

**Application of Pennsylvania-American Water Company for Acquisition of
the Wastewater Assets of Valley Township
66 Pa. C.S. § 1329
Application Filing Checklist – Water/Wastewater
Docket No. A-2020-3020178**

20. Proof of Compliance. Provide proof of compliance with applicable design, construction and operation standards of DEP or of the county health department, or both, including:
- b. For **wastewater** system acquisitions, provide copies of the water quality management and National Pollution Discharge Elimination System (NPDES) permits for the utility plant.

SECOND AMENDED RESPONSE:

- b. Attached is a copy of the permit application submitted by Valley Township to DEP on February 5, 2021. The permit application is attached as **Second Amended Appendix A-20-b**.



February 5, 2021

VLTPW24028

PA Department of Environmental Protection
Clean Water Division
Attn: Pravin Patel, PE, Permits Section
Via Email
2 E Main Street
Norristown, PA 19401

**RE: Country Ridge Pump Station WQM Permit Application
Valley Township, Chester County**

Dear Mr. Patel:

On behalf of Valley Township, we have enclosed the WQM permit application for the Country Ridge Pump Station as discussed in the pre-application meeting on January 28, 2021. One hard copy of the full submission along with the \$500 application fee will be hand delivered to PADEP.

If you have any questions or need additional information, please call.

Sincerely,

PENNONI ASSOCIATES INC.

Michael J. Ellis, PE
Senior Engineer

ela/

cc: Scott Piersol, Township Manager
Janis Rambo, Township Assistant Manager/Secretary
Amanda Sundquist, Unruh Turner Burke & Frees
Scott Fogelsanger, PAWC
Michael Thom, Obermayer Rebmann Maxwell & Hippel LLP
Garrett Moore, PFM
John Frey, PFM

DESIGN ENGINEER'S REPORT

*COUNTRY RIDGE PUMP STATION
VALLEY TOWNSHIP, PENNSYLVANIA*

Applicant:

Valley Township, Chester County, PA
1145 West Lincoln Highway
Coatesville, PA 19320

Prepared by:

Pennoni Associates
121 Continental Drive, Suite 207
Newark, DE 19713
(302) 655-4451



Michael J. Ellis, PE (PE075139)

Submitted to:

Pennsylvania Department of Environmental Protection
Southeast Regional Office
Norristown, PA

February 5, 2021

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Water Quality General Permit for Pump Stations Application Forms

- Notice of Intent (3850-PM-BCW0045b)
- Notice of Intent Checklist (3850-PM-BCW0045c)
- Pump Station Information (3850-PM-BCW0045e)

Location Map

USGS Location Map

Act 537 Planning Approval Letter

Country Ridge Subdivision Sewage Planning Module from 1989

Design Information

- Pump Station Design Plans by PSC Engineers & Consultants, Inc. from 1988; Redline by Pennoni
- Country Ridge Subdivision As-Built Plan Set by Lester R. Andes from 1988
- Pump Information and Performance Certification from 1990

ACT 14 Notifications

- Valley Township
- West Caln Township
- Chester County Planning Commission
- Chester County Health Department

Introduction

The Country Ridge Pump Station was originally designed in 1988 by PSC Engineers and Consultants, Inc. for A.M.S. Enterprises. The pump station was designed to convey flow from the Country Ridge Subdivision located on the border between Valley and West Caln Townships, Chester County, Pennsylvania into Valley Township’s sewer conveyance system and ultimately to the Pennsylvania American Wastewater Treatment Plant, then owned by the City of Coatesville Authority. In 1989, the Department approved the Sewage Facilities Planning Module for the Country Ridge Subdivision for 51 homes (15,300 gpd) served by the pump station.

As of 1992, the Country Ridge Pump Station located on Lot 52 of the Country Ridge Subdivision in West Caln Township, Chester County, Pennsylvania is owned and operated by Valley Township. The existing pump station is located at 104 N. Mt Airy Road in Coatesville, PA. The pump station conveys flow through a 2,000 foot long, 4-inch diameter force main. The force main travels through easements within the subdivision to Ridge View Drive, then leaves the subdivision and connects to the existing gravity sewer system located on Barlow Drive at existing manhole MH-13.

Flow Analysis

We prepared a flow analysis based on the existing contributing flow from the subdivision. The Equivalent Dwelling Units (EDUs) were assigned to the various properties and the average daily flow was calculated based on the known existing flow and Valley Township’s value of 300 gallons per day (gpd) per EDU. Considering the projected flows from the contributing properties, the total design average daily flow (ADF) to the pump station is 15,300 gpd for 51 EDUs.

The PADEP Sewage Pumping Station Guidance suggests a 4.2 peak factor be applied for pump station designs at this flow rate. The peak factor applied to the ADF yields a design peak inflow rate of 45 gpm.

Pump Station Design

The pump station design by PSC Engineers and Consultants, Inc. accounts for the design inflow rate of 45 gpm with an assigned design pump rate of 85 gpm. A duplex submersible pump station design was configured to meet the design conditions. The pump station wetwell has six-foot interior diameter, creating a surface area of 28.3 square feet. The operation range is set to 1.0 feet to provide effective storage volume of 211 gallons. A summary of the pump station design is provided in the table below.

Table 1 - Pump Station Summary

Design Influent Rate				
Number of EDUs	=	51		
Flow per EDU	=	300	gpd	
Dry Weather Average Flow	=	15,300	gpd	
Dry Weather Average Flow	=	11	gpm	
Equivalent Population	=	0.15	Population in Thousands (Ten States Standards)	
Pump Design				
Design Peak Factor	=	4.2	PA DEP - Sewage Pumping Station Guidance 1999	
Design Peak Flow	=	64,260	gpd	
Design Peak Hourly Flow	=	45	gpm	
Design Pumping Rate	=	85	gpm	
Drawdown Flow Rate	=	74	gpm	
Static Head	=	113.2	ft	estimated from plans
Total Dynamic Head	=	121	ft	

Wetwell Effective Volume¹			<i>Pump Off to First Pump Start Level</i>	
Interior Diameter	=	6	ft	
Effective Depth	=	1.0	ft	
Surface Area	=	28.3	ft ²	
Volume per Foot	=	211	gal	
Effective Volume	=	211	gal	<i>(Effective Wet Well Capacity)</i>
Cycle Time				
Drawdown Time	=	2.85	min	(Volume) / (Drawdown Flow Rate)
Fill Time	=	19.91	min	(Volume) / (Dry Weather Average Flow)
Cycle Time	=	22.76	min	
Starts Per Hour (DWAF)	=	2		

Table 2 – Operation Elevations, below, summarizes the operational elevations for the pump station. The high water alarm elevation is below the invert of the influent pipe. The operation levels were set with consideration to the number of starts per hour, the number of cycles per hour, the suction depth to prevent vortex, and low water alarm volume.

Table 2 - Operation Elevations

Operation	Elevation²
High Water Alarm	449.90
Lag Pump #2 ON - High Water Level	448.90
Lead Pump #1 ON - High Water Level	448.50
Lead and Lag Pumps OFF - Low Water Level	447.50
Low Water Alarm	446.50

Pump Station Operation

Country Ridge Pump Station operates as a basic duplex station sized for one pump operation including primary and backup level control system, DiaLog Scout remote monitoring, and automatic transfer for backup power generation. The primary level control system is a level transducer float system permitting one pump operation in an alternating fashion to balance pump usage. Should the influent rate exceed the station capacity the second pump would begin operation as the emergency lag pump. The main level control system has set points for high water alarm, lag pump on, lead pump on, pumps off, and low water alarm. A secondary backup float system has high water level and low water level alarms.

A DiaLog Scout remote monitoring system is installed for alarm monitoring including the following alarm conditions:

- Low Level Alarm
- High Level Alarm
- Pump 1 Failure
- Pump 2 Failure
- Seal 1 Failure
- Seal 2 Failure
- Power Failure

¹ Based on 1988 design plans showing wetwell size and control elevations.

² Based on 1988 design plans. May have been field adjusted to meet conditions.

- Generator Failure

During a power failure at the pump station, an automatic transfer switch initiates startup of the standby generator to provide operational power to the pumps and control system.

Pump Information

The existing pumps in the pump station are two Pentair Hydromatic S4LRC-2000 M3-4 submersible pumps. See the attached Pump Information and Performance Certification from 1990 for technical specifications of the pump. The design point is plotted on the pump curve in Figure 1 – Pump Curve.

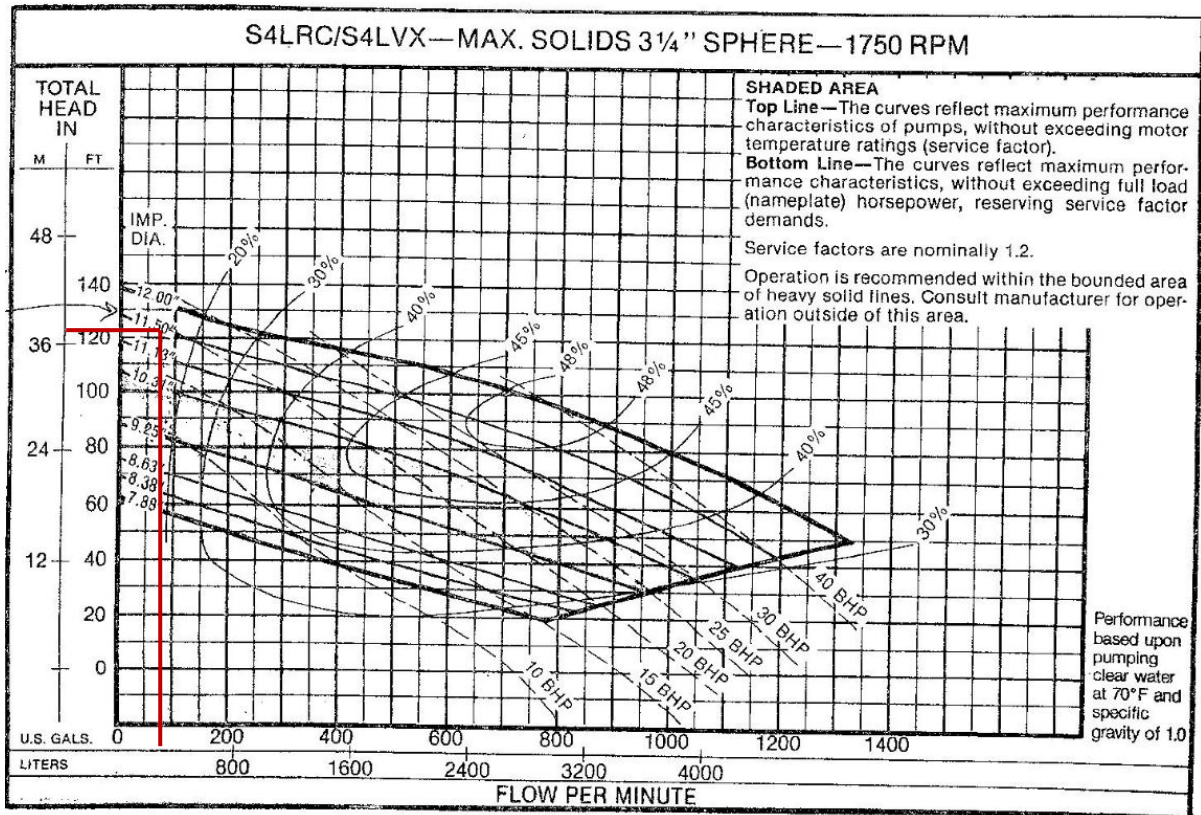


Figure 1 – Pump Curve

Technical Specifications

No modifications are proposed to the existing Country Ridge Pump Station. Additional technical specifications are outlined in the attached Pump Station Design Plans by PSC Engineers & Consultants. These plans are signed and stamped by the design engineer as to satisfy the WQM permit requirements for technical specifications.

