF DEBRIS AND PROVIDED WITH POSITIVE DRAINAGE.
- THE ENTIRE PUBLIC SEWAGE SYSTEM AND WATER SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
- SOILS INFORMATION OBTAINED FROM THE SCHUYLKILL COUNTY SOILS SURVEY, BRINKASH AND ASSOCIATES, INC. DOES NOT CERTIFY TO THE ACCURACY OF INFORMATION CONTAINED WITHIN SAID SOILS SURVEY.
- IRON PINS SHALL BE PLACED AT ALL LOT CORNERS UPON FINAL APPROVAL.
- FINAL DESIGN OF THE SANITARY SEWER SYSTEM AND COMMUNITY WATER SYSTEM WILL BE PERFORMED BY OTHERS AND IS SUBJECT TO APPROVAL BY AQUA PENNSYLVANIA AND DEP WHERE APPLICABLE.
- THE EAGLE ROCK COMMUNITY ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL ROADS, STORMWATER FACILITIES AND OTHER PUBLIC IMPROVEMENTS.
- ALL ELECTRIC, TELEPHONE AND OTHER UTILITIES SHALL BE INSTALLED OVERHEAD.
- EASEMENTS, 20' IN WIDTH SHALL BE CENTERED ON ALL PROPERTY LINES FOR SURFACE DRAINAGE, UTILITY CONSTRUCTION, AND ACCESS TO STORMWATER MANAGEMENT FACILITIES AND OPEN SPACES.
- ALL STORMWATER PIPES SHALL BE THE SUBJECT OF A 20' EASEMENT CENTERED ON THE FINAL LOCATION OF THE PIPE.
- NO CURBS OR SIDEWALKS ARE PROPOSED WITH THIS SUBDIVISION
- STREET LIGHTING SHALL BE WILL BE INSTALLED AT MAJOR INTERSECTIONS AS SHOWN ON THE PLANS.
- ALL OPEN SPACE TO BE MAINTAINED BY THE EAGLE ROCK COMMUNITY ASSOCIATION AND/OR THE DEVELOPER.
- CLEAR SIGHT TRIANGLES ARE DEPICTED ON THE SUBDIVISION PLANS. ALL BRUSH AND TREES SHALL BE REMOVED IN THESE AREAS.
- THE SPEED LIMIT OF THE DEVELOPMENT IS 25 M.P.H. THIS SPEED IS POSTED AT THE ENTRANCES TO THE DEVELOPMENT.
- DRIVEWAYS SHALL BE IN ACCORDANCE WITH SECTION 1117 OF THE SCHUYLKILL CO. SALDO.
- THIS PLAN HAS BEEN SUBMITTED IN CONJUNCTION WITH A STORMWATER MANAGEMENT AND EROSION CONTROL REPORT. THE DEVELOPER/CONTRACTOR/ENGINEER SHALL REFERENCE THIS DOCUMENT FOR DRAINAGE PATTERNS AND MISC. SPECIFICATIONS.
- FIRE HYDRANTS SHALL MEET THE SPECIFICATIONS AND REQUIREMENTS OF NORTH UNION TOWNSHIP AS APPLICABLE..
- EACH LOT OWNER SHALL BE REQUIRED TO INSTALL ON-LOT SWM BMP AND DRIVEWAY CULVERT WHERE APPLICABLE IN ACCORDANCE WITH SPECIFICATIONS WITHIN THIS PLAN.
- HOUSE LIGHTING WILL BE PROVIDED IN THE FORM OF INDIVIDUAL LOT DUSK TO DAWN LIGHT POSTS IN ACCORDANCE WITH EAGLE ROCK'S COVENANTS AND RESTRICTIONS.
- ELECTRIC, CABLE TELEVISION, AND TELEPHONE SERVICE WILL BE INSTALLED OVERHEAD. POLE LOCATION WILL BE DETERMINED BY THE APPLICABLE UTILITY COMPANIES.
- FLARED END SECTIONS SHALL BE PROVIDED FOR ALL CULVERT PIPES.
- THE PROPOSED DEVELOPMENT IS PRIVATE AND NO RIGHTS OF WAY ARE INTENDED FOR DEDICATION TO NORTH UNION TOWNSHIP.
- NO RIGHT OF WAY OR INFRASTRUCTURE IMPROVEMENTS ARE INTENDED FOR DEDICATION TO NORTH UNION TOWNSHIP.
- PHYSICAL FEATURES SHOWN ON THIS PLAN ARE COMBINATION OF AERIAL MAPPING AND FIELD SURVEY. OFFSITE PHYSICAL FEATURES SHOULD BE USED FOR REFERENCE ONLY. VERTICAL DATUM IN NAVD 88.
- PLEASE REFERENCE RECORD BOOK 2327 PAGE 1991 RECORDED IN THE SCHUYLKILL COUNTY COURTHOUSE FOR ALL PROTECTIVE COVENANTS FOR EAGLE ROCK RESORT AND DEVELOPMENT.
- ALL LANDS NOT PROPOSED FOR LOTS OR RIGHT-OF-WAY SHALL REMAIN UNDER THE OWNERSHIP OF EAGLE ROCK RESORT COMPANY.
- PORTIONS OF SEVERAL OF THE PROPOSED LOTS CONTAIN SLOPES IN EXCESS OF 20%. ADEQUATE BUILDING AREAS ARE PROVIDED ON EACH LOT, HOWEVER, IN THE EVENT THE PROPERTY OWNERS CHOOSES TO LOCATE THE FUTURE HOUSE IN AN ALTERNATE LOCATION WITHIN THE LOT, SPECIAL PROVISIONS FOR CONSTRUCTION MAY BE REQUIRED TO ADEQUATELY ADDRESS THE STEEPER SLOPES, RETAINING WALLS AND EXPOSED BASEMENTS ARE EXAMPLES OF THESE TYPES OF PROVISIONS.
- THE BASIS OF BEARING FOR THE PHASE IS NAD 83 PA GRID NORTH.
- UTILITIES WILL BE INSTALLED IN ACCORDANCE WITH THE PUC REQUIREMENTS.
- WETLAND LOCATIONS ARE BASED ON A FIELD DELINEATION PERFORMED BY CLAUSER ENVIRONMENTAL LLC.
- BASED ON A REVIEW OF THE FLOOD INSURANCE RATE MAP OF NORTH UNION TOWNSHIP (COMMUNITY-PANEL NO. 4Z2014 A) MAP #H 01-08 EFFECTIVE DATE NOVEMBER 15, 1974 AND CONVERTED BY LETTER SEPTEMBER 1, 1986 NO MAPPED FLOOD PLAINS EXIST ON THE PROPERTY.
- ALL UNDEVELOPED LANDS WITHIN THE PROJECT AREA WILL REMAIN UNDER OWNERSHIP OF THE DEVELOPER, EAGLE ROCK RESORT CO. AT A FUTURE TIME THE DEVELOPER MAY DEDICATE PORTIONS OF THESE AREAS TO THE EAGLE ROCK COMMUNITY ASSOCIATION (ERCA); A SUBDIVISION PLAN MAY BE REQUIRED IN THE FUTURE IN ORDER TO CONVEY SUCH AREAS.
- THE TOTAL LINEAR FOOTAGE OF ROADS IS 3,788.22'.
- ALL AMENITIES OF EAGLE ROCK RESORT SUCH AS GOLF, SKI, SPA, POOLS, FITNESS CENTER,EQUISTRAN CENTER, RECREATION CENTER AMONG OTHERS ARE AVAILABLE TO THIS SECTION OF EAGLE ROCK.
- THE FOLLOWING LOTS 30,31,48,49,50,51,52,53,114,115,116,117,163,164,165,166,167 CONTAIN SLOPES IN EXCESS OF 25%. AN APPROVED ZONING VARIANCE MAY BE REQUIRED IN ORDER TO DEVELOP THESE LOTS IN ACCORDANCE WITH SECTION 308.C OF THE SCHUYLKILL COUNTY ORDINANCE.
- SIGHTLINES AT INTERSECTIONS OF DRIVEWAYS OR ACCESS DRIVES WITH STREETS SHALL BE IMPLEMENTED IN ACCORDANCE WITH SECTION 1117.D.3 OF THE SCHUYLKILL COUNTY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

SCHUYLKILL COUNTY (NORTH UNION TWP.) ZONING REQUIREMENTS FOR R-3 ZONING:

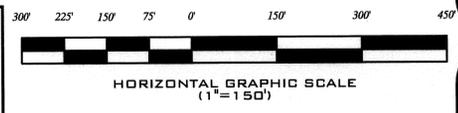
MIN. YARD SETBACKS	FRONT - 5'
	REAR - 15'
	SIDE - 3' (EACH)
MIN. LOT WIDTH	25'
MAX. BLDG. HEIGHT	35' (FOR WALK UP STRUCTURES)
MAX. IMPERVIOUS COVERAGE	90%
MAX. BLDG. COVERAGE	75%
MIN. LOT SIZE	2,500 S.F. (W/ CENTRAL WATER AND SEWAGE)

SITE DATA :

NO. OF LOTS	87
ZONING CLASSIFICATION	R-3 RESIDENTIAL NORTH UNION TWP. ;
AREA OF PARENT TRACT	137.02 Acres
TOTAL AREA OF SUBDIVISION	46.54 Acres
RESIDUE AREA	90.48 Acres
SEWAGE	COMMUNITY
WATER	COMMUNITY
DEED REFERENCE	DB 230, PG. 118
TAX ID NO.	Map ID: 19-06-00027.000 NORTH UNION TOWNSHIP

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD	TANGENT
C1	51.89	200.00	14'48"31"	N86°07'19"W	51.55	25.99
C2	80.54	200.00	23°04'28"	S74°56'12"W	80.00	40.82
C3	27.15	200.00	7°46'41"	S89°30'49"W	27.15	13.60
C4	38.45	225.00	10°02'48"	N68°19'10"W	38.40	19.78
C5	54.12	225.00	13°46'51"	N18°14'00"W	53.89	27.19
C6	57.83	225.00	14°40'33"	N32°27'43"W	57.47	28.97
C7	57.28	225.00	14°33'56"	N47°03'27"W	57.11	28.78
C8	57.22	225.00	14°34'18"	N81°40'04"W	57.07	28.77
C9	34.09	225.00	8°40'51"	N73°17'39"W	34.06	17.08
C10	61.12	125.00	28°00'51"	S15°18'10"E	60.51	31.18
C11	24.52	175.00	8°01'01"	N20°17'54"W	24.50	12.28
C12	137.52	125.00	63°02'12"	S53°01'09"E	130.69	76.66
C13	31.34	175.00	10°15'41"	N88°11'21"W	31.30	15.71
C14	34.28	175.00	11°13'04"	N78°54'43"W	34.21	17.19
C15	15.78	225.00	4°01'06"	N18°03'01"W	15.78	7.89
C16	80.29	225.00	20°28'42"	N28°18'55"W	79.86	40.58
C17	80.43	225.00	20°28'51"	N48°44'41"W	80.00	40.85
C18	16.80	225.00	4°04'24"	N61°01'19"W	16.80	8.30
C19	24.85	200.00	7°08'56"	N64°48'55"W	24.84	12.48
C20	18.73	200.00	5°39'05"	N11°12'55"W	18.72	9.87
C21	15.45	225.00	3°56'00"	N27°02'37"E	15.44	7.73
C22	63.87	225.00	21°18'52"	N14°25'12"E	63.08	42.27
C23	18.78	225.00	5°02'12"	N01°18'40"E	18.77	9.90
C24	32.58	175.00	10°40'00"	N85°58'37"W	32.53	16.34
C25	86.51	125.00	44°14'09"	S89°11'32"E	84.13	50.80
C26	3.20	175.00	1°02'59"	N41°25'29"W	3.20	1.60
C27	24.33	25.00	59°48'04"	S20°14'15"E	23.38	13.23
C28	9.32	25.00	21°21'50"	S18°19'42"W	8.27	4.72
C29	10.28	225.00	2°38'43"	N52°17'44"W	10.28	5.19
C30	127.84	225.00	36°23'12"	N78°21'16"W	126.12	65.70
C31	41.42	25.00	94°58'04"	S48°41'41"E	38.84	27.25
C32	59.15	175.00	19°21'55"	S69°31'31"W	58.87	29.86
C33	176.38	175.00	57°45'03"	S47°05'03"W	169.82	98.51
C34	39.27	25.00	90°00'00"	S89°02'28"W	35.36	25.00
C35	33.51	150.00	12°48'01"	N07°38'27"W	33.44	16.83
C36	44.70	175.00	14°38'01"	N68°04'34"E	44.57	22.47
C37	47.70	175.00	15°53'02"	N51°12'25"E	47.56	24.00
C38	39.27	25.00	90°00'00"	N74°09'37"E	35.36	25.00
C39	39.27	25.00	90°00'00"	S33°24'13"E	35.36	25.00
C40	145.45	125.00	68°40'07"	S44°33'47"W	137.38	82.22
C41	34.51	141.78	13°05'11"	N81°12'27"E	34.52	17.38
C42	119.41	125.00	45°38'40"	N78°25'42"E	116.28	63.07
C43	39.27	25.00	90°00'00"	N58°38'47"E	35.36	25.00
C44	64.94	175.00	21°18'48"	S68°54'00"E	64.57	32.85
C45	167.90	175.00	58°48'21"	S88°58'51"E	161.54	91.05
C46	49.81	175.00	16°18'32"	S09°27'01"E	49.84	25.08
C47	35.75	175.00	11°42'18"	S23°27'22"E	35.69	17.94
C48	17.04	125.00	7°48'39"	N748°39"W	17.02	8.53
C49	33.28	25.00	78°15'42"	N18°37'46"E	30.87	16.62
C50	45.38	25.00	103°44'18"	N73°22'12"W	39.33	31.85
C51	86.02	175.00	28°09'43"	S30°34'55"E	85.15	43.90
C52	80.71	175.00	28°02'34"	S82°23'21"E	80.00	41.08
C53	25.80	175.00	8°28'55"	S89°18'48"E	25.78	12.93
C54	46.88	125.00	21°28'44"	N73°41'53"W	46.59	23.71
C55	120.89	175.00	39°30'38"	N43°18'02"W	118.32	62.86
C56	43.42	25.00	69°00'00"	N28°00'00"E	38.18	26.53
C57	87.80	225.00	22°21'31"	S64°46'47"W	87.25	44.47
C58	80.43	225.00	20°28'51"	S43°21'36"W	80.00	40.85
C59	80.43	225.00	20°28'51"	S22°56'12"W	80.00	40.85
C60	54.21	225.00	13°48'18"	S69°44'17"W	54.08	27.24
C61	35.57	25.00	81°31'49"	N39°34'55"E	32.85	21.55
C62	85.07	225.00	21°38'48"	S69°28'42"W	84.56	43.05
C63	32.74	25.00	18°01'12"	N81°15'05"E	32.74	15.19
C64	80.88	191.78	24°09'38"	S72°38'53"E	80.28	41.05
C65	43.51	191.78	12°58'50"	N88°46'23"E	43.41	21.85
C66	18.57	175.00	6°24'30"	N74°41'35"E	18.56	9.80
C67	80.71	175.00	28°28'33"	N81°13'27"E	80.00	41.08
C68	80.86	175.00	28°24'22"	N31°51'33"E	79.84	41.08
C69	22.51	175.00	7°22'12"	N14°58'14"E	22.49	11.27
C70	78.02	191.78	22°42'34"	S46°31'35"W	75.52	38.51
C71	81.41	191.78	24°01'17"	S20°10'40"W	80.81	41.33
C72	90.01	191.78	28°53'25"	S02°35'42"E	88.19	45.85
C73	56.75	191.78	17°50'53"	S24°57'50"E	56.50	30.12
C74	34.18	25.00	78°17'31"	S81°15'28"W	34.16	20.35
C75	33.88	225.00	8°31'18"	S40°05'36"W	33.83	16.96
C76	28.33	175.00	8°31'18"	N40°09'36"E	28.31	13.19
C77	34.80	125.00	19°51'39"	N82°41'28"E	34.49	17.41
C78	48.44	175.00	15°51'28"	N82°41'28"E	48.24	24.38
C79	56.29	125.00	8°03'34"	S61°34'56"W	56.26	28.17
C80	41.33	475.00	4°59'06"	S68°58'12"W	41.31	20.88
C81	8.00	475.00	1°09'28"	S70°52'29"W	8.00	4.00
C82	53.08	525.00	6°47'27"	N83°15'25"W	53.04	26.81
C83	80.00	525.00	8°43'51"	S54°17'17"W	79.92	40.08
C84	80.00	525.00	8°43'51"	S45°32'28"W	79.92	40.08
C85	41.93	525.00	4°34'33"	S68°58'14"W	41.92	20.87
C86	38.12	475.00	4°43'08"	S39°00'25"W	38.11	19.57
C87	103.71	475.00	12°30'37"	S44°37'25"W	103.51	52.06
C88	87.87	475.00	10°35'58"	S89°10'41"W	87.84	44.06
C89	17.02	225.00	4°20'01"	S34°25'58"W	17.01	8.51
C90	80.00	225.00	20°22'19"	S22°07'48"W	79.58	40.43
C91	100.08	225.00	28°28'10"	S00°47'57"E	96.26	50.88
C92	38.34	25.00	87°54'47"	N30°23'21"E	38.49	24.08
C93	40.62	25.00	89°53'48"	S85°53'25"E	38.44	24.81
C94	100.88	175.00	33°01'48"	S54°23'55"W	99.49	51.89
C95	48.06	175.00	18°40'58"	S28°48'54"W	47.81	24.18
C96	21.03	25.00	48°11'23"	S88°10'37"W	20.81	11.18
C97	60.33	50.00	69°00'00"	N78°12'00"E	60.74	30.45
C98	45.62	50.00	52°16'25"	N15°00'01"E	44.05	24.53
C99	46.20	50.00	52°56'37"	N37°36'30"W	44.58	24.90
C100	41.96	50.00	48°07'06"	S89°57'50"W	45.33	25.43
C101	27.04	50.00	48°07'06"	S81°07'06"W	40.77	22.32
C102	41.03	25.00	48°11'23"	N37°58'14"E	40.41	11.18
C103	47.27	175.00	15°28'33"	S54°20'39"W	47.12	23.78
C104	17.34	125.00	7°16'00"	N50°52'25"E	17.33	8.69
C105	34.11	125.00	15°18'06"	N82°19'28"E	34.00	17.16
C106	34.78	25.00	79°42'28"	S24°19'28"W	32.04	20.87
C107	53.21	175.00	17°25'19"	N55°19'02"E	53.01	26.81
C108	33.76	125.00	15°23'29"	S34°23'29"W	33.66	18.98
C109	39.27	25.00	90°00'00"	N60°40'45"W	35.36	25.00
C110	39.27	25.00	90°00'00"	N07°55'00"E	35.36	25.00

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD	TANGENT
C111	39.27	25.00	90°00'00"	N09°19'15"E	35.36	25.00
C112	39.27	25.00	90°00'00"	S89°40'45"E	35.36	25.00
C113	39.27	25.00	90°00'00"	S29°19'15"W	35.36	25.00
C114	9.01	125.00	4°07'46"	N72°19'22"E	9.01	4.51
C115	39.27	25.00	90°00'00"	S89°40'45"E	35.36	25.00
C116	121.51	175.00	38°46'58"	N40°12'43"E	118.08	63.32
C117	58.31	175.00	18°26'11"	N33°19'18"E		



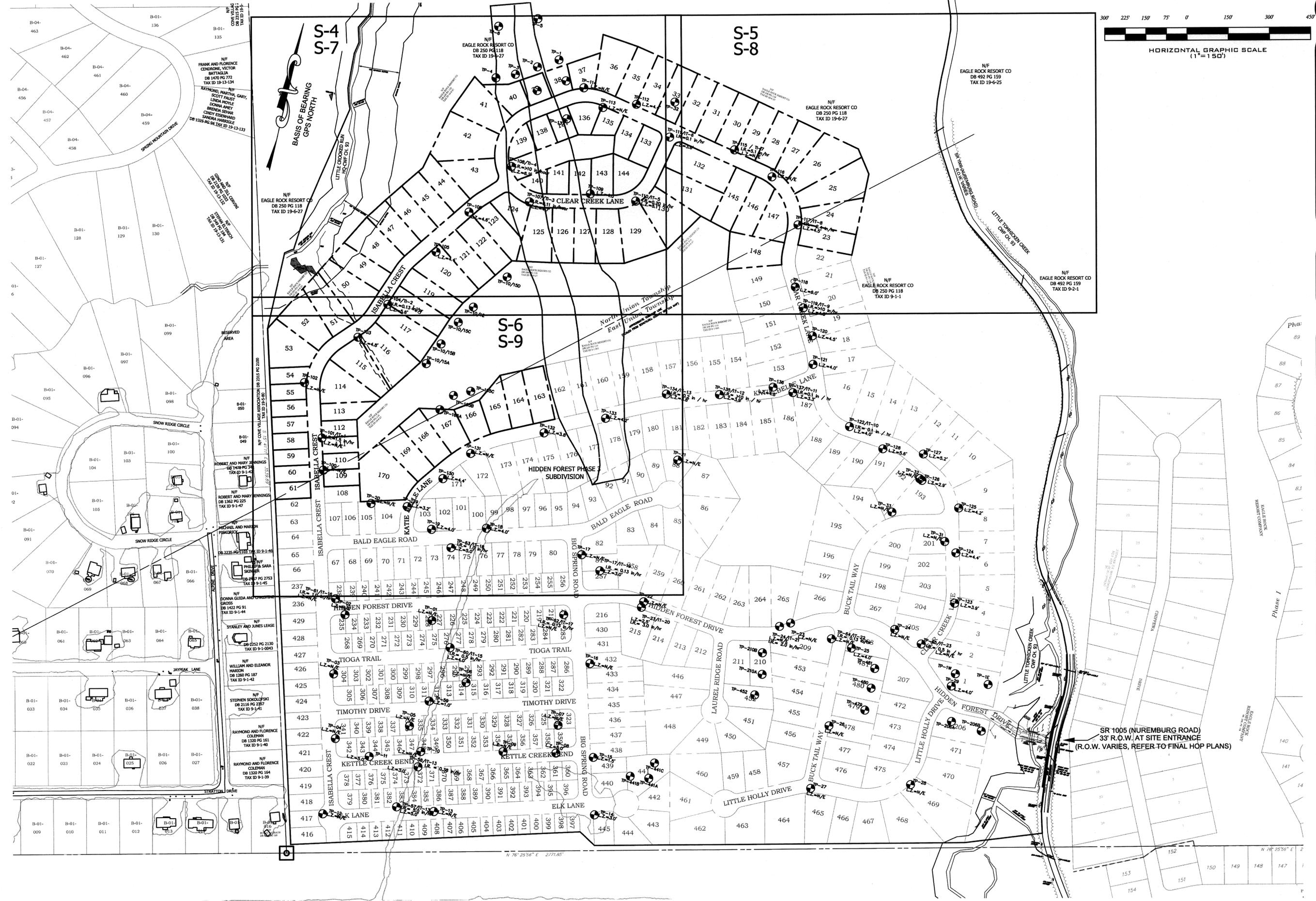
DATE: 5/15/14	DESIGNED BY: M.P.B.	DATE
SURVEY FILE:	DWG. FILE:	NO.
		DESCRIPTION OF REVISION