- A. Wet Well
 1. Precast concrete structure
 2. 6 feet diameter by 9.5 feet deep
 3. 46-inch by 48-inch double-leaf aluminum hatch
 4. 4-inch Ductile Iron Pipe
- B. Valve Pit
 1. Precast concrete
 2. 4 feet diameter by 5 feet deep
 3. 30-inch by 30-inch aluminum hatch
- C. Pumps

1. Duplex – two pump system
 2. Submersible Hydromatic S4LRC pumps
 3. Capacity 85 gpm @ 121 ft TDH
 4. 4-inch flange 125 lb discharge
 5. 20 HP, 230 V, 3-Phase, 1750 RPM
 6. 11.5" Impeller
- D. Emergency Generator
1. Martin Machinery #MHG-50-3
 2. 50 kW, 120/240 V, 3-Phase, 1800 RPM
 3. 500 gallon above ground propane fuel tank with regulator, valve, and gauge on concrete pad
 4. Master Control Systems Inc. Battery Charger
- E. Controls
1. Duplex pump control panel
 2. Alarms
 - a. Low Level Alarm
 - b. High Level Alarm
 - c. Pump 1 Failure
 - d. Pump 2 Failure
 - e. Seal 1 Failure
 - f. Seal 2 Failure
 - g. Power Failure
 - h. Generator Failure
 3. Lightning arrestor
 4. HOA switches and run lights for each pump
 5. Automatic pump alternator
 6. Auxiliary alarm contacts for high level alarm
 7. Automatic dialer: DiaLog Scout (8-channel)
- F. Force Main
1. 4" Ductile Iron Pipe/SDR-26 PVC
 2. Approximately 2,000 linear feet
 3. Design Point Flow Rate = 85 gpm
 4. Velocity = 2.2 fps

System Summary

The 51 EDUs are served by an 85 gpm duplex pump station with a backup generator. The pump station conveys wastewater flow to the existing gravity sewer beginning at existing MH-13 through approximately 2,000 linear feet of 4-inch diameter force main against a total dynamic head of 121 feet. Detailed design information is provided on the attached drawings from 1988.

Site Photos



Country Ridge Pump Station



Wet Well



Valve Pit



Alarm Panel and DiaLog Scout Dialer



Main Circuit Breaker



Automatic Transfer Switch



Duplex Pump Control Panel



Emergency Generator



Battery Charger



Second Amended Appendix A-20-b

Christiana Executive Campus
121 Continental Drive, Suite 207
Newark, DE 19713
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www.pennoni.com

Water Quality General Permit for Pump Stations Application Forms



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

WQG-02
WATER QUALITY MANAGEMENT
GENERAL PERMIT FOR SEWER EXTENSIONS AND PUMP STATIONS
NOTICE OF INTENT (NOI)

Before completing this form, read the step-by-step instructions provided in this NOI package.

Related ID#s (If Known)		DEP USE ONLY	
Client ID#	81247	APS ID#	_____
Site ID#	_____	Auth ID#	_____
Facility ID#	_____	Date Received & General Notes	

CLIENT/OPERATOR INFORMATION

DEP Client ID#	Client Type/Code			
81247	MUNI			
Organization Name or Registered Fictitious Name		Employer ID# (EIN)	Dun & Bradstreet ID#	
Valley Township		23-6000550		
Individual Last Name	First Name	MI	Suffix	SSN
Additional Individual Last Name	First Name	MI	Suffix	SSN
Mailing Address Line 1		Mailing Address Line 2		
1145 West Lincoln Highway				
Address Last Line – City	State	ZIP+4	Country	
Coatesville	PA	19320	USA	
Client Contact Last Name	First Name	MI	Suffix	
Rambo	Janis	A		
Client Contact Title		Phone	Ext	
Assistant Township Manager/Secretary		(610) 384-5751	102	
E-mail Address			FAX	
jrambo@valleytownship.org			(610) 384-2746	

SITE INFORMATION

DEP Site ID#	Site Name			
	Country Ridge Pump Station			
EPA ID#				
Description of Site				
Existing pump station.				
County Name	Municipality	City	Boro	Twp
Chester	Valley	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Location Line 1		Site Location Line 2		
104 Mt Airy Road				
Site Location Last Line – City	State	ZIP+4		
Coatesville	PA	19320		

Second Amended Appendix A-20-b

3850-PM-BCW0045b 4/2017
NOI

Applicant Name:

Detailed Written Directions to Site

North on SR 82 from City of Coatesville. Turn east on West Kings Highway (SR 340), turn left onto Mt Airy Rd approximately 0.5 miles after SR82. Country Ridge Pump Station will be immediately on the right.

Site Contact Last Name	First Name	MI	Suffix
Lenhart	Kris		
Site Contact Title		Site Contact Firm	
Road Crew Lead Worker		Valley Township	
Mailing Address Line 1		Mailing Address Line 2	
1145 West Lincoln Highway			
Address Last Line – City		State	ZIP+4
Coatesville		PA	19320
Phone	Ext	FAX	E-mail Address
(610) 470-7083		(610) 384-2746	klenhart@valleytownship.org

Site-to-Client Relationship

The site and pump station are both currently owned by Valley Township.

FACILITY INFORMATION

Existing Permits. Identify all environmental quality permits (earth disturbance, NPDES, etc.) issued or applied for on behalf of this facility.

Permit Type	Permit#	Date Issued/Applied For

Attached is a facility location & drainage map. YES NO

Horizontal Accuracy Measure	Feet	--or--	Meters
Horizontal Reference Datum Code	<input checked="" type="checkbox"/> North American Datum of 1983		
	<input type="checkbox"/> World Geodetic System of 1984		

Horizontal Collection Method Code			
Reference Point Code			

Altitude	Feet	450	--or--	Meters
Altitude Datum Name	<input checked="" type="checkbox"/>	The North American Vertical Datum of 1988 (NAVD88)		

Altitude (Vertical) Location Datum Collection Method Code

Geometric Type Code

Data Collection Date

Source Map Scale Number	Inch(es)	=	Feet
--or--	Centimeter(s)	=	Meters

FACILITY DESIGN (Check all appropriate boxes below)

<input type="checkbox"/>	Sewer Extension (Complete Sewer Extension Information 3850-PM-BCW0045d)
<input checked="" type="checkbox"/>	Pump Station (Complete Pump Station Information 3850-PM-BCW0045e)

Second Amended Appendix A-20-b

3850-PM-BCW0045b 4/2017
NOI

Applicant Name:

COMPLIANCE HISTORY REVIEW

Is/was the facility owner or operator in violation of any DEP regulation, permit, order or schedule of compliance at this or any other facility? Yes No

If "Yes," list each permit, order and schedule of compliance and provide compliance status. Use additional sheets to provide information on all permits.

Permit Program _____ Permit No. _____
Brief Description of Noncompliance _____

Steps Taken to Achieve Compliance	Date(s) Compliance Achieved

Current Compliance Status In Compliance In Noncompliance

CERTIFICATION (Check appropriate box below.)

I certify under penalty of law that I

- am the applicant
- am an officer or official of the applicant
- have the authority to make this application (attach delegation of signatory authority)

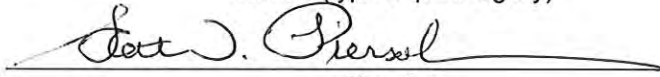
and that the plans, reports and documents designated and attached here with part of the application are true and correct to the best of my knowledge and belief and is in conformance with the requirements of the *Domestic Wastewater Facilities Manual*.

Scott Piersol

Name (type or print legibly)

Township Manager

Official Title

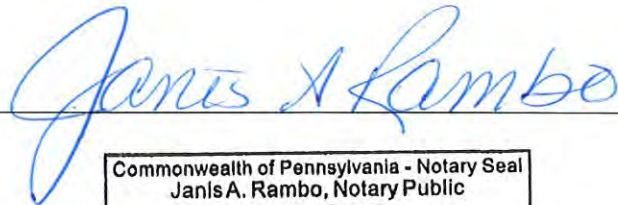

Signature

2/4/2021
Date

(Use corporate or professional seal as appropriate.)

Taken, sworn and subscribed before me, this 4th day of FEBRUARY 20 21

Notary Seal



Commonwealth of Pennsylvania - Notary Seal
Janis A. Rambo, Notary Public
Chester County
My commission expires July 22, 2023
Commission number 1133923
Member, Pennsylvania Association of Notaries

LICENSED PROFESSIONAL ENGINEER

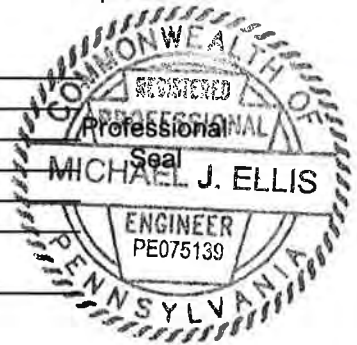
This is to certify that I have personally reviewed all engineering information contained in the accompanying drawings, specifications and other documents which are part of this application and that I have found it to be of good engineering quality, true and correct, and is in conformance with the requirements of the *Domestic Wastewater Facilities Manual* and it does not, to the best of my knowledge, withhold information that is pertinent to a determination of compliance with the requirements of DEP.

Name of Design Engineer:
Design Firm:
Mailing Address:

Telephone Number:
E-mail Address:

Mike Ellis
Pennoni Associates
121 Continental Drive
Suite 207
(302)351-5236
mellis@pennoni.com

Signature of Professional Engineer



NOTICE: It is an offense under Pennsylvania Criminal Code to affirm a false statement in documents submitted to DEP.

DEP will consider the licensed professional engineer whose seal is affixed to design documents to be fully responsible for the adequacy of all aspects of facility designs. The application and supporting documentation submitted for sewerage projects will be reviewed to ensure general consistency with good engineering practices, and the applicable design guidelines of DEP.

Second Amended Appendix A-20-b

3850-PM-BCW0045c 4/2017
Checklist



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

WQG-02 WATER QUALITY MANAGEMENT GENERAL PERMIT FOR SEWER EXTENSIONS AND PUMP STATIONS NOTICE OF INTENT (NOI) CHECKLIST

APPLICANT'S <input checked="" type="checkbox"/> CHECKLIST			
APPLICANT NAME	Valley Township		
<p>Check the following list to make sure that you have included all the required information. Place a checkmark in the column provided for all items completed and/or provided. Failure to provide all of the requested information will delay the processing of the application.</p> <p style="text-align: center;">ENCLOSE THIS CHECKLIST WITH YOUR APPLICATION FORM.</p>			
		Check <input checked="" type="checkbox"/> If Included	DEP Use Only
1.	Two (2) copies (original and 1 copy) of NOI and accompanying drawings and plans.	<input checked="" type="checkbox"/>	
	a. Certification and proper signatures.	<input checked="" type="checkbox"/>	
	b. Engineer's professional seal on each plan sheet.	<input checked="" type="checkbox"/>	
	c. Design Engineer's Report with signature and seal on cover.	<input checked="" type="checkbox"/>	
	d. Properly notarized (original).	<input checked="" type="checkbox"/>	
	e. Sewer extension and/or pump station information.	<input checked="" type="checkbox"/>	
	f. Additional copy for Erie and Allegheny counties (if required).	<input type="checkbox"/>	
	g. Technical specifications with engineer's seal and signature on cover.	<input checked="" type="checkbox"/>	
2.	Appropriate NOI fee.	<input checked="" type="checkbox"/>	
3.	Topographic map with appropriate details.	<input checked="" type="checkbox"/>	
4.	Act 537 Planning Approval Letter dated within one year.	<input checked="" type="checkbox"/>	
5.	Other (specify):	<input type="checkbox"/>	

Second Amended Appendix A-20-b

Applicant Name: Valley Township

3850-PM-BCW0045e 4/2017

Pump Station Information



**COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER**

**WQG-02
WATER QUALITY MANAGEMENT
GENERAL PERMIT FOR SEWER EXTENSIONS AND PUMP STATIONS
PUMP STATION INFORMATION**

APPLICANT NAME	Valley Township					
PUMP STATION (Submit separate module for each pump station.)						
1. PUMP STATION NAME: Country Ridge Pump Station						
2. List the WQM Permit number of the sewer to which this system connects.						12416
3. List the WQM Permit number of the treatment facility receiving flow from this system.						1599401
4. What is the reserve capacity of the most limiting component between this connection and the treatment facility?						Already allocated within the existing flow
5. LOCATION (Street name, etc.): 104 N. Mt Airy Road, Coatesville, PA 19320						
USGS Quadrangle Name			Wagontown			
Latitude/Longitude of Pump Station		Latitude			Longitude	
		Degrees	Minutes	Seconds	Degrees	Minutes
		40	0	17	-75	49
Latitude/Longitude of Connection Point		Latitude			Longitude	
		Degrees	Minutes	Seconds	Degrees	Minutes
		40	0	4	-75	49
		4			57	
6. TYPE (e.g., conventional, suction lift, ejector or submersible): Submersible						
7. INITIAL POPULATION TO BE SERVED: 51			FUTURE POPULATION TO BE SERVED: 51			
DESIGN YEAR: 1988						
8. DESIGN INFORMATION:		AVG (mgd)		Peak Instantaneous (mgd)		
a. Domestic Flow Rate (based on design population to be served)		0.0153		0.06426		
b. Industrial Flow Rate						
c. Infiltration/Inflow (I/I) Rate		included		included		
d. Design Flow Rate		0.0153		0.06426		
e. Effective Wet Well Capacity		(gal) 211				
f. Detention Time		(min) 22.76				
g. Design Average Velocity in Force Main		(fps) 2.2				
h. Total Dynamic Head (Pump Station + Force Main)		Static Head		113.2 ft		
		Friction Loss		13.3 ft		
		TDH		121 ft		
i. Diameter of Force Main		4		Inches		
9. Describe the proposed project with respect to the 100-year flood elevation, ventilation, emergency power provision and alarm system. The wet well and valve vault is not located near a 100 year-flood elevation. An existing 4" SCH. 40 PVC ventilation duct provides ventilation for the wet well. In the event of a power failure an existing generator is used to provide emergency power to the pumps and alarms. An existing audible and visual telemetering alarm system and auto-dialer is provided to indicate when there is a power failure, generator failure, pump failure, high wet well level, and low wet well level. The auto-dialer will also notify the responsible party of						

Second Amended Appendix A-20-b

Applicant Name: Valley Township

3850-PM-BCW0045e 4/2017
Pump Station Information

an alarm condition.