SEAL

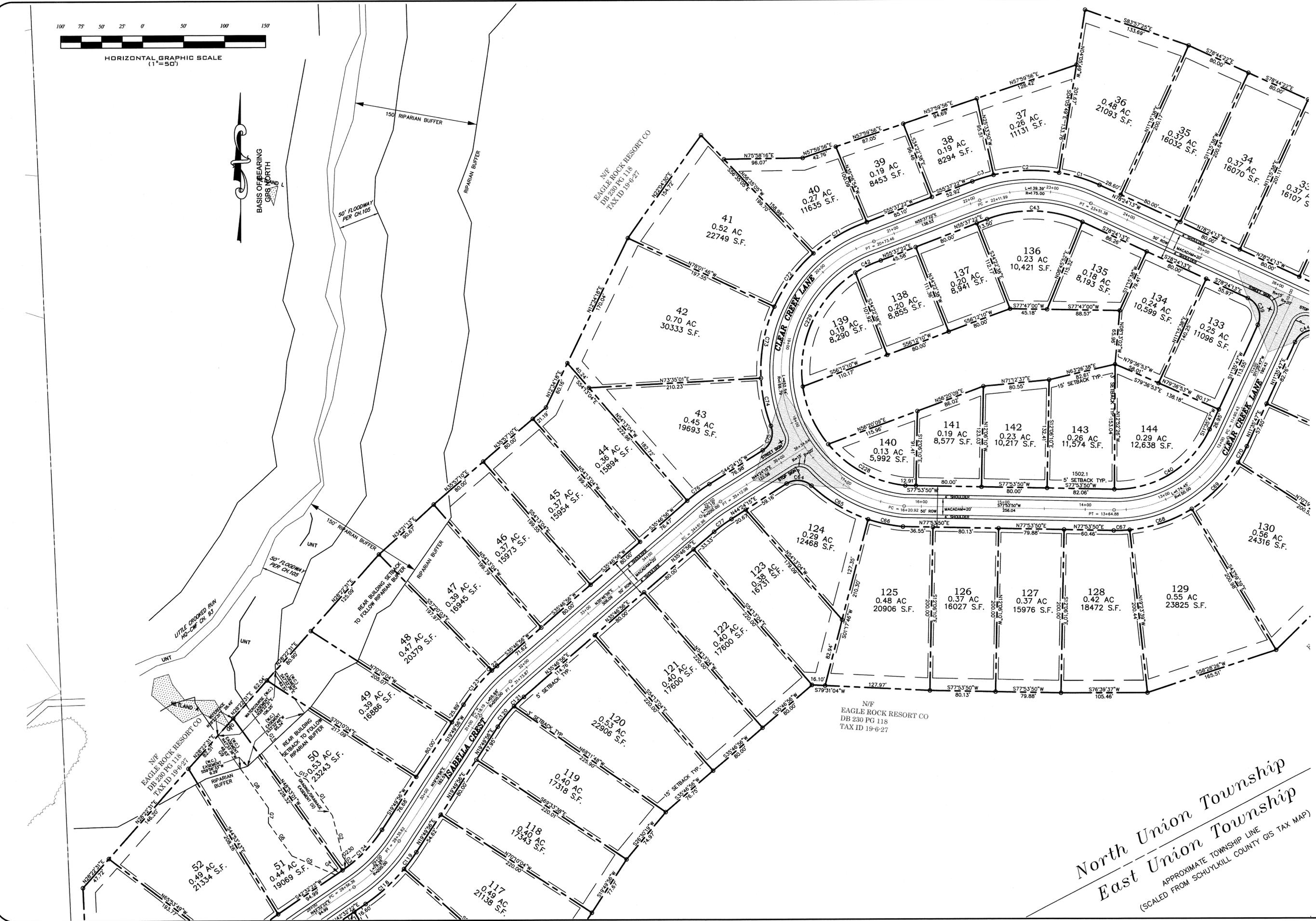
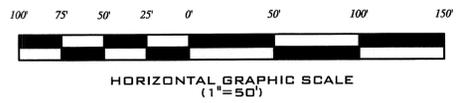
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BRINKASH ASSOCIATES, INC.
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MAJOR SUBDIVISION FINAL PLAN
 KEY MAP
HIDDEN FOREST PHASE 2
 SECTION OF
EAGLE ROCK
 NORTH UNION TOWNSHIP, SCHUYLKILL COUNTY, PA



SR 1005 (NUREMBURG ROAD)
 33' R.O.W. AT SITE ENTRANCE
 (R.O.W. VARIES, REFER TO FINAL HOP PLANS)



PROJECT NUMBER:
122147

DATE	BY: P.J.M.	DESIGNED BY: M.P.B.	NO.	DESCRIPTION OF REVISION	DATE
5/16/14					

SEAL

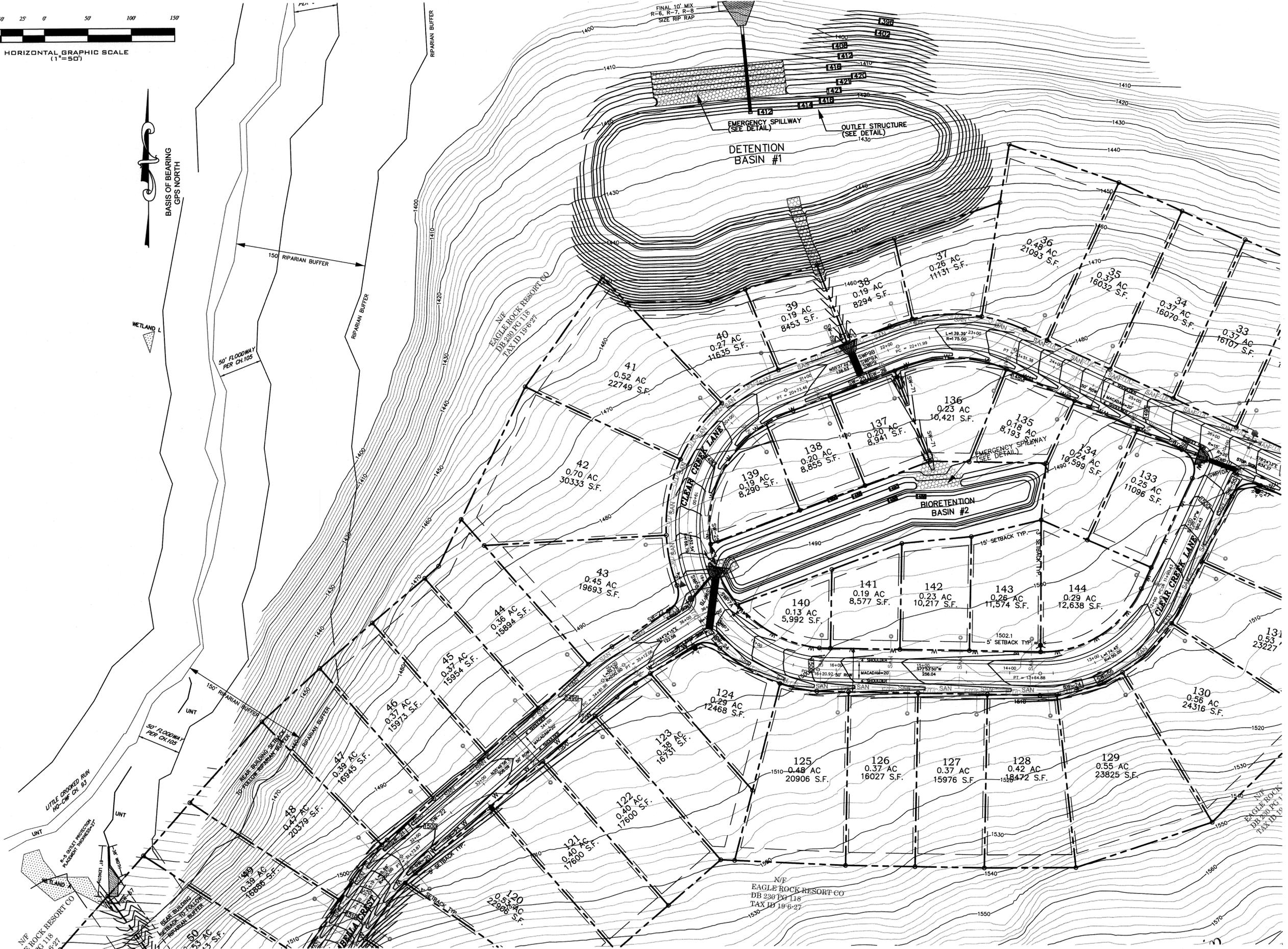
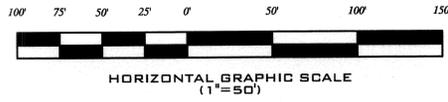
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MAJOR SUBDIVISION FINAL PLAN
SUBDIVISION PLAN-1
HIDDEN FOREST PHASE 2
SECTION OF
EAGLE ROCK
NORTH UNION TOWNSHIP, SCHUYLKILL COUNTY, PA

SHEET
4 OF 17

North Union Township
East Union Township
APPROXIMATE TOWNSHIP LINE
(SCALED FROM SCHUYLKILL COUNTY GIS TAX MAP)



PROJECT NUMBER:

DATE: 5/15/14	DESIGNED BY: M.P.B.	NO.	DESCRIPTION OF REVISION
SURVEY FILE:	DWG. FILE:	NO.	DESCRIPTION OF REVISION



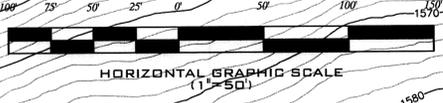
BRINKASH ASSOCIATES, INC.
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MAJOR SUBDIVISION FINAL PLAN
 GRADING/UTILITY PLAN-1
HIDDEN FOREST PHASE 2
 SECTION OF
EAGLE ROCK
 NORTH UNION TOWNSHIP, SCHUYLKILL COUNTY, PA

SHEET
7 OF 17



North Union Township
 East Union Township
 APPROXIMATE TOWNSHIP LINE
 (SCALED FROM SCHUYLKILL COUNTY GIS TAX MAP)



N/F COVE VILLAGE ASSOCIATION DB 2315 PG 2100
 TAX ID 19-5-80
 JENNINGS 42
 JENNINGS
 AX ID 9-1-46
 N/F CLIP & SARA
 NNER
 457 PG 2753
 ID 9-1-45

PROJECT NUMBER:

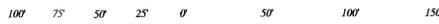
DATE: 8/16/14	DESIGNED BY: M.P.B.	NO.
SURVEY FILE:	DWG. FILE:	DESCRIPTION OF REVISION



BRINKASH ASSOCIATES, INC.
 SURVEYING & ENGINEERING
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MAJOR SUBDIVISION FINAL PLAN
 GRADING/UTILITY PLAN-3
 HIDDEN FOREST PHASE 2
 SECTION OF
 EAGLE ROCK
 NORTH UNION TOWNSHIP, SCHUYLKILL COUNTY, PA

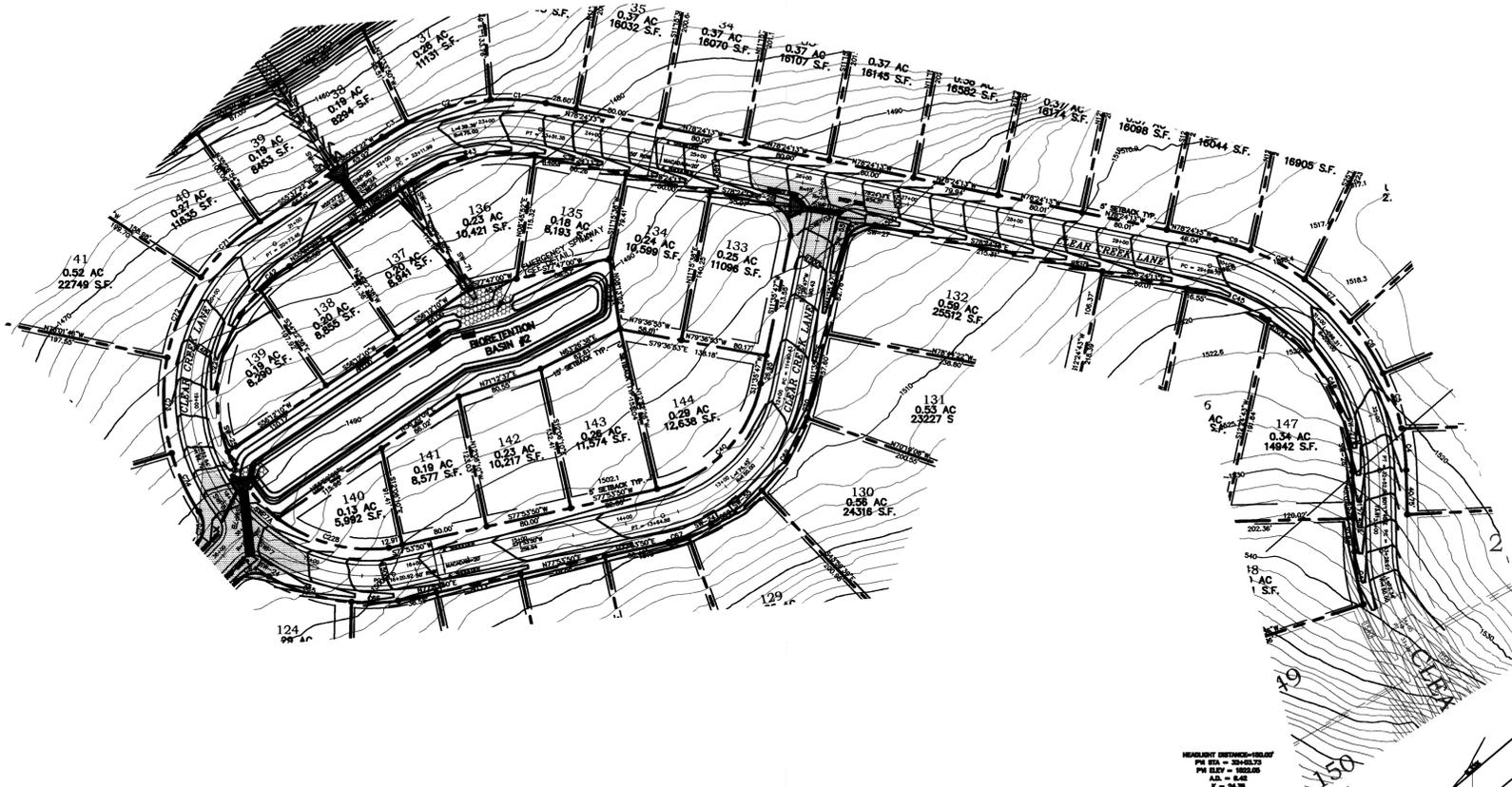
SHEET
 9 OF 17



HORIZONTAL GRAPHIC SCALE
(1"=50')
(PLAN VIEW)



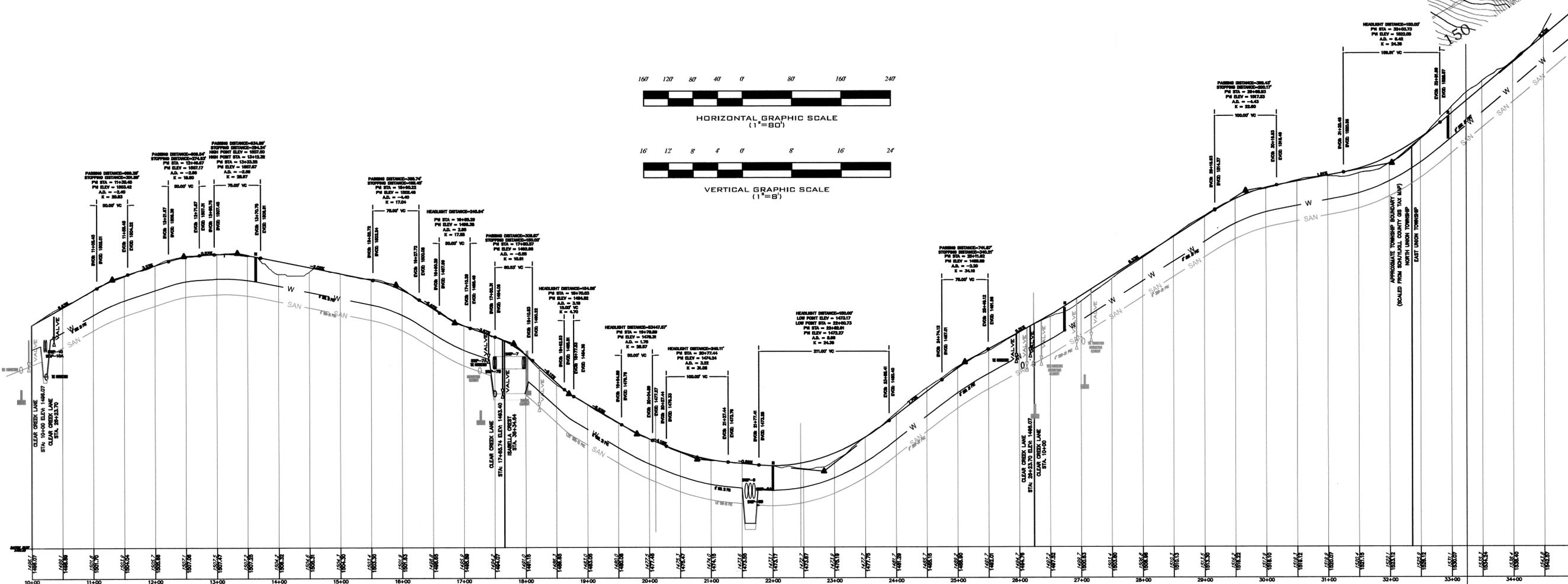
BASIS OF BEARING
GPS NORTH



HORIZONTAL GRAPHIC SCALE
(1"=80')



VERTICAL GRAPHIC SCALE
(1"=8')



PROJECT NUMBER:

DATE: 5/15/14

DESIGNED BY: M.P.B.

BY: P.J.M.

DATE: 5/15/14

DESIGNED BY: M.P.B.

BRINKASH ASSOCIATES, INC.
SURVEYING & ENGINEERING
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MAJOR SUBDIVISION FINAL PLAN
PROFILE ROAD CEDAR CREEK LANE
HIDDEN FOREST PHASE 2
SECTION OF
EAGLE ROCK
NORTH UNION TOWNSHIP, SCHUYLKILL COUNTY, PA

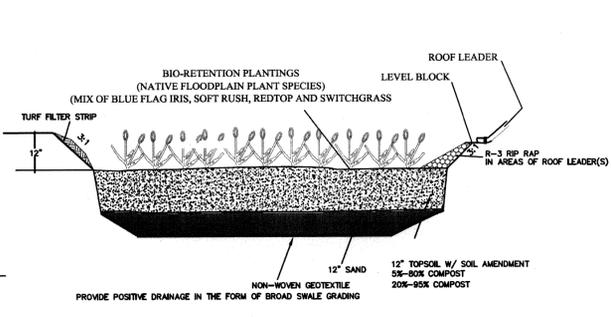
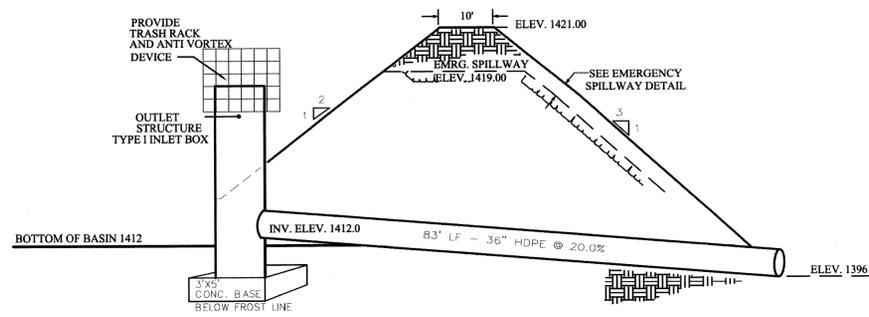
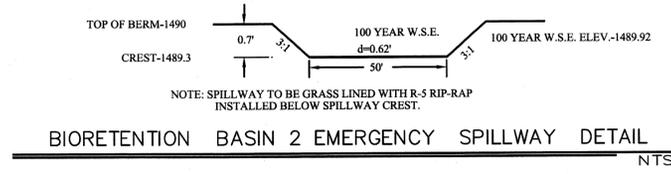
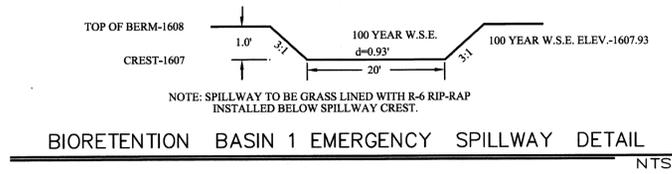
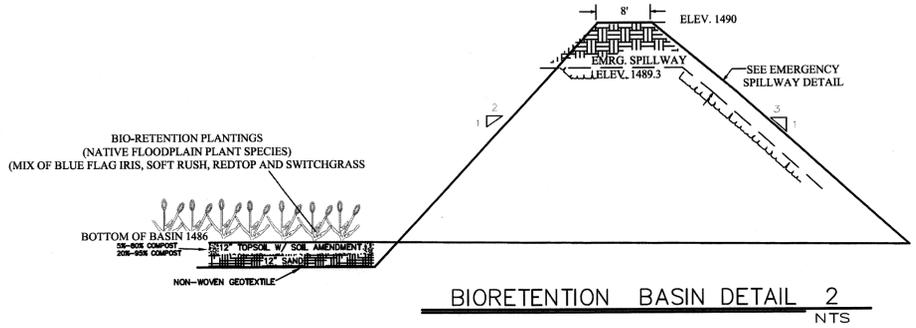
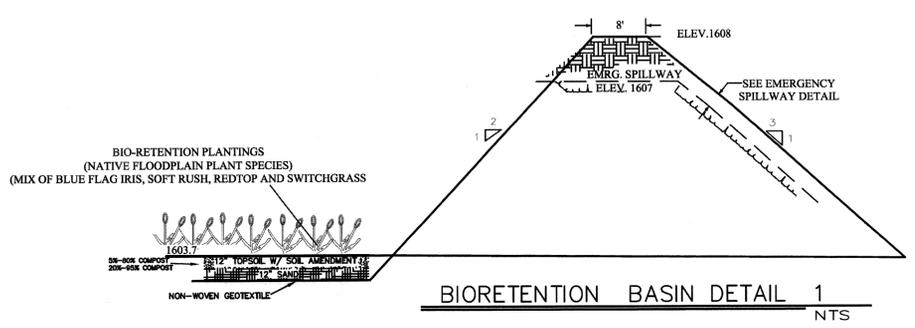
SHEET
12 OF 17

DATE: 01/26/14	DESIGNED BY: M.P.B.	DATE
SURVEY FILE:	DWG. FILE:	NO
		DESCRIPTION OF REVISION



BRINKASH ASSOCIATES, INC.
 SURVEYING & ENGINEERING
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MAJOR SUBDIVISION FINAL PLAN
 CONSTRUCTION DETAILS-2
 HIDDEN FOREST PHASE 2
 SECTION OF
 EAGLE ROCK
 NORTH UNION TOWNSHIP, SCHUYLKILL COUNTY, PA



RAIN GARDEN CONSTRUCTION SPECIFICATIONS

- RAIN GARDENS SHALL BE INSTALLED ON EACH LOT IN CONJUNCTION WITH HOME CONSTRUCTION. INSTALLATION AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.
 - SCREEN TOP DOWN SPOUTS ON BUILDING TO PREVENT LEAVES FROM ENTERING DRY WELL.
 - RAIN GARDENS SHOULD BE LOCATED A MINIMUM OF 100 FEET FROM ANY WATER WELL AND 10 FEET DOWN GRADIENT FROM ANY BUILDING FOUNDATION. CARE MUST BE TAKEN TO AVOID PLACING THE RAIN GARDEN EITHER DIRECTLY UP GRADIENT OR DOWN GRADIENT OF ON-SITE ELEVATED SAND MOUNDS.
 - TO MINIMIZE THE POTENTIAL FOR GROUND WATER CONTAMINATION, ONLY INERT FIBERGLASS SHINGLES SHOULD BE USED AS ROOFING FOR THE RESIDENCE.
 - THE RAIN GARDEN SHOULD BE DUG WITH A BACKHOE AND NO HEAVY CONSTRUCTION EQUIPMENT IS ALLOWED ON TOP OF THE SEEPAGE PIT DURING CONSTRUCTION.
- LOTS 222-231,271-281,286-309,315-322
 CONSTRUCT (4) 51' x 5.2' W OR 104 S.F.
- LOTS 435-439
 CONSTRUCT (4) 81' x 8' W OR 256 S.F.
- LOTS 379-415,440-445
 CONSTRUCT (4) 41' x 2' W OR 32 S.F.
- LOTS 310-314
 CONSTRUCT (4) 6.51' x 6' W OR 156 S.F.