Second Amended Appendix A-20-b

Applicant Name: Valley Township

3850-PM-BCW0045e 4/2017
 Pump Station Information

LIST ALL THE PUMPS IN THE PUMP STATION											
NUMBER OF IDENTICAL PUMPS	Type of Pump	Check Columns That Apply To Each Pump								Pump Capacity	
		E X I S T I N G	P R O P O S E D	V A R I A B L E	C O N S T A N T	A U T O M A T I C	M A N U A L	P N E U M A T I C	S T A N D B Y	gpm	TDH (ft)
2	Duplex Submersible Hydromatic (Pentair S4LRC2000 M3-4) pump	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	85	121
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

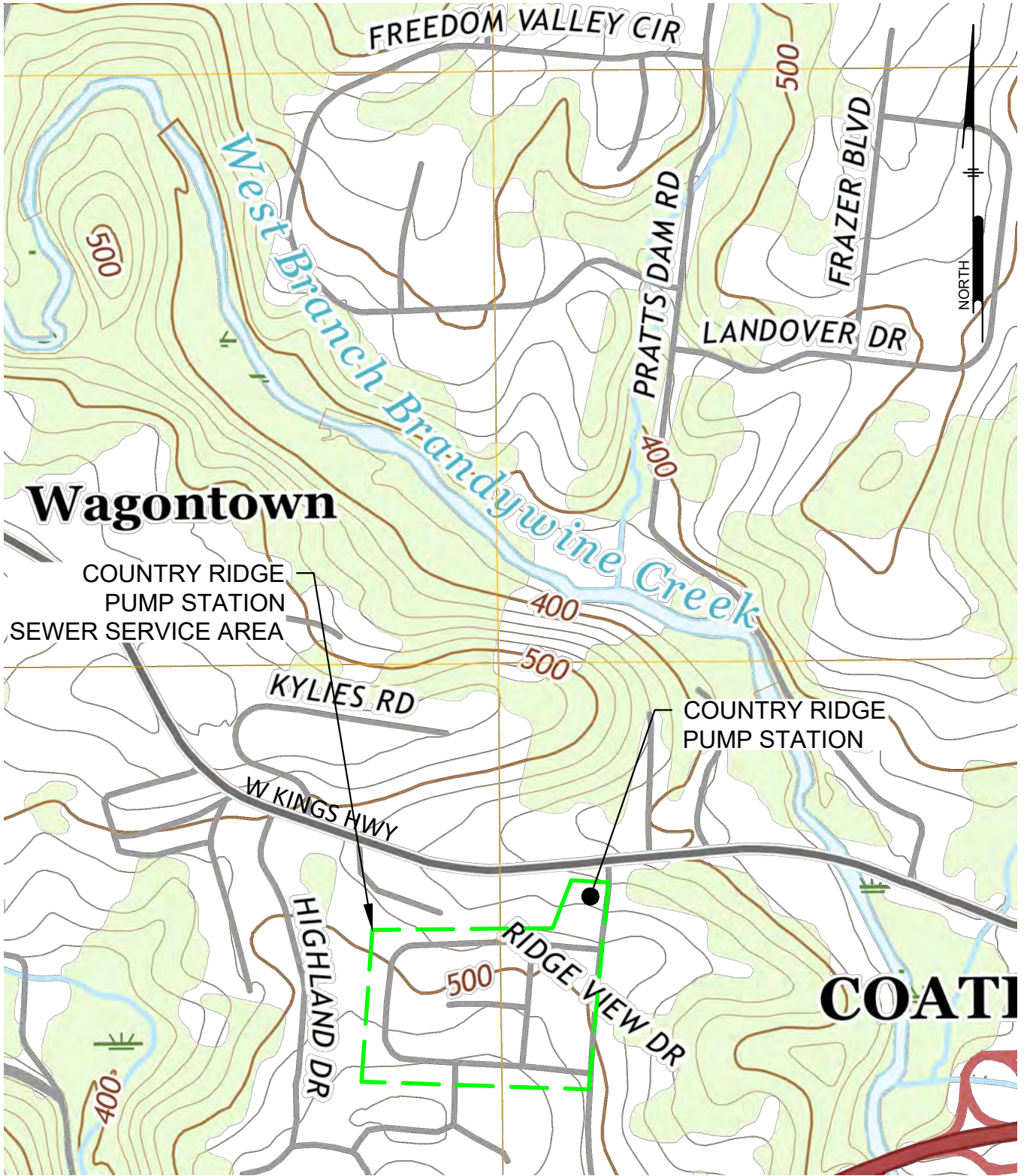


Second Amended Appendix A-20-b

Christiana Executive Campus
121 Continental Drive, Suite 207
Newark, DE 19713
T: 302-655-4451
F: 302-654-2895

www.pennoni.com

Location Map



Wagontown

COUNTRY RIDGE
PUMP STATION
SEWER SERVICE AREA

COUNTRY RIDGE
PUMP STATION

COATESVILLE



Pennoni Associates Inc.
Engineers • Surveyors • Planners
Landscape Architects

Christiana Executive Campus
121 Continental Drive, Suite 207 • Newark, DE 19713
T 302.655.4451 • F 302.654.2895

VALLEY TOWNSHIP
CHESTER COUNTY, PA

LOCATION MAP
COUNTRY RIDGE
PUMP STATION
104 MT AIRY ROAD
COATESVILLE, PA 19320

DRAWING NO.

1

DRAWN BY: ELA	CHECKED BY: BWM	PROJECT NO.
SCALE: 1"=800'	DATE: 2021-02-4	VLTWP24028

U:\ACCOUNTS\VT\WP24028 - WASTEWATER SYSTEM VALUATION SUPPORT\DESIGN\EXHIBITS\COUNTRY RIDGE PUMP STATION USGS LOCATION FIGURE.DWG
 PLOTTED: 2/4/2021 7:58:16 AM, BY: ERIKA ADDISON PLOTSTYLE: PENNONI NCS.STB, PROJECT STATUS: ---



Second Amended Appendix A-20-b

Christiana Executive Campus
121 Continental Drive, Suite 207
Newark, DE 19713
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F: 302-654-2895

www.pennoni.com

Act 537 Planning Approval Letter

ER-EP-21: 10/86

DEPARTMENT OF ENVIRONMENTAL RESOURCES

**ENVIRONMENTAL
PROTECTION**

S T A R T

BUREAU/PROGRAM Water Quality Management

DIVISION —

COUNTY/MUNICIPALITY 15.956

PROGRAM Sewage

CASE NAME Country Ridge Project

FILE ~~15.956~~ Permit

PERMIT NO. 1-15956-041-4



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL RESOURCES
1875 New Hope Street
Norristown, PA 19401
215 270-1975

6861 02 AON
NOV 20 1991

Ms. Doris A. Darlington
Valley Township
890 West Lincoln Highway
Coatesville, PA 19320

Re: Country Ridge Project
Code No. 1-15966-041-4
Valley Township, Chester County

Dear Ms. Darlington:

Please be advised that we have completed our review of the above referenced Planning Module for Land Development amending your municipality's Official Sewage Facilities Plan.

This revision to the Valley Township Official Sewage Facilities Plan meets the requirements of Chapter 71 of our Rules and Regulations.

Approval is hereby granted, and in accordance with this Chapter, Valley Township is responsible for implementing this revision as per the approved module.

This revision provides for adequate sewage facilities planning to permit the development of 51 residential units on 29 acres located on the southwest corner of the intersection of PA Route 340 and Mount Airy Road (T453). The project will generate 15,300 gallons of sewage per day to be treated at the Coatesville Authority Sewage Treatment Plant.

If you have any questions, please feel free to contact this office.

Very truly yours,

JOSEPH A. FEOLA
Regional Water Quality Manager

cc: Chester Co. Health Dept.
Chester Co. Planning Commission
West Cain Township
City of Coatesville Authority, Ms. Frey
Mr. Stoltzfus, AMS Enterprises
Mr. Williams
Mr. Loder
Ms. Toson
Planning Section

Re 30 WQ27 19



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL RESOURCES

1875 New Hope Street
Norristown, PA 19401
215 270-1975

NOV 20 1989

Mr. Gary L. Dunlap
West Caln Township
Box 175
Wagontown, PA 19376

Re: Country Ridge Project
Code No. 1-15961-228-4
West Caln Township, Chester County

Dear Mr. Dunlap:

Please be advised that we have completed our review of the above referenced Planning Module for Land Development amending your municipality's Official Sewage Facilities Plan.

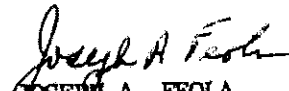
This revision to the West Caln Township Official Sewage Facilities Plan meets the requirements of Chapter 71 of our Rules and Regulations.

Approval is hereby granted, and in accordance with this Chapter, West Caln Township is responsible for implementing this revision as per the approved module.

This revision provides for adequate sewage facilities planning to permit the development of 51 residential units on 29 acres located on the southwest corner of the intersection of PA Route 340 and Mount Airy Road (T453). The project will generate 15,300 gallons of sewage per day to be treated at the Coatesville Authority Sewage Treatment Plant.

If you have any questions, please feel free to contact this office.

Very truly yours,


JOSEPH A. FEOLA

Regional Water Quality Manager

cc: Chester Co. Health Dept.
Chester Co. Planning Commission
Valley Township
Ms. Frey, City of Coatesville Authority
Mr. Stoltzfus, AMS Enterprises
Mr. Williams, P.F., Chesterland Assoc.
Mr. Loder
Ms. Toson
Planning Section
Re 30 WQ317.15

DER RECEIVED
NORRISTOWN
OCT 02 1989



September 28, 1989

Mr. Greg Louder
Commonwealth of Pennsylvania
Department of Environmental Resources
1875 New Hope Street
Norristown, Pennsylvania 19401

RE: Code #1-15956-041-4

Dear Mr. Louder:

Valley Township has asked us to correspond with you directly concerning the availability of capacity for the proposed Country Ridge development located on Route 340 (Kings Highway) in Valley and West Caln Townships, particularly with regard to available treatment plant capacity.

The City of Coatesville Authority (CCA) has adequate capacity in the City of Coatesville treatment plant to serve the proposed development. We understand that the projected increase in daily flow is approximately 20,000 gallons per day. There is an existing agreement between CCA and Valley Township providing for certain maximum flows of sewage on a quarterly basis. The capacity provided for the Country Ridge development is included in the agreed upon flow.

The current average flow at the Coatesville treatment plant is 2,500,000 gallons per day with a permitted capacity of 3,850,000 gallons per day.

Very truly yours,

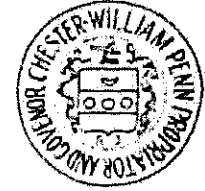
Christina K. Frey
Executive Director

CKF:hbd

cc: Valley Township
AMS Enterprises
John Hickman, Chesterland Associates



THE COUNTY OF CHESTER



Commissioners:
D. T. Marrone, Chairman
Irene B. Brooks
Patricia M. Baldwin

DER RECEIVED
MORRISTOWN
OCT 25 1989

CHESTER COUNTY HEALTH DEPARTMENT
North Branch
Route 100 & Birchrun Road
Glenmoore, PA 19343
(215) 458-0770

DATE: September 25, 1989
TO: Glenn K. Stinson
Sewage Facilities Consultant
FROM: Ralph E. DeFazio
Environmental Health Specialist II
SUBJECT: Amos Stoltzfus AKA AMS Enterprises, AKA Country Ridge
Code #1-15961-228 (also 1-15956-041)
West Caln Township and Valley Township Chester County

Attached please find the above referenced exception.