Construction Sequence

- Install temporary sediment control BMPs as shown on the plans.
- Complete site grading. If applicable, construct curb cuts or other inflow entrance but provide protection so that drainage is prohibited from entering construction area.
- Stabilize grading within the limit of disturbance except within the Rain Garden area. Rain garden bed areas may be used as temporary sediment traps provided that the proposed finish elevation of the bed is 12 inches lower than the bottom elevation of the sediment trap.
- Excavate Rain Garden to proposed invert depth and scarify the existing soil surfaces. Do not compact in-situ soils.
- Backfill Rain Garden with amended soil as shown on plans and specifications. Overfilling is recommended to account for settlement. Light hand tamping is acceptable if necessary.
- Pre-soak the planting soil prior to planting vegetation to aid in settlement.
- Complete final grading to achieve proposed design elevations, leaving space for upper layer of compost, mulch or topsoil as specified on plans.
- Plant vegetation according to planting plan.
- Mulch and install erosion protection at surface flow entrances where necessary.

Maintenance Issues

- While vegetation is being established, pruning and weeding may be required.
- Detritus may also need to be removed every year. Perennial planting may be cut down at the end of the growing season.
- Mulch should be re-spread when erosion is evident and be replenished as needed. Once every 2 to 3 years the entire area may require mulch replacement.
- Bioretention areas should be inspected at least two times per year for sediment buildup, erosion, vegetative conditions, etc.
- During periods of extended drought, Bio retention areas may require watering.
- Trees and shrubs should be inspected twice per year to evaluate health.

DETENTION BASIN OPERATION AND MAINTENANCE OF DETENTION BASIN

General objectives of maintenance are to prevent clogging of the outlets, prevent standing water, and prevent the growth of weeds and noxious plants. The following items should be part of preventative maintenance procedures:

- Grass maintenance (See Erosion and Sediment Control Plan and Report)
- Control of noxious weeds and invasive plants

Maintaining turf grass on the tops of the berms and on the exterior slopes of embankment is advisable. This will enhance access to the facility and make maintenance and inspection of the embankment condition much easier. The stability of dams, embankments, and side sloped can be impaired by trees and brush with extensive woody root systems. Any seedlings or plantings should be removed at the earliest opportunity and the disturbed areas properly stabilized. Control of woody vegetation will require periodic mowing and a policy of not allowing plantings on these facilities. The frequency of mowing may need to be greater if the facility is in an area of high visibility. However, if possible, the facility should be managed as an upland meadow with grass no shorter than 6 to 8 inches on the side embankments only. Keeping grass much shorter than this can cause areas of the turf to die off or require a much higher level of maintenance. The basin bottoms shall contain the basins infiltration system consisting of stone lined bottom. Trees and brush with extensive woody root systems shall be completely removed from embankments to prevent the embankments from destabilizing and seepage routes from being created. Roots also should be completely removed to prevent them from decomposing in the embankment. Root voids and burrows should be plugged by filling them with material similar to the surrounding materials, and capped just below grade with stone, concrete, or other material. If plugging the burrows does not discourage the animals from returning, further measures should be taken to either remove the animal population or to make critical areas of the facility unattractive to them.
- Removal and disposal of trash and debris
- Removal and disposal of sediment

The sediment forebays shall be utilized to limit the trash and sediment that reaches the basin bottom. Forebays should be inspected bi-weekly or after each rainfall event initially until the plantings in the forebay and in the basin are established. After that, quarterly inspections should be adequate except in the case of extreme rain fall events. Accumulated sediment behind check dams of the forebays and within the basin bottoms shall be removed when it reaches one-half the sump depth. (Ref: PA BMP Manual.)

Vegetative BMPs
 Maintenance is an extremely important aspect of operating infiltration measures. If sediment accumulation is not controlled, the effective life span of the infiltration measure is, at most, about 5 to 10 years. With proper inspection and maintenance, the facilities should last much longer.

Sediment accumulation will eventually render the infiltration system ineffective; therefore, regular inspections of the structures are necessary. Because the structures are below ground and out of sight, the tendency is to forego maintenance, leading to subsequent problems. Regular inspections will ensure that problems are identified before they worsen and are evidenced above ground. To avoid compacting the aggregate material, vehicular traffic over infiltration areas should be excluded and constant foot traffic should be discouraged. A maintenance easement has been established around the entire facility.

Observations shall be made within the basin to ensure that system is draining properly and that desired infiltration levels are achieved. The top several inches of aggregate and cloth shall be replaced annually or at least when the facility exhibits evidence that the infiltration rates have been reduced.

- Inspection of pond and reporting of results

The facility should be inspected quarterly and after major storms. Detailed inspections by a qualified inspector should occur at least annually to ensure that the facility is operating as designed and to schedule maintenance that the facility may require. If possible, inspections should be made during wet weather to ensure that the facility is maintaining desirable retention times. In addition to regularly scheduled inspections, deficiencies should be noted during any visits by maintenance personnel. An important purpose of inspections is to ascertain the operational condition and safety of the facility, particularly the condition of embankments, outlet structures, and other safety-related aspect.

OPERATION, MAINTENANCE, OWNERSHIP OF BMPs

The Eagle Rock Community Association (ERCA) will be responsible for ongoing maintenance of all community BMP's. It shall be the responsibility of the individual lot owners to maintain the drywell and raingarden systems or any other onlot BMP.

In the event that any of the proposed BMP's fail as designed or as constructed for any reason. The developer and their heirs and assigns shall be responsible for replacement in accordance with the post construction stormwater management plans. In the event that differing site conditions and/or the unsuitability of designed BMP's for the field condition exists, the developer and their heirs and assigns must present an alternative design for approval by the appropriate agencies consistent with the intent of this post construction stormwater plan.

ERCA has implemented an Eco-Crew with the specific task of inspecting and maintaining community BMP's. ERCA also acts as an enforcing agency in that that oversees the construction of the individual lots and have the authority to stop work, fine and not release bonds or occupancy permits if the BMP's for individual lots are not adequately installed or maintained. Because all construction is under Eagle Rock's permit, they certainly have an interest in enforcing these items as violations on the individual lots could potentially affect the entire development.

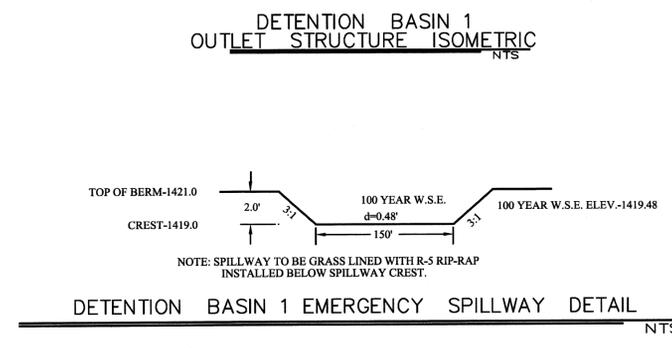
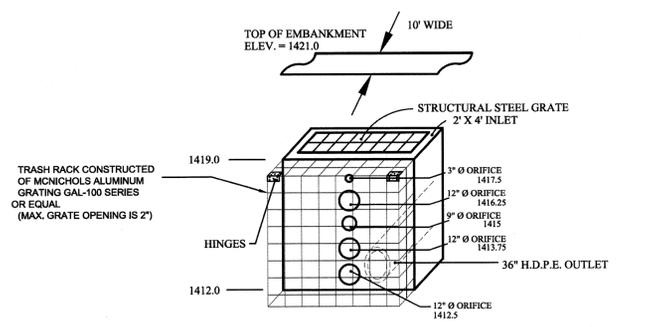
1. SEE MAINTENANCE & OPERATION PROCEDURES FOR BMP IN DETAILS.

DRY WELL CONSTRUCTION SPECIFICATIONS

- DRYWELLS SHALL BE INSTALLED ON EACH LOT IN CONJUNCTION WITH HOME CONSTRUCTION. INSTALLATION AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.
- SCREEN TOP DOWN SPOUTS ON BUILDING TO PREVENT LEAVES FROM ENTERING DRY WELL.
 - DRY WELL SHOULD BE LOCATED A MINIMUM OF 100 FEET FROM ANY WATER WELL AND 10 FEET DOWN GRADIENT FROM ANY BUILDING FOUNDATION. CARE MUST BE TAKEN TO AVOID PLACING THE DRY WELL EITHER DIRECTLY UP GRADIENT OR DOWN GRADIENT OF ON-SITE ELEVATED SAND MOUNDS.
 - WELL SORTED CLEAN AGGREGATE SHOULD BE USED, MAXIMUM DIAMETER - 6".
 - AGGREGATE SHOULD BE COMPLETELY SURROUNDED BY FILTER FABRIC AND PLACED LOOSE LIFT MAXIMUM THICKNESS OF 12 INCHES.
 - ONE FOOT OF SOIL COVER (LOAM OR SILT LOAM) SHOULD BE PLACED OVER TOP OF THE AGGREGATE, WITH FILTER FABRIC PLACED BETWEEN.
 - TO MINIMIZE THE POTENTIAL FOR GROUND WATER CONTAMINATION, ONLY INERT FIBERGLASS SHINGLES SHOULD BE USED AS ROOFING FOR THE RESIDENCE.
 - THE DRY WELL SHOULD BE DUG WITH A BACKHOE AND NO HEAVY CONSTRUCTION EQUIPMENT IS ALLOWED ON TOP OF THE SEEPAGE PIT DURING CONSTRUCTION.

TYPICAL DRYWELL DETAIL

- Construction Sequence**
- Protect infiltration area from compaction prior to installation.
 - If possible, install Dry Wells during later phases of site construction to prevent sedimentation and/or damage from construction activity.
 - Install and maintain proper Erosion and Sediment Control Measures during construction as per the Pennsylvania Erosion and Sediment Pollution Control Program Manual (latest edition)
 - Excavate Dry Well bottom to a uniform, level uncompacted sub grade free from rocks and debris. Do not compact subgrade. To the greatest extent possible, excavation should be performed with the lightest practical equipment. Excavation equipment should be placed outside the limits of the Dry Well.
 - Completely wrap Dry Well with nonwoven geotextile. (If sediment and/or debris have accumulated in Dry Well bottom, remove prior to geotextile placement.) Geotextile tols should overlap by a minimum of 24 inches within the trench. Fold back and secure excess geotextile during stone placement.
 - Install continuously perforated pipe, observations wells, and all other Dry Well structures. Connect roof leaders to structures as indicated on plan.
 - Place uniformly graded, clean-washed aggregate in 6-inch lifts, lightly compacting between lifts.
 - Fold and secure nonwoven geotextile over trench, with minimum overlap of 12 inches.
 - Place 12 inch lift of approved Topsoil over trench, as indicated on plans.
 - Seed and stabilize soil.
 - Connect surcharge pipe to roof leader and position over splashboard.
 - Do not remove Erosion and Sediment Controls until site is fully stabilized.
- Maintenance Issues**
- Inspect Dry Wells at least four times a year, as well as after every storm exceeding 1 inch.
 - Dispose of sediment, debris/trash, and any other waste material removed from a Dry Well at suitable disposal/recycling sites and in compliance with local, state, and federal waste regulations
 - Evaluate the drain-down time of the Dry Well to ensure the maximum time of 72 hours is not pumping and clean out perforated piping, if included. If slow drainage persists, the system may need replacing.
 - Regularly clean out gutters and ensure proper connections to facilitate the effectiveness of the dry well.
 - If an intermediate sump box exists, clean it out at least once per year.



RESOLUTIONS FOR SOIL TYPE LIMITATIONS

To alleviate the problem of excessive wetness all roads will have pavement base drains at select locations, and storm sewer systems throughout. All buildings will be provided with footer drains. Lots are to be graded to drain water away from buildings. An additional system of drainage swales surrounds the site.

Walkout basements will be provided in steeper areas. The site is to be graded to alleviate long steep areas in a system of terraces.

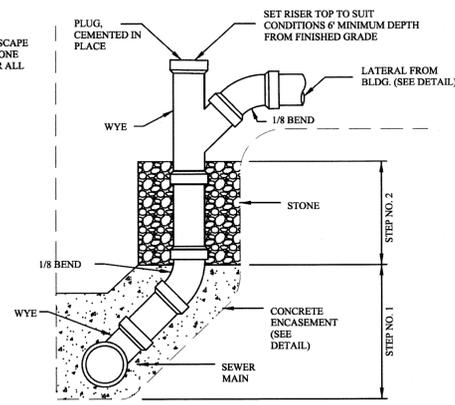
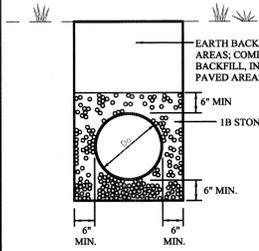
Clay discovered during basement excavation must be removed and replaced with suitable materials compacted in place. Foundations may require reinforcement in these areas. Footers will be located below the frost line and designed for the loading of the soil.

Construction of local roads will be in accordance with sections 203, 204, 205, 206, 210 and 350 Pennsylvania Department of Transportation Specifications (PUB 408M 2000) and NORTH UNION TOWNSHIP AND SCHUYLKILL CO. Specifications. Unsuitable materials shall be removed and replaced with compacted structural fill materials.

Construction of sediment basins will be in accordance with construction notes located on the Erosion and Sedimentation Control Detail Sheet.

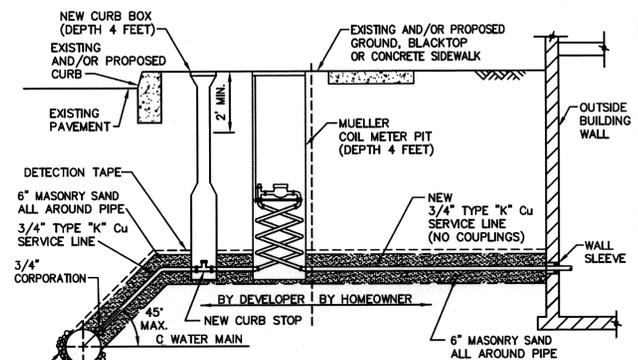
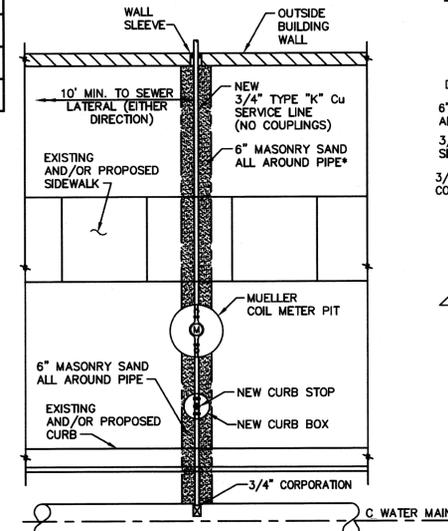
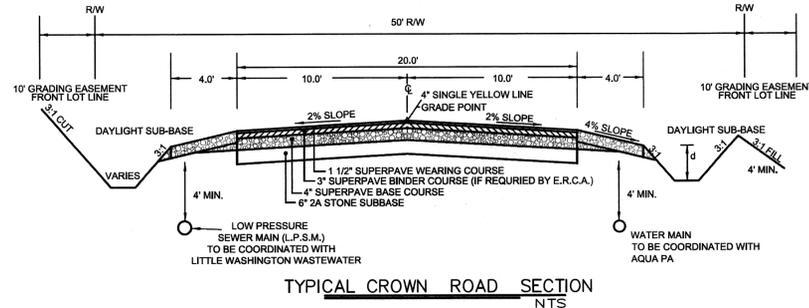
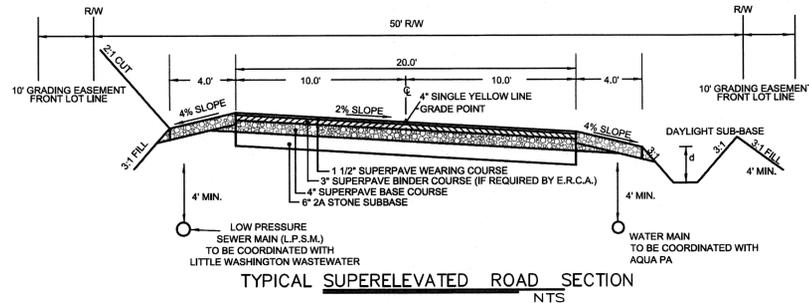
MAPPED SOILS - APPROXIMATE SOIL CLASSIFICATIONS WERE SCALED FROM THE SOIL SURVEY OF SCHUYLKILL COUNTY, PENNSYLVANIA.

	SHALLOW EXCAVATIONS	DWELLINGS WITH BASEMENTS	DWELLINGS WITH BASEMENTS	LAWNS AND LANDSCAPING	LOCAL ROADS AND STREETS (DRIVES)	HYDROLOGIC SOILS GROUP (PER TR-55)
MkB	MECKESVILLE VERY STONY LOAM, 3 TO 8 PERCENT SLOPES	MODERATE: WETNESS; FROST ACTION: LARGE STONES	C			
DMF	DEKALB AND LEHEW EXTREMELY STONY SOILS, STEEP	SEVERE: SLOPE, DEPTH TO ROCK	C			
MkC	MECKESVILLE VERY STONY LOAM, 8 TO 15 PERCENT SLOPES	MODERATE: WETNESS; FROST ACTION: WETNESS	C			
LeB	LECK KILL CHANNERY SILT LOAM, 3 TO 8 PERCENT SLOPES	SLIGHT: FROST ACTION	SLIGHT: FROST ACTION	MODERATE: SMALL STONES	MODERATE: FROST ACTION	B
MeB	MECKESVILLE LOAM, 8 TO 15 PERCENT SLOPES	MODERATE: WETNESS; FROST ACTION: WETNESS	C			



- STEPS:**
- INSTALL LOWER WYE BRANCH, BEND, AND CONCRETE ENCASUREMENT PROTECT LOWER CONCRETE ENCASUREMENT FOR 24 HOUR CURING PERIOD.
 - INSTALL RISER, UPPER WYE BRANCH, AND STONE BACKFILL.

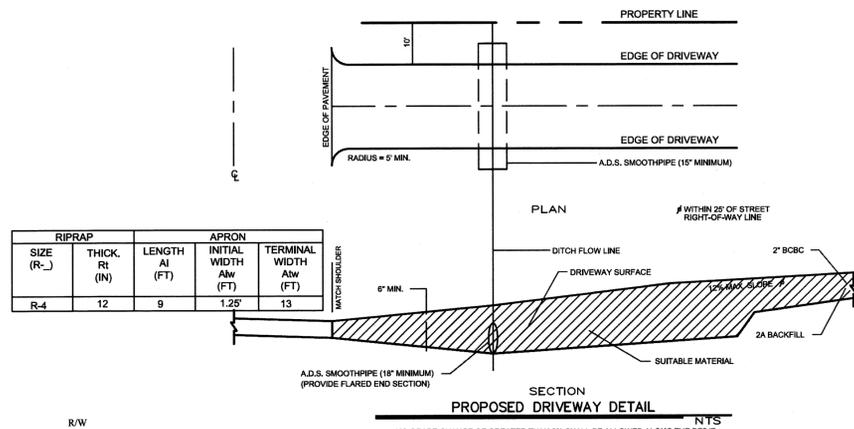
CONCRETE ENCASUREMENT



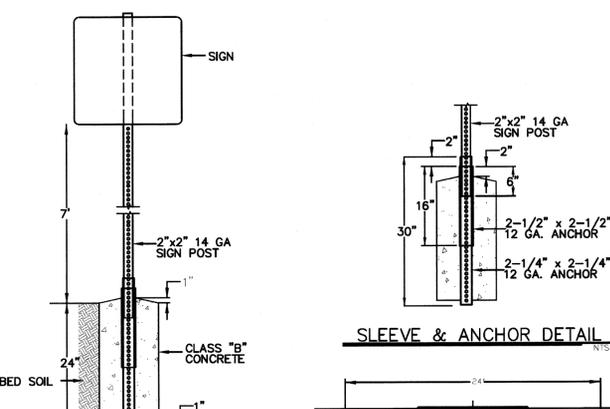
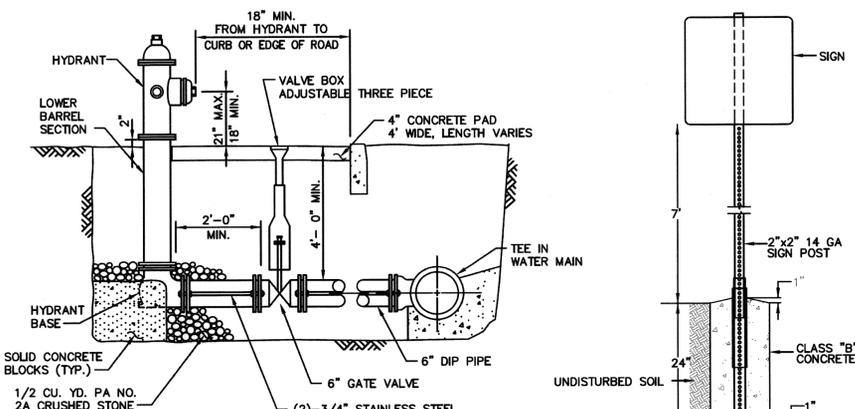
- NOTES:**
- ALL COPPER FITTINGS SHALL BE COMPRESSION TYPE. FLARED FITTINGS MAY ONLY BE USED WHEN REPLACING EXISTING FLARED CONNECTIONS.
 - EXISTING SERVICE SIZE, TYPE AND LOCATION TO BE VERIFIED BY CONTRACTOR.
 - PLACE COPPER SERVICE IN 1-1/2" MAX. Ø PVC SLEEVE FROM FACE OF CURB TO A LOCATION PAST METER PIT WHERE COPPER SERVICE LINE CROSSES OTHER UNDERGROUND UTILITIES.
 - WATER SERVICE WILL BE LOCATED A MINIMUM OF FIVE (5) FEET FROM THE EDGE OF A DRIVEWAY.
 - CURB BOX AND/OR METER PITS WILL NOT BE LOCATED IN SIDEWALKS, CURBS, BLACKTOP AND/OR DRIVEWAYS.
 - ANY SERVICES GREATER THAN 4 FEET IN DEPTH AT THE CURB WILL HAVE A CONCRETE METER PIT.
 - A 1-1/2" MAXIMUM DIAMETER PVC PIPE MAY BE USED IN LIEU OF THE MASONRY SAND FROM METER PIT TO HOUSE.