The project proposes 51 dwelling units on 28.66 acres located at Rt. 340 and Mt. Airy Road. Sewage will be treated at City of Coatesville Authority.

Component IV of the Planning Module indicates that the receiving wastewater treatment facility does have adequate capacity to serve this project.

This submission was reviewed in entirety under Valley Township. The same comments also apply to West Caln Township.

We, therefore, recommend approval of the enclosed revision to the Municipality's Act 537 Official Sewage Facilities Plan.

West Caln Township
File

ER-BCL-116:REV. 9/75

Code No. 1-15956-041-4

RESOLUTION FOR PLAN REVISION

RESOLUTION OF THE (SUPERVISORS) (COUNCILMEN) OF West Caln (TOWNSHIP) ~~(BOROUGH)~~ ^{XXXXXXXXXX}
~~(CITY)~~, Chester COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the "Pennsylvania Sewage Facilities Act", as Amended, and the Rules and Regulations of the Pennsylvania Department of Environmental Resources (Department) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters and/or environmental health hazards with sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new development conforms to a comprehensive program of pollution control and water quality management, and

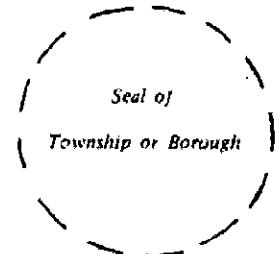
WHEREAS AMS Enterprises ^{land developer} has proposed the development of a parcel of land identified as Country Ridge, ^{name of subdivision} and described in the attached Planning Module for Land Development, and proposes that such subdivision be served by Community ^{individual/community} sewage systems, and

WHEREAS the municipality has reviewed the Planning Module for Land Development for the proposed subdivision and has determined that the proposed method of sewage disposal does not conform to and is not included in the approved "Official Plan" of the municipality West Caln Twp. ^(entitled)

WHEREAS, the West Caln ^{municipality} finds that the subdivision described in the attached Planning Module for Land Development conforms to applicable zoning, subdivision, other municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management,

NOW, THEREFORE, BE IT RESOLVED that the (Supervisors) ~~(Councilmen)~~ ^{XXXXXXXXXX} of the (Township) ~~(Borough)~~ ^{XXXXXXXXXXXXXX} (City) of West Caln hereby adopt and submit to the Department of Environmental Resources for its approval as a revision to the "Official plan" of the municipality the above referenced Planning Module for Land Development which is attached hereto. The municipality hereby assures the Department of the complete and timely implementation of the said plan as required by law. (Section 5, Pennsylvania Sewage Facilities Act as amended)

I Gary L. Dunlap, Secretary, West Caln Township Board of Supervisors (Borough Council) (City Councilmen), hereby certify that the foregoing is a true copy of the Township (Borough) (City) Resolution # 3-89, adopted September 12, 1989.





THE COUNTY OF CHESTER

Commissioners:
D. T. Marrone, Chairman
Irene B. Brooks
Patricia M. Baldwin

CHESTER COUNTY HEALTH DEPARTMENT
South Branch
P.O. Box 127
Kelton, PA 19346-0127
(215) 869-0560



July 13, 1989

TO: Glenn K. Stinson
Sewage Facilities Consultant

FROM: Frank T. Lynch
Environmental Health Specialist II

SUBJECT: Country Ridge Subdivision
Code Number: 1-15956-0-1-1
Valley and West Cain Township, Chester County

Attached please find the above referenced revision.

The project proposes 51 dwelling units on 28.66 acres located at the intersection of Route 340 and Mount Airy Road. Sewage will be treated at City of Coatesville Authority.

Component IV of the Planning Module indicates that the receiving wastewater treatment facility does have adequate capacity to serve this project.

We, therefore, recommend approval of the enclosed revision to the Municipality's Act 537 Official Sewage Facilities Plan.
FTL/mlb

cc:Valley Township
West Cain Township
File

CR-BWQ-355: Rev. 3/85

Transmittal Letter

To: Department of Environmental Resources or County Health Department
CHESTER COUNTY HEALTH DEPARTMENT (county office)
326 North Walnut Street
West Chester, Pennsylvania 19380

Code No. _____
FOR USE ONLY

Date _____

Dear Sir:

Attached please find a completed Planning Module for Land Development prepared by Lester Andes
(Name)
Engineer for AMS Enterprises (Country Ridge)
(Title) (Name)
a subdivision, commercial, or industrial facility located in West Cain
Township Chester County.
(City, Borough, Township)

Check one

You are hereby notified that this proposed subdivision or facility conforms to and is included in our approved "Official Plan" and therefore the planning module and any appended material constitutes a supplement to our "Official Plan" in accordance with Chapter 71, Administration of the Sewage Facilities Program, Title 26, Pennsylvania Code.

You are hereby notified that this proposed subdivision or facility does not conform to and is not included in our approved "Official Plan" and EITHER THAT:

(i) the Planning Module, as prepared and submitted by the applicant, has been found to conform to applicable zoning subdivision, other municipal ordinances and plans; and is approved by the municipality as a proposed revision to its "Official Plan", and is adopted for submission to the Department of Environmental Resources in accordance with the requirements of Chapter 71 of the Title and the Sewage Facilities Act, supra: OR

(ii) the Planning Module will not be approved by the municipality as a proposed revision to its "Official Plan" because the project described therein is unacceptable for the following reason(s) given and attached hereto.

Circle appropriate category(ies)

(a) Additional studies are being performed by or on behalf of this municipality which may have an effect on the Planning Module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.

(b) The Planning Module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g. zoning, land use, subdivisions, regulations, etc.). Specific reference or applicable segments of such laws or plans are attached hereto.

(c) Other (give specifics)

Gary L. Dunlap
Municipal Secretary (prim)

Gary L. Dunlap
Signature

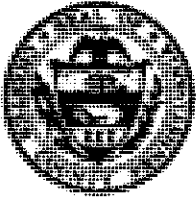
10-16-89
Date

The municipality has attached a copy of the County Planning Agency's comments or has indicated the date of submission to the Agency for its review.

YES

NO

Date of Submission _____



THE COUNTY OF CHESTER



Commissioners:
D. T. Marrone, Chairman
Irene B. Brooks
Patricia M. Baldwin


CHESTER COUNTY HEALTH DEPARTMENT
South Branch
P.O. Box 127
Kelton, PA 19346-0127
(215) 869-0560

DEPT RECEIVED
MORRISTOWN

JUL 24 1989

July 13, 1989

TO: Glenn K. Stinson
Sewage Facilities Consultant

FROM: Frank T. Lynch 
Environmental Health Specialist II

SUBJECT: Country Ridge Subdivision
Code Number: 1-15956-041-1
Valley and West Cain Township, Chester County

Attached please find the above referenced revision.

The project proposes 51 dwelling units on 28.66 acres located at the intersection of Route 340 and Mount Airy Road. Sewage will be treated at City of Coatesville Authority.

Component IV of the Planning Module indicates that the receiving wastewater treatment facility does have adequate capacity to serve this project.

We, therefore, recommend approval of the enclosed revision to the Municipality's Act 537 Official Sewage Facilities Plan.
FTL/mb

cc:Valley Township
West Cain Township
File

Second Amended Appendix A-20-b

ER-BWQ-365: 9/87

Transmittal Letter

Code No. 1-15956-041-4
DEP USE ONLY

TO: Department of Environmental Resources or County Health Department
CHESTER CO. HEALTH DEPT (county office)
326 N. WALNUT ST.
WEST CHESTER PA, 19380

Date _____

Dear Sir:

Attached please find a completed Planning Module for Land Development prepared by JOHN R. WILLIAMS
(Name)
P.E. for COUNTRY RIDGE
(Title) (Name)
a subdivision, commercial, or industrial facility located in VALLEY TWP
(City, Borough, Township) CHESTER County.

Check one

You are hereby notified that this proposed subdivision or facility conforms to and is included in our approved "Official Plan" and therefore the planning module and any appended material constitutes a supplement to our "Official Plan" in accordance with Chapter 71, Administration of the Sewage Facilities Program, Title 25, Pennsylvania Code.

You are hereby notified that this proposed subdivision or facility does not conform to and is not included in our approved "Official Plan" and EITHER THAT:

- (i) The Planning Module, as prepared and submitted by the applicant, has been found to conform to applicable zoning subdivision, other municipal ordinances and plans; and is approved by the municipality as a proposed revision to its "Official Plan", and is adopted for submission to the Department of Environmental Resources in accordance with the requirements of Chapter 71 of the Title and the Sewage Facilities Act, supra: OR
- (ii) The Planning Module will not be approved by the municipality as a proposed revision to its "Official Plan" because the project described therein is unacceptable for the following reason(s) given and attached hereto.

Circle appropriate category(ies)

- (a) Additional studies are being performed by or on behalf of this municipality which may have an effect on the Planning Module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.
- (b) The Planning Module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g. zoning, land use, subdivisions, regulations, etc.). Specific reference or applicable segments of such laws or plans are attached hereto.
- (c) Other (give specifics)

Doris A. Darlington
Municipal Secretary (print)

Doris A. Darlington
Signature

May 24, 1989
Date

The municipality has attached a copy of the County Planning Agency's comments or has indicated the date of submission to the Agency for its review.

YES NO

Second Amended Appendix A-20-b

ER-BWQ-355: Rev. 3/85

Transmittal Letter

To: Department of Environmental Resources or County Health Department
CHESTER COUNTY HEALTH DEPARTMENT (county office)
326 North Walnut Street
West Chester, Pennsylvania 19380

Code No. 1-15956-C/11-4
DEA USE ONLY

Date _____

Dear Sir:

Attached please find a completed Planning Module for Land Development prepared by John R. Williams (Name)

P.E. (Title) for Country Ridge (Name)

a subdivision, commercial, or industrial facility located in Valley Township
Chester (City, Borough, Township) _____ County.

Check one

You are hereby notified that this proposed subdivision or facility conforms to and is included in our approved "Official Plan" and therefore the planning module and any appended material constitutes a supplement to our "Official Plan" in accordance with Chapter 71, Administration of the Sewage Facilities Program, Title 25, Pennsylvania Code.

You are hereby notified that this proposed subdivision or facility does not conform to and is not included in our approved "Official Plan" and EITHER THAT:

(i) the Planning Module, as prepared and submitted by the applicant, has been found to conform to applicable zoning subdivision, other municipal ordinances and plans; and is approved by the municipality as a proposed revision to its "Official Plan", and is adopted for submission to the Department of Environmental Resources in accordance with the requirements of Chapter 71 of the Title and the Sewage Facilities Act, supra: OR

(ii) the Planning Module will not be approved by the municipality as a proposed revision to its "Official Plan" because the project described therein is unacceptable for the following reason(s) given and attached hereto.

Circle appropriate category(ies)

(a) Additional studies are being performed by or on behalf of this municipality which may have an effect on the Planning Module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.

(b) The Planning Module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g. zoning, land use, subdivisions, regulations, etc.). Specific reference or applicable segments of such laws or plans are attached hereto.

(c) Other (give specifics)

Doris A. Darlington Municipal Secretary (print) [Signature] Signature 6-29-89 Date

The municipality has attached a copy of the County Planning Agency's comments or has indicated the date of submission to the Agency for its review.

YES

NO

Date of Submission

Code No. 1-15956-041-4

RESOLUTION FOR PLAN REVISION

RESOLUTION OF THE (SUPERVISORS) (COUNCILMEN) OF Valley (TOWNSHIP) ~~(BOROUGH)~~ ~~(CITY)~~
~~(CITY)~~ Chester COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the "Pennsylvania Sewage Facilities Act", as Amended, and the Rules and Regulations of the Pennsylvania Department of Environmental Resources (Department) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters and/or environmental health hazards with sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new development conforms to a comprehensive program of pollution control and water quality management, and

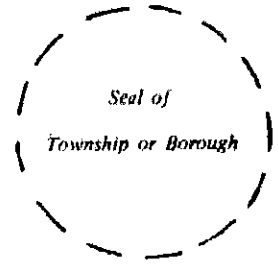
WHEREAS AMS Enterprises _{land developer} has proposed the development of a parcel of land identified as Country Ridge _{name of subdivision}, and described in the attached Planning Module for Land Development, and proposes that such subdivision be served by community _{individual/ community} sewage systems, and

WHEREAS the municipality has reviewed the Planning Module for Land Development for the proposed subdivision and has determined that the proposed method of sewage disposal does not conform to and is not included in the approved "Official Plan" of the municipality Valley Twp. (entitled)

WHEREAS, the Valley Twp. _{municipality} finds that the subdivision described in the attached Planning Module for Land Development conforms to applicable zoning, subdivision, other municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management,

NOW, THEREFORE, BE IT RESOLVED that the (Supervisors) ~~(Councilmen)~~ of the (Township) ~~(Borough)~~ ~~(City)~~ of Valley hereby adopt and submit to the Department of Environmental Resources for its approval as a revision to the "Official plan" of the municipality the above referenced Planning Module for Land Development which is attached hereto. The municipality hereby assures the Department of the complete and timely implementation of the said plan as required by law. (Section 5, Pennsylvania Sewage Facilities Act as amended)

I Doris A. Darlington, Secretary, Valley Township Board of Supervisors (Borough Council) (City Councilmen), hereby certify that the foregoing is a true copy of the Township (Borough) (City) Resolution # 89-4, adopted May 23, 19 89.



Code No. 1-15956-041-4

RESOLUTION FOR PLAN REVISION

RESOLUTION OF THE (SUPERVISORS) (COUNCILMEN) OF Valley (TOWNSHIP) ~~(BOROUGH)~~ ~~(CITY)~~
~~(CITY)~~ Chester COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the "Pennsylvania Sewage Facilities Act", as Amended, and the Rules and Regulations of the Pennsylvania Department of Environmental Resources (Department) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters and/or environmental health hazards with sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new development conforms to a comprehensive program of pollution control and water quality management, and

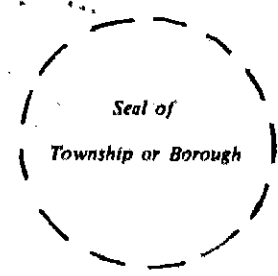
WHEREAS AMS Enterprises land developer has proposed the development of a parcel of land identified as Country Ridge name of subdivision, and described in the attached Planning Module for Land Development, and proposes that such subdivision be served by community individual/community sewage systems, and

WHEREAS the municipality has reviewed the Planning Module for Land Development for the proposed subdivision and has determined that the proposed method of sewage disposal does not conform to and is not included in the approved "Official Plan" of the municipality Valley Twp.
(entitled)

WHEREAS, the Valley Twp. municipality finds that the subdivision described in the attached Planning Module for Land Development conforms to applicable zoning, subdivision, other municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management,

NOW, THEREFORE, BE IT RESOLVED that the (Supervisors) ~~(Councilmen)~~ of the (Township) ~~(Borough)~~ ~~(City)~~ of Valley hereby adopt and submit to the Department of Environmental Resources for its approval as a revision to the "Official plan" of the municipality the above referenced Planning Module for Land Development which is attached hereto. The municipality hereby assures the Department of the complete and timely implementation of the said plan as required by law. (Section 5, Pennsylvania Sewage Facilities Act as amended)

I Doris A. Darlington, Secretary, Valley Township Board of Supervisors (Borough Council) (City Councilmen), hereby certify that the foregoing is a true copy of the Township (Borough) (City) Resolution # 89-4, adopted May 23, 19 89.



PLANNING MODULE FOR LAND DEVELOPMENT

Component II - General Planning Information (Return the completed module to the municipality)

II-A

NAME OF SUBDIVISION, COMMERCIAL OR INDUSTRIAL FACILITY: Country Ridge

MUNICIPALITY(IES) Valley and West Caln

COUNTY(IES) Chester

OWNERSHIP OF LAND DEVELOPMENT:

NAME(S) AMS Enterprises

ADDRESS(ES) 5803 Old Philadelphia Pike, Gap, PA 17527

TYPE OF OWNERSHIP:

- INDIVIDUAL
- DOMESTIC CORPORATION
- FOREIGN CORPORATION

- PARTNERSHIP
- OTHER

REGISTER TO DO BUSINESS IN PA

YES NO

(State of Incorporation PA)

IF CORPORATION OR PARTNERSHIP GIVE NAMES AND TITLES OF PRINCIPAL OFFICERS AND PRINCIPAL PLACE OF BUSINESS (IF OTHER THAN ADDRESS OF SUBDIVISION).

NAMES Amos Stoltzfus

TITLE President

ADDRESS OF SUBDIVIDER, OWNER, DEVELOPER OR RESPONSIBLE AGENT: 5803 Old Philadelphia Pike, Gap, PA 17527

TELEPHONE NO. (215) 380-0452 213-7095

(City) (Boro)

(State)

II-B

1. IDENTIFICATION, TYPE, OR NATURE OF DEVELOPMENT: (EXAMPLE: RESIDENTIAL, RESTAURANT, MOBILE HOME PARK, ETC.) Residential

a. NUMBER OF DWELLING UNITS 51 AND/OR GALLONS OF SEWAGE FLOW FOR THE PROPOSED DEVELOPMENT - 15,300 GAL./day

b. TOTAL ACREAGE OF DEVELOPMENT 28.66 ACRES

2. LOCATION OF SUBDIVISION, COMMERCIAL OR INDUSTRIAL FACILITY: LANDMARK COORDINATES - EXAMPLE: (NORTH SIDE OF RT. 75, 2.7 MILES EAST OF THE INTERSECTION OF RTS. 75 AND L.R. 24222) Intersection of Rt. 340 and Mount Airy Rd. T-453

3. TOPOGRAPHIC MAP IDENTIFICATION (COMPLETE SECTION (a) OR (b) BELOW OR SEE NOTE BELOW)

a. TOPOGRAPHICAL MAP COORDINATES

(1) USGS MAP QUADRANGLE Wagontown 7 1/2' OR 15'

(2) COORDINATES: 1/2 INCHES NORTH 1 1/2 INCHES WEST FROM SOUTHEAST CORNER OF MAP. (LOWER RIGHT HAND CORNER)

b. ATTACH A COPY OF THE USGS QUAD SHEET OR EQUIVALENT FOR THE GENERAL AREA OF THE PROJECT PROPOSAL INCLUDING AN OUTLINE OF THE PROPOSED PROJECT AREA.

ER-BWQ-351; Rev. 3/85

NOTE: A COUNTY, MUNICIPAL OR OTHER SUITABLE MAP MAY BE USED PROVIDED THAT THE LOCAL AND BOUNDARIES OF THE PROPOSED DEVELOPMENT CAN BE EASILY IDENTIFIED. ALL MAPS SUBMITTED ARE TO BE 8 1/2" BY 11" IN SIZE OR FOLDED TO THIS SIZE.

II-C

SEWAGE SERVICES AND WATER SUPPLY:

CHECK THE APPROPRIATE BLOCK AS IT REFERS TO SEWAGE DISPOSAL FOR THE PROPOSED DEVELOPMENT.

NOTE: INDIVIDUAL REFERS TO ALL PROPOSALS REQUIRING A PERMIT FOR A SUBSURFACE SEWAGE DISPOSAL SYSTEM FROM THE LOCAL AGENCY (MUNICIPALITY OR COUNTY)

PUBLIC REFERS TO ALL PROPOSALS REQUIRING A PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL RESOURCES, BUREAU OF WATER QUALITY MANAGEMENT TO DISCHARGE SEWAGE EFFLUENT TO THE SURFACE OF THE GROUND OR WATERS OF THE COMMONWEALTH.

INTERIM APPLIES TO FACILITIES THAT ARE INTENDED TO BE ABANDONED WITHIN (10) YEAR PERIOD.

- | | INDIVIDUAL | PUBLIC | NON-APPLICABLE |
|--|--------------------------|-------------------------------------|--------------------------|
| 1. EXISTING SEWAGE FACILITIES | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. INTERIM SEWAGE FACILITIES | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. ULTIMATE PROPOSED SEWAGE FACILITIES | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

CHECK THE APPROPRIATE BLOCK AS IT REFERS TO THE WATER SUPPLY FOR THE PROPOSED DEVELOPMENT.

NOTE: INDIVIDUAL REFERS TO ALL PROPOSALS THAT UTILIZE A WATER SOURCE SERVING LESS THAN 25 PERSONS/DAY OR PROVIDING LESS THAN 15 CONNECTIONS.

PUBLIC REFERS TO ALL PROPOSALS THAT UTILIZE A WATER SOURCE SERVING 25 OR MORE PERSONS/DAY OR PROVIDING 15 CONNECTIONS OR MORE

- | | INDIVIDUAL | PUBLIC | NON-APPLICABLE |
|---|--------------------------|-------------------------------------|--------------------------|
| 4. EXISTING WATER SUPPLY | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. INTERIM WATER SUPPLY (IF APPLICABLE) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. ULTIMATE PROPOSED WATER SUPPLY | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
- WILL A PUC LICENSE BE REQUIRED? YES NO

II-D

PUBLIC SEWERAGE FACILITIES:

- ESTIMATED GALLONS OF SEWAGE TO BE GENERATED BY PROPOSED LAND DEVELOPMENT 20,000 GAL/DAY
- DISTANCE TO AND SIZE OF NEAREST SEWER LINE 3100 FEET OR MILES
10" DIAMETER

BRIEF IDENTIFICATION OF WHERE SEWER LINE IS LOCATED IF APPLICABLE AND SOURCE OF INFORMATION As Built drawings supplied by Valley Twp. Authority

- WILL THE LAND USE BE SERVED BY SEWERS? YES NO
- IF THE DEVELOPMENT PROPOSES TO UTILIZE MUNICIPAL SEWAGE FACILITIES HAVE:
 - APPROVALS BEEN OBTAINED FROM THE SEWER AUTHORITY? YES NO
 - AGREEMENTS FOR CONNECTION BEEN ATTACHED? YES NO

II-E

ENVIRONMENTAL ASPECTS - THE FOLLOWING QUESTIONS SHALL BE ANSWERED BY THE DEVELOPER AND CAREFULLY REVIEWED BY THE MUNICIPALITY FOR ACCURACY.

Second Amended Appendix A-20-b

Q-351: Rev. 3/85

1. THE DEVELOPMENT PROPOSAL PROVIDES FOR THE DISPOSAL OF SEWAGE EFFLUENT IN ONE OF THE FOLLOWING WAYS .

- | | YES | NO |
|---|-------------------------------------|-------------------------------------|
| SUBSURFACE DISPOSAL | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| SPRAY IRRIGATION OF EFFLUENT | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| DIRECT DISCHARGE TO A STREAM VIA TREATMENT FACILITIES | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| OTHER _____ | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

2. ARE ANY OF THE FOLLOWING WITHIN THE GENERAL LOCATION OF THE SEWAGE DISCHARGE .

- | | YES | NO |
|--|--------------------------|-------------------------------------|
| SURFACE WATER SUPPLY | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| PRIVATE OR PUBLIC WELL | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| NATURAL PUBLIC BATHING AREAS | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| CONSERVATION AREAS (TITLE 25, CHAPTER 93, PA CODE) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

3. DOES THIS PROPOSAL INTEND TO UTILIZE ON-SITE SUBSURFACE SEWAGE DISPOSAL? YES NO

IF YES -WHAT IS THE SOURCE OF DRINKING WATER?

- | | | | |
|--|-----|--------------------------|--------------------------|
| INDIVIDUAL WATER SUPPLY (WELL, SPRING, CISTERN) | N/A | <input type="checkbox"/> | <input type="checkbox"/> |
| PUBLIC WATER SUPPLY (MUNICIPAL, ASSOCIATION, FACILITY) | N/A | <input type="checkbox"/> | <input type="checkbox"/> |

NOTE: SEE DEFINITIONS UNDER COMPONENT II-C
IF YES -WHAT IS THE SMALLEST LOT SIZE?

N/A acres or sq. ft.

4. WHAT IS THE MAXIMUM ACREAGE THAT WILL HAVE ITS ORIGINAL VEGETATIVE GROUND COVER DISTURBED? (TITLE 25, CHAPTER 102, PA CODE)

- 0 - 5 ACRES
 5 - 25 ACRES
 MORE THAN 25 ACRES

5. WHAT APPROXIMATE PERCENTAGE 16 % OR ACREAGE 4.8 A OF THE PROPOSAL WILL HAVE ITS NATURAL PERMEABILITY EFFECTED BY THE COVERING OF THE GROUND SURFACE WITH IMPERMEABLE MATERIAL SUCH AS ROADS, PARKING LOTS, ROOF AREAS OF LARGE BUILDINGS, ETC.