NOTE: SEE NOTES ON THE NEW AND/OR REPLACEMENT OF 3/4" WATER SERVICE ELEVATION DETAIL. (PREVIOUS PAGE)

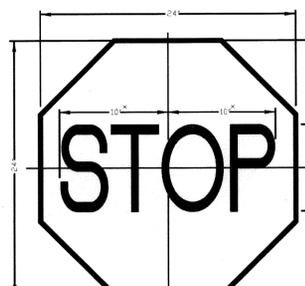
PLAN
NEW AND/OR REPLACEMENT OF 3/4-INCH WATER SERVICE



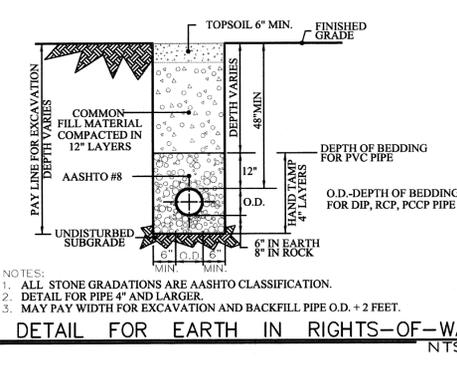
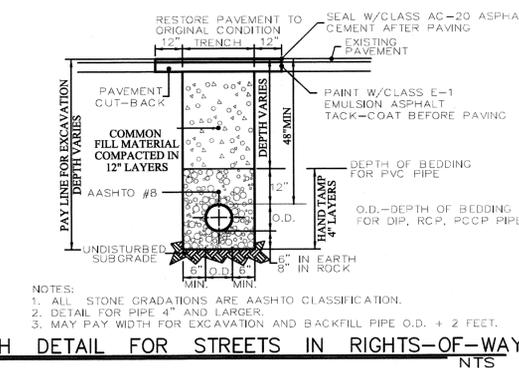
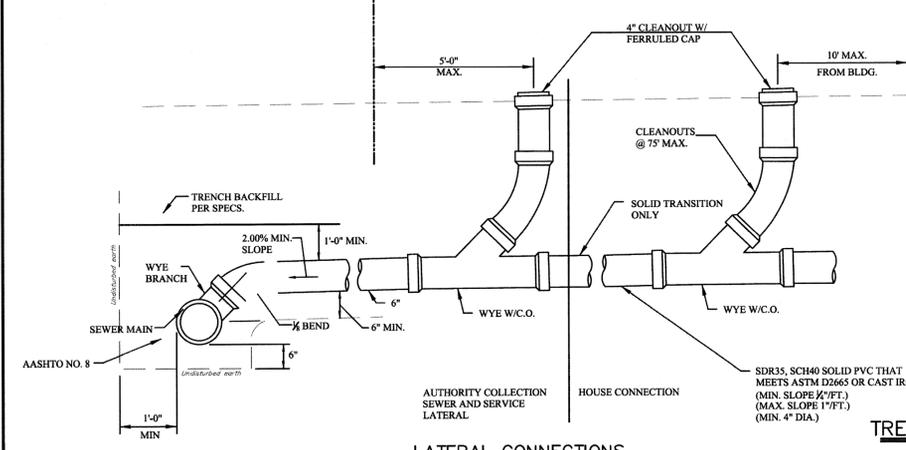
RIPRAP SIZE (R-)	THICK. RT (IN)	LENGTH AI (FT)	APRON INITIAL WIDTH Aw (FT)	TERMINAL WIDTH Atw (FT)
R-4	12	9	1.26'	1.3



SLEEVE & ANCHOR DETAIL



SIGN SIZE	DIMENSIONS			SER-IES	BOR-DER	BLANK STD
	A	B	C			
24x24	24	8	10	C	5/8	BI-24
30x30	30	10	12.5	C	3/4	BI-30



- NOTES:**
- ALL STONE GRADATIONS ARE AASHTO CLASSIFICATION.
 - DETAIL FOR PIPE 4" AND LARGER.
 - MAY PAY WIDTH FOR EXCAVATION AND BACKFILL PIPE O.D. + 2 FEET.

- NOTES:**
- ALL STONE GRADATIONS ARE AASHTO CLASSIFICATION.
 - DETAIL FOR PIPE 4" AND LARGER.
 - MAY PAY WIDTH FOR EXCAVATION AND BACKFILL PIPE O.D. + 2 FEET.

PROJECT NUMBER: _____

DATE: 9/15/14

DESIGNED BY: M.P.B.

DWG. FILE: _____

BY: P.J.M.

DATE: _____

DESCRIPTION OF REVISION: _____

NO. _____

DATE: _____

NO. _____

DATE: _____

NO. _____

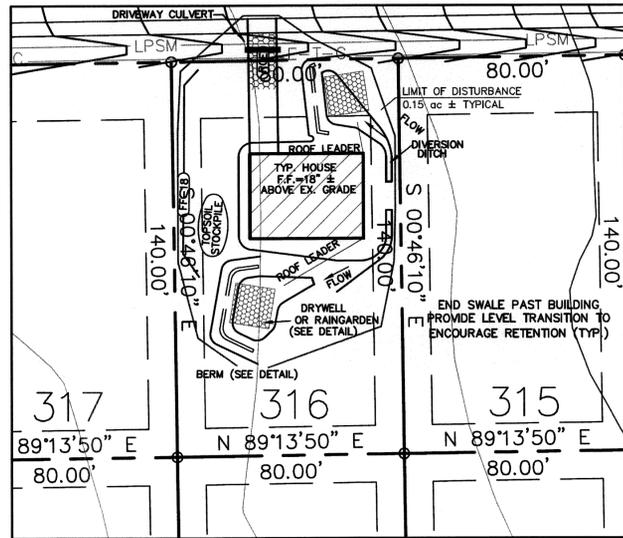
BRINKASH ASSOCIATES, INC.
SURVEYING & ENGINEERING
1713 CENTRE STREET ASHLAND, PA 17921
(570)-875-1018 (PHONE) (570)-875-1670 (FAX)

MAJOR SUBDIVISION FINAL PLAN
CONSTRUCTION DETAILS-3
HIDDEN FOREST PHASE 2
SECTION OF
EAGLE ROCK
NORTH UNION TOWNSHIP, SCHUYLKILL COUNTY, PA

STOP

SHEET 15 OF 17

THE OVERFLOW FOR THE BMP SHALL BE DIRECTED TO THE ROADSIDE SWALES WHERE PRACTICALLY FEASIBLE
 IN ALL CASES, THE OVERFLOW SHALL DISCHARGE TO A CONCRETE OR STONE LEVEL BLOCK TO MINIMIZE EROSION AND SHALL NOT BE DIRECTED TOWARDS ADJOINING LOTS WITHOUT THE IMPLEMENTATION OF PROPER CONVEYANCE.



TYPICAL INDIVIDUAL LOT PCSM PLAN
 SLOPES 15% OR LESS PARALLEL TO ROAD

SCALE: 1"=30'

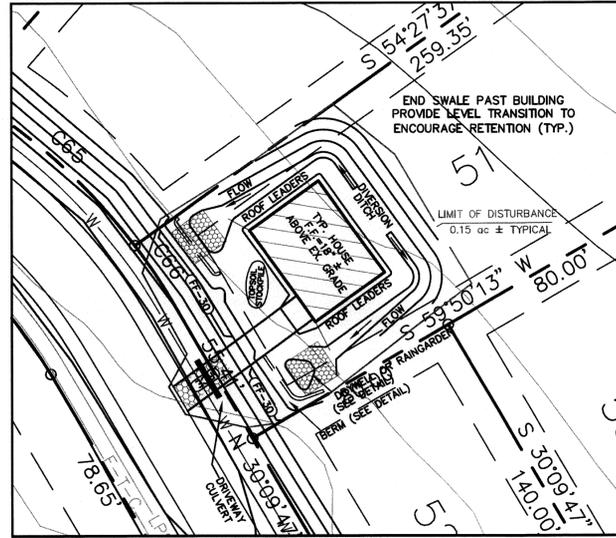
FOR THE FOLLOWING LOTS:

GENERAL NOTES:

1. REFER TO THE APPROPRIATE DETAILS FOR EROSION AND SEDIMENT CONTROL PLACEMENT AND MAINTENANCE. IN CASE OF DISCREPENCY, REFER TO D.E.P.'S EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (LATEST EDITION).
2. IF ACTUAL HOUSE/SITE PLANS DEVIATE SIGNIFICANTLY FROM THE TYPICAL DETAIL, OR UNCERTAINTY EXISTS AS TO THE APPLICABILITY OF THE TYPICAL TO A UNIQUE SITUATION, PREPARE AN E&S PLAN FOR REVIEW BY THE CONSERVATION DISTRICT.
3. CONSTRUCT DIVERSION DITCH TO DIVERT RUN-OFF FROM SITE AND OFF-SITE AREAS TOWARDS THE ROAD AND THE REAR PROPERTY LINE. DO NOT DIRECT RUN-OFF DIRECTLY TOWARDS EXISTING DWELLINGS OR POTENTIAL LOCATIONS OF EXISTING DWELLINGS. UTILIZE EASEMENTS CENTERED ON PROPERTY LINES IF ADDITIONAL DIVERSIONS ARE NECESSARY.

SEQUENCE OF CONSTRUCTION:

1. PRIOR TO ANY INDIVIDUAL LOT EARTHMOVING, INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE. THIS SHALL BE USED BY ANY AND ALL VEHICLES ENTERING OR LEAVING THE LOT. ALL LOTS WITH A SWALE AT THE DRIVEWAY LOCATION WILL REQUIRE THE INSTALLATION OF A CULVERT PRIOR TO THE INSTALLATION OF THE CONSTRUCTION ENTRANCE. ALL LOTS THAT REQUIRE A CULVERT WILL REQUIRE A TEMPORARY ROCK FILTER AT THE LOWEST POINT OF THE SWALE ADJACENT TO THE LOT.
2. ESTABLISH AREA OF LOT TO BE GRADED. PRESERVE AS MUCH NATURAL VEGETATION AS POSSIBLE.
3. INSTALL SILT FENCE AND ROCK FILTER (IF APPLICABLE) AS SHOWN ON THE PLAN.
4. CLEAR AND GRUB LOT, DISPOSING OF DEBRIS. STRIP TOPSOIL FROM ALL AREAS TO BE GRADED AND STOCKPILE TOPSOIL. INSTALL SILT FENCE. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF STOCKPILE RELATIVE TO PROPOSED SITE IMPROVEMENTS. SILT FENCE IS TO BE INSTALLED DOWNSLOPE OF TOPSOIL STOCKPILE.
5. CONSTRUCT DIVERSION SWALES. (REFER TO GENERAL NOTE #3)
6. CONSTRUCT HOME AND INSTALL ASSOCIATED UTILITIES. PROVIDE ALL PERMANENT SEEDING AS INDICATED.
7. PERFORM GRADING AND INSTALL INFILTRATION BERM/DRY-WELL OR RAINGARDEN PER DETAIL. STABILIZE DISTURBED AREAS IMMEDIATELY.
8. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH SCHEDULE.
9. UPON STABILIZATION, REMOVE CONSTRUCTION ENTRANCE AND PAVE DRIVEWAY.
10. REMOVE TEMPORARY CONTROLS WHEN THE SITE IS PERMANENTLY STABILIZED. VEGETATED AREAS SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A MINIMUM UNIFORM 70% VEGETATIVE COVER IS ACHIEVED.