6. WILL PROVISIONS FOR STORM WATER DRAINAGE BE PROVIDED? YES NO

7. ARE ANY AREAS OF THIS PROPOSAL LOCATED ON FLOODPLAIN SOILS AS CLASSIFIED BY TITLE 25, CHAPTER 73, STANDARDS FOR SEWAGE DISPOSAL FACILITIES, APPENDIX B, OR IN AN AREA DESIGNATED BY THE MUNICIPALITY AS A FLOODPLAIN? YES NO

8. INCLUDE A BRIEF DESCRIPTION OF THE ADJACENT LAND USE IN THE AREA OF THE PROPOSED DEVELOPMENT (EXAMPLE: 7 RESIDENTIAL PROPERTIES NORTH AND ADJACENT, 15 UNIT COMMERCIAL SHOPPING CENTER ACROSS THE STREET) 8 residential prop north and adjacent.
5 residential prop east and adj. 2 residential prop south & adj. Vacant
farm land south and west

II-F

AVAILABILITY OF PUBLIC WATER SUPPLY:

1. ESTIMATED WATER USEAGE FOR THIS PROPOSAL 20,000 GAL/DAY
2. WILL THE PROPOSED LAND USE BE SERVED BY A PUBLIC WATER SUPPLY? YES NO
3. LOCATION AND NAME OF NEAREST PUBLIC WATER SUPPLY Valley Twp. Municipal Authority
Mineral Spring Road

Second Amended Appendix A-20-b

ER-BWG-351: Rev. 3/85

4. IF PUBLIC WATER SUPPLY IS TO BE UTILIZED ANSWER THE FOLLOWING:

DISTANCE TO NEAREST CONNECTION TO A PUBLIC WATER SUPPLY 5400 FEET.

DOES THE PROPOSED WATER SUPPLIER HAVE ADEQUATE RESERVED CAPACITY TO SERVE THIS DEVELOPMENT? YES NO

HAS THE DEVELOPER RECEIVED APPROVAL FROM THE WATER SUPPLIER TO CONNECT TO THEIR SYSTEM? YES NO

HAS A LETTER OF INTENT FOR THIS CONNECTION BEEN ATTACHED TO THIS MODULE? YES NO

SOURCES OF INFORMATION:

NAME(S) AND TITLE(S) Valley Twp. Authority - Wm. Robinson, Vice Chairman
ADDRESS 890 Lincoln Hwy., Coatesville, PA 19382
TELEPHONE AREA CODE (215) 384-5751

NAME AND TITLE OF INDIVIDUAL COMPLETING COMPONENT II OF THIS MODULE:

John R. Williams, P.E. Chesterland Associates

ADDRESS 460 W. Gay St., West Chester, PA 19380

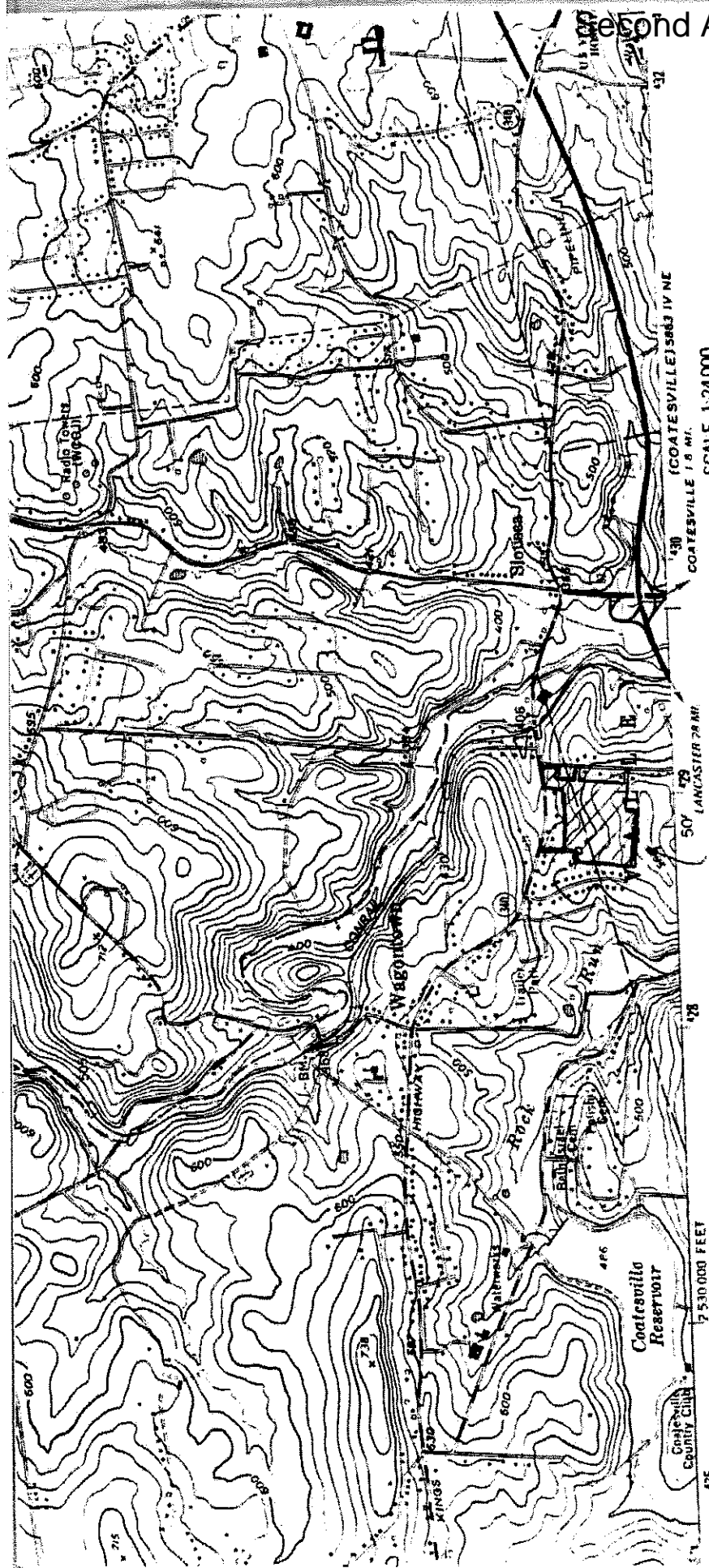
TELEPHONE AREA CODE (215) 431-4090

DATE April 10, 1989

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION CONTAINED IN THIS MODULE IS TRUE AND ACCURATE

John R. Williams P.E.
Signature Seal (if completed by a Professional Engineer or Surveyor)

Date

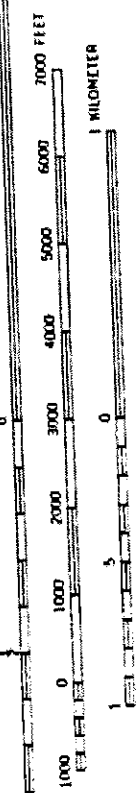


Compiled, and published by the Geological Survey

USGS and NOS/NOAA
 photogrammetric methods from aerial
 taken 1951. Field checked 1956
 section. 10,000-foot grid ticks based
 on a coordinate system, south zone
 Universal Transverse Mercator grid ticks,
 are in blue. 1927 North American Datum
 are predicted North American Datum 1983 move
 1 lines 6 meters south and 30 meters west
 dashed corner ticks
 private inholdings within the boundaries of
 or State reservations shown on this map
 shown in purple and woodland compiled from
 maps taken 1981 and other sources. This
 was field checked. Map edited 1983

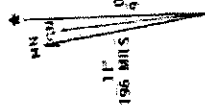
COUNTRY RIDGE

SCALE 1:24,000



CONTOUR INTERVAL 20 FEET
 NATIONAL GEODETIC VERTICAL DATUM OF 1929

UTM GRID AND 1983 MAGNETIC NORTH
 DECLINATION AT CENTER OF SHEET



THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS
 FOR SALE BY U. S. GEOLOGICAL SURVEY, RESTON, VIRGINIA 22092
 A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST

PLANNING MODULE FOR LAND DEVELOPMENT

Component IV

THIS SECTION MUST BE COMPLETED BY A REGISTERED PROFESSIONAL ENGINEER FOR ALL SEWERAGE PROJECTS THAT REQUIRE THE ISSUANCE OR MODIFICATION OF A CLEAN STREAMS PERMIT, BY THE DEPARTMENT OF ENVIRONMENTAL RESOURCES.

NOTE: IF THE PROJECT INVOLVES THE CONSTRUCTION OF A NEW TREATMENT FACILITY OR MODIFICATIONS TO AN EXISTING TREATMENT FACILITY AND DISCHARGE REQUIREMENTS ARE NOT PROVIDED, CONTACT THE APPLICABLE REGIONAL OFFICE OF THE BUREAU OF WATER QUALITY MANAGEMENT FOR INFORMATION REGARDING TREATMENT AND DISCHARGE REQUIREMENTS.

1. CHECK ALL APPLICABLE BOXES CONCERNING THE PROPOSED FACILITIES.

- | | | | |
|--|-------------------------------------|--|---|
| <input checked="" type="checkbox"/> COLLECTION | <input type="checkbox"/> NEW SYSTEM | <input checked="" type="checkbox"/> EXTENSION TO EXISTING SYSTEM | <input type="checkbox"/> REPLACEMENT OF EXISTING SYSTEM |
| <input checked="" type="checkbox"/> CONVEYANCE | <input type="checkbox"/> NEW SYSTEM | <input checked="" type="checkbox"/> EXTENSION TO EXISTING SYSTEM | <input type="checkbox"/> REPLACEMENT OR RELIEF OF EXISTING SYSTEM |
| <input type="checkbox"/> TREATMENT | <input type="checkbox"/> NEW SYSTEM | <input type="checkbox"/> EXPANSION OF EXISTING PLANT | <input type="checkbox"/> UPGRADING OF EXISTING PLANT |

PROVIDE A BRIEF NARRATIVE DESCRIPTION OF THE PROJECT - LOCATE SERVICE AREA(S), CONVEYANCE FACILITIES TREATMENT FACILITIES AND POINT OF DISCHARGE OF PROPOSED FACILITIES ON THE USGS QUAD SHEET OR EQUIVALENT MAP PROVIDED IN COMPONENT II OF THIS MODULE.

PROJECT AREA RESIDENTIAL POPULATIONS - PROVIDE ALL INFORMATION FOR THE MUNICIPALITY(S) IN WHICH THE PROJECT IS LOCATED. NOTE: IF THE PROPOSED PROJECT WILL PROVIDE SERVICE IN MORE THAN ONE MUNICIPALITY EITHER INITIALLY OR PRIOR TO THE DESIGN YEAR PROVIDE INFORMATION FOR EACH MUNICIPALITY SEPARATELY BY REPEATING THE TABLE THAT APPEARS BELOW ON A SEPARATE SHEET. IF THE PROPOSED PROJECT WILL MODIFY EXISTING FACILITIES, INDICATE THE TOTAL POPULATION SERVED BY THE FACILITIES AS MODIFIED.

MUNICIPALITY VALLEY TWP

CHECK HERE IF ADDITIONAL SHEETS PROVIDED

YEAR	TOTAL MUNICIPAL POPULATION	POPULATION SERVED BY SEWERS	POPULATION SERVED BY THIS PROJECT COLLECTION CONVEYANCE TREATMENT
CURRENT <u>1989</u>	<u>4000 TWP EST.</u>	<u>850 HOUSES</u>	
1980	<u>3598</u>	<u>724 HOUSES.</u>	
1990	<u>4600 TWP EST.</u> <u>3680 CCPC EST.</u>	<u>1050 HOUSES TWP EST.</u>	
DESIGN YEAR <u>1990</u>	<u>4600</u>	<u>1050 x 3.5 = 3675.</u>	<u>51 SINGLE FAM. (35 VALLEY 16 W. CALN)</u>

2. PROPOSED BASIS OF DESIGN - PROVIDE ALL APPLICABLE INFORMATION FOR JUST THE PROPOSED PROJECT. NOTE: IF THE PROPOSED PROJECT WILL MODIFY EXISTING FACILITIES INCLUDE THE TOTAL FLOWS AND TREATMENT LEVELS OF THE FACILITIES AS MODIFIED IN THIS SECTION.

A. ESTIMATED WASTE FLOWS - INDICATE VALUES AS GAL/CAP/DAY, GAL/ACRE/DAY OR GAL/DAY AS APPLICABLE.

RESIDENTIAL SEWAGE FLOWS

	Design Year	GPCD Per Capita Flow		Population Served		Total Residential Flow			
		Average	Peak	Initial	Design	Average	Peak	Initial	Design
Collection	1989	115	285	178	178	20,000	>20,000	50,000	50,000
Conveyance	1989	115	285	178	>> 178	20,000	>20,000	50,000 ⁺	50,000 ⁺
Treatment	EXISTING	115	285	15,000	APPROX 22,000	APPROX 2.2 MM	3.85 MM	3.0 MM	

LIMITING FACTOR ON COLLECTION IS PUMP STATION .35 GPM.
 LIMITING FACTOR ON NEW CONVEYANCE IS 8" GRAVITY LINE SLOPE .004.

COMMERCIAL FLOWS

	Acreage Served		GPAD OR GPD Unit Flow		Total Commercial Flow (gad)			
	Initial	Design	Average	Peak	Initial	Average	Peak	Design
Collection			N/A					
Conveyance			N/A					
Treatment								

INDUSTRIAL FLOWS

	Acreage Served		GPAD OR GPD Unit Flow		Total Industrial Flow (gad)			
	Initial	Design	Average	Peak	Initial	Average	Peak	Design
Collection								
Conveyance			N/A					
Treatment								

TOTAL WASTE FLOWS (GPD)

	AVERAGE		PEAK	
	INITIAL	DESIGN	INITIAL	DESIGN
Collection				
Conveyance				
Treatment	2.2 MM	3.85 MM	3.0 MM	

0,35 MM VALLEY TWP ONLY.

FIGURES FROM COATESVILLE AUTHORITY.

B. ANTICIPATED AVERAGE RAW WASTE CHARACTERISTICS - INDICATE ALL VALUES AS mg/l

	RAW			Combined Waste Stream	Proposed Effluent	TREATED	Required (as specified by BWQM)
	Residential	Commercial	Industrial				
BOD ₅ @20° c				150			
Dissolved Oxygen				4			
NH ₃ - N				12			
Suspended Solids				170	FIGURES FROM COATESVILLE AUTHORITY		
Total Dissolved Solids				-			
Phosphorous as Total (P)				-			
Temperature °C				54°F			
Other (Specify)							

NOTE: FOR INDUSTRIAL FLOWS, CHARACTERISTICS SHOULD BE AS ANTICIPATED AFTER ANY REQUIRED PRETREATMENT.

CHECK HERE IF PRETREATMENT WILL BE REQUIRED AND ATTACH APPLICABLE ORDINANCES.

3. ASSOCIATED FACILITIES - COMPLETE THIS SECTION ONLY IF THE PROPOSED PROJECT WILL TIE INTO EXISTING OR PROPOSED FACILITIES THAT ARE ESSENTIAL TO, BUT NOT INCLUDED IN THE PROPOSED PROJECT. (LOCATE THESE ASSOCIATED FACILITIES ON THE USGS QUAD SHEET OR EQUIVALENT MAP PROVIDED IN COMPONENT II OF THIS MODULE.)

NOTE: IF SOME OF THE ASSOCIATED FACILITIES ARE PROPOSED WHILE OTHERS ARE EXISTING OR IF THE FACILITIES ARE OWNED BY TWO OR MORE PERSONS (AUTHORITIES) COMPLETE A SEPARATE SECTION 3 FOR EACH.

A. ASSOCIATED FACILITIES OWNER AND ADDRESS(ES)

CITY OF COATESVILLE AUTHORITY
 114 E LINCOLN HWY.
 COATESVILLE PA 19320

B. TYPE AND STATUS OF ASSOCIATED FACILITIES

-CHECK ALL APPLICABLE BOXES

- CONVEYANCE EXISTING
 TREATMENT PROPOSED

C. ASSOCIATED FACILITIES FLOWS - PROVIDE ALL APPLICABLE INFORMATION IN GPD

	Design or Permitted Capacity		Present Flow		Anticipated Flow in 5 years without Proposed Project		Anticipated Total Flow in 5 years with Proposed Project	
	Average	Peak	Average	Peak	Average	Peak	Average	Peak
Conveyance								
Treatment	3.85MM.	22MM	3.0MM.				INCREASE DUE TO PROJECT LESS THAN 1/2% OF CAPACITY.	

ARE THERE ANY CRITICAL SECTIONS IN THE EXISTING CONVEYANCE FACILITIES WHICH WILL HAVE INADEQUATE CAPACITY AS A RESULT OF THE PROJECTED FLOWS OF THE PROPOSED PROJECT? YES NO IF YES, EXPLAIN.

IF THE ASSOCIATED FACILITIES ARE PROPOSED, INDICATE BELOW THE DATE BY WHICH THEY ARE EXPECTED TO BE OPERATIONAL, AND IF THIS DATE IS DEPENDENT ON THE AWARD OF FEDERAL CONSTRUCTION GRANTS. DATE ASSOCIATED FACILITIES ARE EXPECTED TO BE OPERATIONAL N/A. IS THIS DATE DEPENDENT ON FEDERAL CONSTRUCTION GRANTS? YES NO

IF THE ANTICIPATED FLOW WITHIN 5 YEARS WITH THE PROPOSED PROJECT EXCEEDS THE DESIGN OR PERMITTED FLOW OF THE ASSOCIATED FACILITIES, ATTACH AN EXPLANATION OF THE STEPS THAT ARE BEING TAKEN TO PROVIDE ADDITIONAL CAPACITY.

IF THE ASSOCIATED FACILITIES CONTAIN BY-PASS OR OVERFLOW POINTS, MARK THEIR LOCATIONS ON THE MAP. GIVE BRIEF DESCRIPTION NONE DESCRIBE FREQUENCY OF USE _____

D. REPLACEMENT OF FACILITIES - IF THE PROPOSED PROJECT IS INTENDED TO REPLACE ALREADY PERMITTED FACILITIES (OWNED BY THE PROJECT SPONSOR OR OTHERS) N/A. CHECK HERE, AND ATTACH A LISTING GIVING OWNERS NAME AND ADDRESS, FACILITY TYPE; ALSO INDICATE THEIR LOCATION ON THE MAP.

E. ALTERNATIVES TO THE PROPOSED PROJECT - IF ALTERNATIVE(S) TO THE PROPOSED PROJECT WERE EVALUATED, CHECK HERE, AND ATTACH A BRIEF EXPLANATION THAT DESCRIBES THE ALTERNATIVE(S), AND WHY THEY WERE REJECTED. BE SURE TO INCLUDE ANY COST AND ENVIRONMENTAL INFORMATION THAT WAS DEVELOPED DURING THE EVALUATION. ALSO BE SURE TO LIST ALL APPLICABLE LOCAL, COUNTY, REGIONAL AND STATE WATER QUALITY OR WASTE MANAGEMENT PLANS THAT WERE CONSULTED DURING THE EVALUATION.

NOTE: STATE LAW REQUIRED THAT ALL REASONABLE ALTERNATIVES FOR AREA WIDE WASTE TREATMENT MANAGEMENT BE EVALUATED. FAILURE TO DO SO MAY RESULT IN THE REJECTION OF THIS PROPOSAL OR COULD CAUSE LENGTHY DELAYS IN APPROVAL. TO AVOID THESE POSSIBILITIES, CONSULT WITH THE LOCAL REGIONAL OFFICE OF THE DEPARTMENT OF ENVIRONMENTAL RESOURCES, AND WITH APPLICABLE MUNICIPAL, COUNTY AND REGIONAL PLANNING COMMISSION EARLY IN THE PLANNING PROCESS.

F. MUNICIPAL SPONSORSHIP - IF THE PROJECT SPONSOR IS A PRIVATE INDIVIDUAL (OR CORPORATION) CHECK HERE, AND ON A SEPARATE SHEET INDICATE IF MUNICIPAL SPONSORSHIP OF THE PROPOSED PROJECT WAS SOUGHT TOGETHER WITH AN EXPLANATION OF WHY MUNICIPAL SPONSORSHIP IS NOT PRACTICAL.

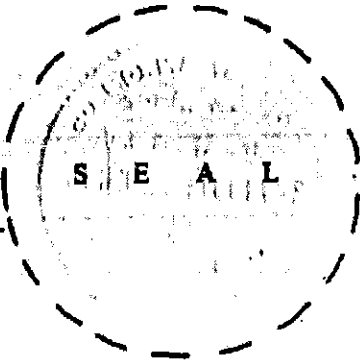
G. PROPOSED PROJECT FINANCING

	Amount
<input type="checkbox"/> FEDERAL FUNDS	_____
<input type="checkbox"/> STATE FUNDS	_____
<input type="checkbox"/> LOCAL FUNDS	_____
<input checked="" type="checkbox"/> PRIVATE FUNDS	<u>\$ 230,000</u>
TOTAL PROJECT COST	<u>\$ 230,000</u>

TO THE BEST OF MY KNOWLEDGE AND BELIEF THE INFORMATION CONTAINED IN THIS MODULE IS TRUE AND ACCURATE.

Joh R. Gilliam
Signature of Registered Professional Engineer

Date 4/10/89



PLANNING MODULE FOR LAND DEVELOPMENT

Component IV

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- | | | | |
|-------------------------------------|-------------------------------------|---|---|
| <input type="checkbox"/> COLLECTION | <input type="checkbox"/> NEW SYSTEM | <input type="checkbox"/> EXTENSION TO EXISTING SYSTEM | <input type="checkbox"/> REPLACEMENT OF EXISTING SYSTEM |
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MUNICIPALITY WEST CALN

____ CHECK HERE IF ADDITIONAL SHEETS PROVIDED

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CURRENT <u>1989</u>	<u>?</u>		
1980	<u>4958</u>	<u>0</u>	
1990	<u>5770</u> <small>CCPC EST</small>		
DESIGN YEAR <u>1990</u>	<u>5770</u>	<u>56</u>	<u>16 HOUSES (THORNTON VALLEY TWP)</u>

2. PROPOSED BASIS OF DESIGN - PROVIDE ALL APPLICABLE INFORMATION FOR JUST THE PROPOSED PROJECT. NOTE: IF THE PROPOSED PROJECT WILL MODIFY EXISTING FACILITIES INCLUDE THE TOTAL FLOWS AND TREATMENT LEVELS OF THE FACILITIES AS MODIFIED IN THIS SECTION.

A. ESTIMATED WASTE FLOWS - INDICATE VALUES AS GAL/CAP/DAY, GAL/ACRE/DAY OR GAL/DAY AS APPLICABLE.

PLANNING MODULE FOR LAND DEVELOPMENT

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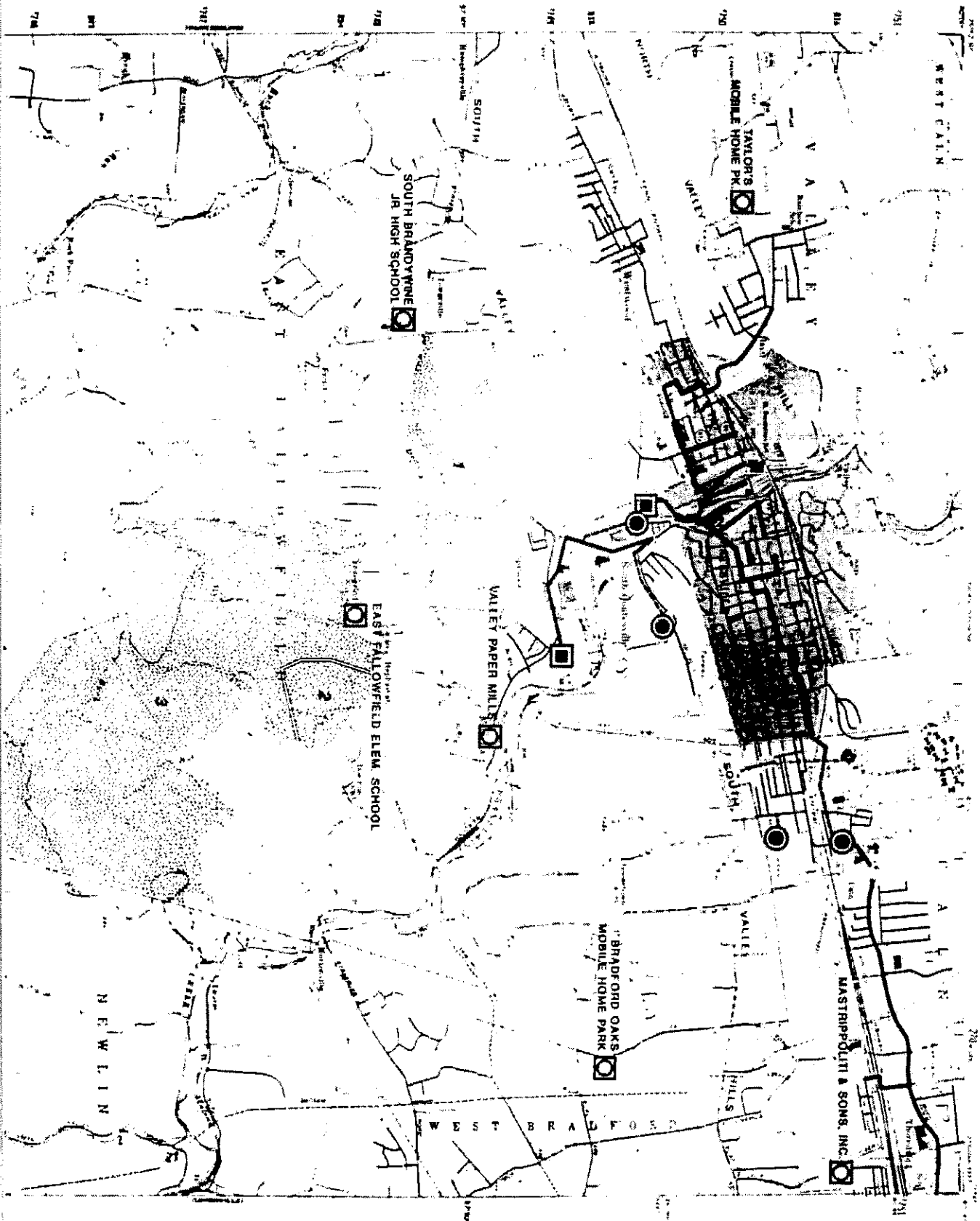
MUNICIPALITY WEST CALN