TYPICAL INDIVIDUAL LOT PCSM PLAN
 SLOPING 15% OR LESS TOWARDS ROAD

SCALE: 1"=30'

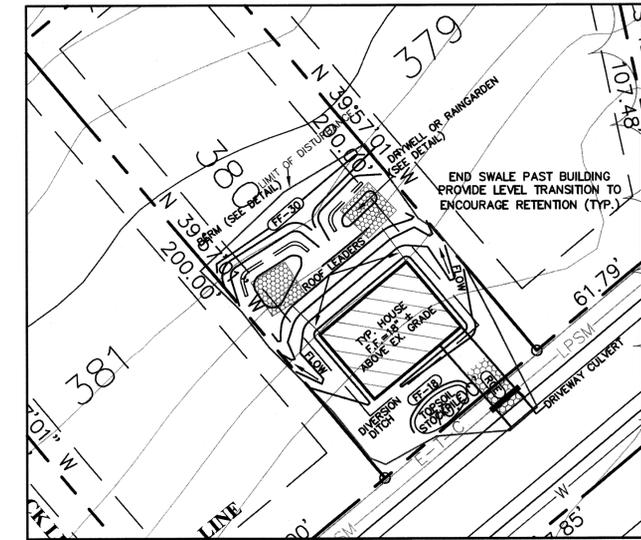
FOR THE FOLLOWING LOTS:

GENERAL NOTES:

1. REFER TO THE APPROPRIATE DETAILS FOR EROSION AND SEDIMENT CONTROL PLACEMENT AND MAINTENANCE. IN CASE OF DISCREPENCY, REFER TO D.E.P.'S EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (LATEST EDITION).
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SEQUENCE OF CONSTRUCTION:

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2. ESTABLISH AREA OF LOT TO BE GRADED. PRESERVE AS MUCH NATURAL VEGETATION AS POSSIBLE.
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9. UPON STABILIZATION, REMOVE CONSTRUCTION ENTRANCE AND PAVE DRIVEWAY.
10. REMOVE TEMPORARY CONTROLS WHEN THE SITE IS PERMANENTLY STABILIZED. VEGETATED AREAS SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A MINIMUM UNIFORM 70% VEGETATIVE COVER IS ACHIEVED.



TYPICAL INDIVIDUAL LOT PCSM PLAN
 SLOPING 20% OR LESS AWAY FROM ROAD

SCALE: 1"=30'

FOR THE FOLLOWING LOTS:

23-52,58-61,140-144

GENERAL NOTES:

1. REFER TO THE APPROPRIATE DETAILS FOR EROSION AND SEDIMENT CONTROL PLACEMENT AND MAINTENANCE. IN CASE OF DISCREPENCY, REFER TO D.E.P.'S EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (LATEST EDITION).
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10. REMOVE TEMPORARY CONTROLS WHEN THE SITE IS PERMANENTLY STABILIZED. VEGETATED AREAS SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A MINIMUM UNIFORM 70% VEGETATIVE COVER IS ACHIEVED.

PROJECT NUMBER:
122150

DATE: 5/15/14	BY: P.J.M.	DESIGNED BY: M.P.B.	NO.	DESCRIPTION OF REVISION	DATE
SURVEY FILE:	DWG. FILE:				

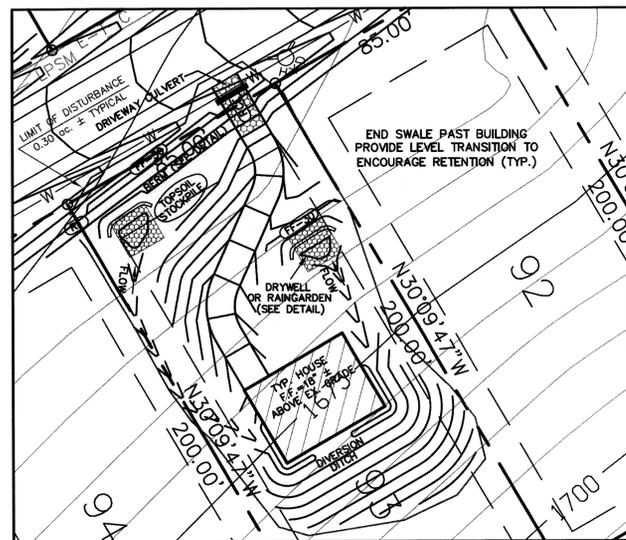
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BRINKASH ASSOCIATES, INC.
 SURVEYING & ENGINEERING
 1713 CENTRE STREET ASHLAND, PA 17921
 (570)-875-1018 (PHONE) (570)-875-1670 (FAX)

MAJOR SUBDIVISION FINAL PLAN
 INDIVIDUAL LOT CONTROL -2
 HIDDEN FOREST PHASE 2
 SECTION OF
 EAGLE ROCK
 NORTH UNION TOWNSHIP, SCHUYLKILL COUNTY, PA

THE OVERFLOW FOR THE BMP SHALL BE DIRECTED TO THE ROADSIDE SWALES WHERE PRACTICALLY FEASIBLE
 IN ALL CASES, THE OVERFLOW SHALL DISCHARGE TO A CONCRETE OR STONE LEVEL BLOCK TO MINIMIZE EROSION AND SHALL NOT BE DIRECTED TOWARDS ADJOINING LOTS WITHOUT THE IMPLEMENTATION OF PROPER CONVEYANCE.

PROJECT NUMBER:
122150



TYPICAL INDIVIDUAL LOT PCSM PLAN
SLOPE GREATER THAN 15% TOWARDS ROAD

SCALE: 1"=30'

FOR THE FOLLOWING LOTS:

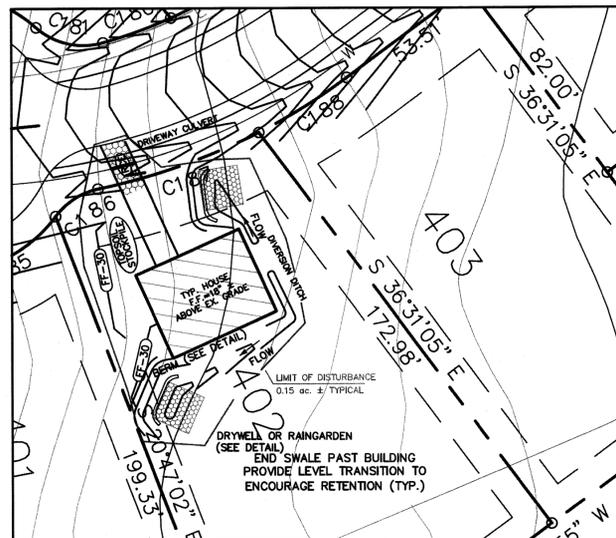
114-139,145-147

GENERAL NOTES:

1. REFER TO THE APPROPRIATE DETAILS FOR EROSION AND SEDIMENT CONTROL PLACEMENT AND MAINTENANCE. IN CASE OF DISCREPANCY, REFER TO D.E.P.'S EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (LATEST EDITION).
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9. UPON STABILIZATION, REMOVE CONSTRUCTION ENTRANCE AND PAVE DRIVEWAY.
10. REMOVE TEMPORARY CONTROLS WHEN THE SITE IS PERMANENTLY STABILIZED. VEGETATED AREAS SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A MINIMUM UNIFORM 70% VEGETATIVE COVER IS ACHIEVED.



TYPICAL INDIVIDUAL LOT PCSM PLAN
GREATER THAN 15% PARALLEL TO ROAD

SCALE: 1"=30'

FOR THE FOLLOWING LOTS:

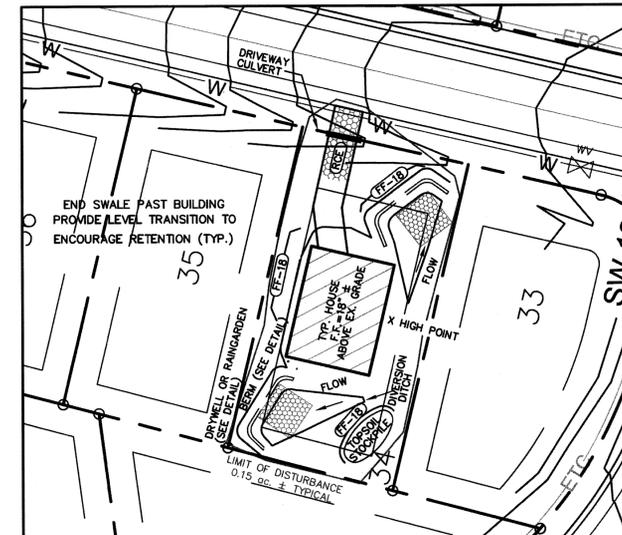
53-57,109-113

GENERAL NOTES:

1. REFER TO THE APPROPRIATE DETAILS FOR EROSION AND SEDIMENT CONTROL PLACEMENT AND MAINTENANCE. IN CASE OF DISCREPANCY, REFER TO D.E.P.'S EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (LATEST EDITION).
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TYPICAL INDIVIDUAL LOT PCSM PLAN
NARROW LOTS (60' WIDE) PARALLEL TO ROAD

SCALE: 1"=30'

FOR THE FOLLOWING LOTS:

GENERAL NOTES:

1. REFER TO THE APPROPRIATE DETAILS FOR EROSION AND SEDIMENT CONTROL PLACEMENT AND MAINTENANCE. IN CASE OF DISCREPANCY, REFER TO D.E.P.'S EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (LATEST EDITION).
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2. ESTABLISH AREA OF LOT TO BE GRADED. PRESERVE AS MUCH NATURAL VEGETATION AS POSSIBLE.
3. INSTALL SILT FENCE AND ROCK FILTER (IF APPLICABLE) AS SHOWN ON THE PLAN.
4. CLEAR AND GRUB LOT, DISPOSING OF DEBRIS. STRIP TOPSOIL FROM ALL AREAS TO BE GRADED AND STOCKPILE TOPSOIL. INSTALL SILT FENCE. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF STOCKPILE RELATIVE TO PROPOSED SITE IMPROVEMENTS. SILT FENCE IS TO BE INSTALLED DOWNSLOPE OF TOPSOIL STOCKPILE.
5. CONSTRUCT DIVERSION SWALES. (REFER TO GENERAL NOTE #3)
6. CONSTRUCT HOME AND INSTALL ASSOCIATED UTILITIES. PROVIDE ALL PERMANENT SEEDING AS INDICATED.
7. PERFORM GRADING AND INSTALL INFILTRATION BERM/DRY-WELL OR RAINGARDEN PER DETAIL. STABILIZE DISTURBED AREAS IMMEDIATELY.
8. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH SCHEDULE.
9. UPON STABILIZATION, REMOVE CONSTRUCTION ENTRANCE AND PAVE DRIVEWAY.
10. REMOVE TEMPORARY CONTROLS WHEN THE SITE IS PERMANENTLY STABILIZED. VEGETATED AREAS SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A MINIMUM UNIFORM 70% VEGETATIVE COVER IS ACHIEVED.

DESIGNED BY: M.P.B.	DATE: 5/15/14	NO.	DESCRIPTION OF REVISION	DATE
SURVEY FILE:				

SEAL

SEAL

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MAJOR SUBDIVISION FINAL PLAN
 INDIVIDUAL LOT CONTROL -2
 HIDDEN FOREST PHASE 2
 SECTION OF
 EAGLE ROCK
 NORTH UNION TOWNSHIP, SCHUYLKILL COUNTY, PA