____ CHECK HERE IF ADDITIONAL SHEETS PROVIDED

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CURRENT <u>1989</u>	<u>?</u>		
1980	<u>4958</u>	<u>0</u>	
1990	<u>5770</u> ^{CCPC} _{EST}		
DESIGN YEAR <u>1990</u>	<u>5770</u>	<u>56</u>	<u>16 HOUSES (THIRD VALLEY TWP)</u>

2. PROPOSED BASIS OF DESIGN - PROVIDE ALL APPLICABLE INFORMATION FOR JUST THE PROPOSED PROJECT. NOTE: IF THE PROPOSED PROJECT WILL MODIFY EXISTING FACILITIES INCLUDE THE TOTAL FLOWS AND TREATMENT LEVELS OF THE FACILITIES AS MODIFIED IN THIS SECTION.

A. ESTIMATED WASTE FLOWS - INDICATE VALUES AS GAL/CAP/DAY, GAL/ACRE/DAY OR GAL/DAY AS APPLICABLE.



March 6, 1989

Amos M. Stoltzfus, President
AMS Enterprises
5803 Old Philadelphia Pike
Gap, PA 17527

RE: Country Ridge Subdivision

Dear Mr. Stoltzfus:

This letter is intended to serve as a statement of intent to be submitted with your planning modules to the Chester County Health Department and the Pennsylvania Department of Environmental Resources.

This will serve to notify those agencies that, assuming your subdivision plans meet all of the township requirements, and further assuming that you enter into the required escrow agreements in a timely fashion, it is the intention of the Authority to provide your development with water and sewer service through township facilities.

Very truly yours,

VALLEY TOWNSHIP AUTHORITY

William Robinson Vice Chairman
William Robinson
Vice-Chairman

Elizabeth M. Bensen
Secretary

WHMJr/jgs

COUNTY OF CHESTER

*Dennis
sub file*

COMMISSIONERS

Irene B. Brooks, Chairman

D. T. Marrone

Patricia Moran Baldwin

PLANNING COMMISSION

235 West Market Street, West Chester, PA 19382 (215) 431-6285

Doris A. Darlington, Secretary
Valley Township Board of Supervisors
890 West Lincoln Highway
Coatesville, PA. 19320

Dear Mrs. Darlington:

Re: Country Ridge
3868-5 - Valley Township

May 6, 1988

A preliminary subdivision plan entitled Country Ridge, prepared by Lester R. Andes and dated February 15, 1988 was received by this office on March 18, 1988. The subdivision is to be located south of PA Route 340, west of Mount Airy Road.

The plan has been reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code.

This report does not review the plan for compliance to your local ordinances, as this is more appropriately done by agents of your municipality.

The subdivision involves the proposed creation of 49 parcels and 4,750 linear feet of roadway on 28.66 acres.

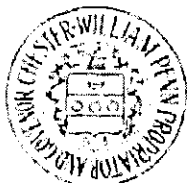
The County Planning Commission last reviewed a proposal for this tract on July 1, 1987. Comments from our previous review which are pertinent to the current submission have been included within this letter.

Both municipalities in which this proposal is located (Valley and West Cain Townships) have referred the plan to the County Planning Commission for our review. This is appropriate and required by the Pennsylvania Municipalities Planning Code.

We offer the following comments on the proposal as submitted;

VEHICULAR CIRCULATION:

- ° The proposed roadway which is to intersect PA Route 340 is of poor alignment. We recommend that the foregoing roadway extend directly to PA Route 340 with the Mount Airy/PA Route 340 intersection closed to prevent multiple accesses onto PA Route 340 in close proximity. In place of realignment of the proposed roadway, the Mount Airy/PA Route 340 intersection should be revised to be of "T" configuration.



Founded 1682



Page: 2

Re: Country Ridge
3868-5 - Valley Township

- ° Mount Airy Road is a single access roadway. Municipal restrictions in regard to the number of units permitted on a single access roadway should be recognized and applied to the number of units which will utilize the existing or improved Mount Airy/PA Route 340 intersection. Provision for a second access to this area should be identified. Development should be phased in relation to provision of adequate access.
- ° The 50 foot wide easement between lots #7 and 8 is to facilitate future roadway interconnection. To improve the likelihood of future roadway extension, a constructed roadway stub should be provided as part of this project.
- ° It is appropriate for Ridge View Drive to intersect Mount Airy Road in two (2) locations. The right-of-way and cartway width for the Ridge View Drive should be increased in design to public street standards.
- ° The Township Engineer should verify the proposed roadways conform to municipal development standards.

PEDESTRIAN CIRCULATION/STORMWATER CONTROL:

- ° The density of this proposal warrants provision of sidewalks to help separate pedestrian and vehicular movement.
- ° While the zoning requirements noted on the plan do not indicate that provision of open space for recreational use is required, the density of this development may warrant provision of recreational amenities. The Township should make this determination based on projected need and current availability.
- ° The Township Engineer should evaluate the design suitability of the proposed stormwater and sedimentation control measures. Increased runoff should be retained on-site. Conformance with applicable standards (local, state, etc.) should also be verified. Ownership and maintenance responsibilities for the stormwater control measures (including related easements) should be contained within the appropriate deeds. The delineated stormwater easements should be labeled.

SEWER AND WATER/ADDITIONAL COMMENTS:

- ° The County referral form submitted as part of the plan package indicates that public sewage disposal and public water supply systems are proposed. A copy of the plan should be submitted to the County Health Department for their review and comment on the proposed use of these systems. Capacity of public water supply and sewage disposal systems to service the proposal should be verified.

Page: 3

Re: Country Ridge
3868-5 - Valley Township


- ° Ownership and maintenance responsibilities for parcel #49 (including the pump station located on it) and the sewer easements should be specified in the appropriate deed(s). The delineated sewer easements should be labeled.
- ° Fire hydrants should be provided since public water is to be utilized.
- ° The proposal is located within an area identified by the Chester County Water Resources Authority as a critical water area. The Chester County Planning Commission recommends that the applicant and municipality contact David C. Yaeck of the Water Resources Authority for information and clarification on this matter and concern (692-7878).
- ° As the project is located in both Valley and West Cain Townships, all multi-municipal issues (road maintenance, unit location, etc.) should be addressed prior to approval of the plan.

CHESTER COUNTY PLANNING COMMISSION RECOMMENDATION:

The Chester County Planning Commission recommends that each of the foregoing comments be addressed prior to approval of the preliminary plan.

When the Township has approved and signed a final plan, a minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement, "Reviewed by the Chester County Planning Commission", to permit recording of the final plan in accord with the procedures of Act 247 Pennsylvania Municipalities Planning Code and to meet the requirements of the Recorder of Deeds and the Assessment Office.

Very truly yours,

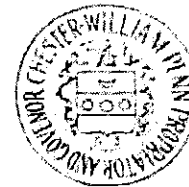

George W. Fasic
Secretary

GWF/KFV/maw

cc: Lester R. Andes
AMS Enterprises
Chester County Health Department
Donald P. Hatt, Planning Commission Chairman
Patricia Johnson, Planning Commission Secretary
Doris A. Darlington, Valley Township Board of Supervisors Secretary
David C. Yaeck, C.C. Water Resources Authority Director
Werner J. Eichorn, Acting District Traffic Engineer, PennDOT 6-0



THE COUNTY OF CHESTER



Commissioners:
D. T. Marrone, Chairman
Irene B. Brooks
Patricia M. Baldwin

CHESTER COUNTY HEALTH DEPARTMENT
South Branch
P.O. Box 127
Kelton, PA 19346-0127
(215) 869-0560

June 21, 1989

Valley Township
890 West Lincoln Highway
Coatesville, PA 19320
ATTN: Doris A. Darlington

RE: AMS Enterprises Subdivision
Code #: 1-15958-041-4
Valley Township

Dear Ms. Darlington:

This Department has received a subdivision for AMS Enterprises entitled Country Ridge, for a tract of land located at the intersection of Route 340 and Mount Airy Road. No plan has been submitted. The developer proposes fifty-one (51) single family units, sixteen (16) of the lots in West Cain Township and thirty-five (35) of the lots in Valley Township. The development will be served by public sewer.

This Department is unable to review the proposed subdivision at this time for the following reasons:

A cover letter from the Municipality requesting our review must be submitted.

Valley Township should be advised that Transmittal Letters are not to be sent before receipt of comments from this Department and from the Department of Environmental Resources.

Once the above noted information is received, this Department has twenty (20) days to submit comments to the Municipality.

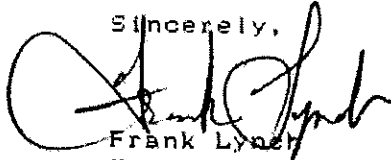
Ms. Darlington
Page 2
June 21, 1989

RE: AMS Enterprises Subdivision
Code #: 1-15956-041-4
Valley Township

Chapter 500, Subsection 501 J(3) of the Rules and Regulations of this Department requires that a well permit be obtained prior to installation of the well and prior to starting construction of the building.

Do not hesitate to contact this Department if you have any questions.

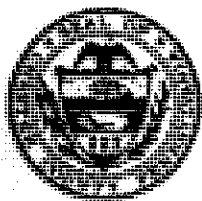
Sincerely,



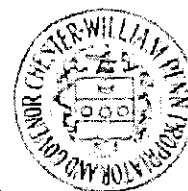
Frank Lynch
Environmental Health Specialist II

FL/dsh

cc: West Cain Township
AMS Enterprises
Valley Township Planning Commission
Department of Environmental Resources
Chester County Planning Commission
Russ Losco - North Branch Office
file (2)



THE COUNTY OF CHESTER



Commissioners:
D. T. Marrone, Chairman
Irene B. Brooks
Patricia M. Baldwin

CHESTER COUNTY HEALTH DEPARTMENT
South Branch
P.O. Box 127
Keltom, PA 19346-0127
(215) 869-0560

June 27, 1989

Valley Township
890 West Lincoln Highway
Coatesville, PA 19320
ATTN: Doris Darlington

RE: AMS Enterprises/Country Ridge
Code #: 1-15956-041-4
Valley Township

Dear Ms. Darlington:

The Department has reviewed the subdivision plan for AMS Enterprises entitled Country Ridge. No plan has been submitted to this Department. The development is proposed along Route 340 and Mt. Airy Road. The developer intends to utilize public sewage facilities and public water facilities.

Valley Township has submitted a Resolution for Plan Revision, therefore, the proposal is inconsistent with that plan and thus represents a revision to the plan. The revision may be enacted by completing and returning both copies of the "Transmittal Letter" and "Resolution for Plan Revision" to the Department. A third copy along with the Planning Modules must also be sent to the County Planning Commission.

The County Health Department endorses the use of public water supply facilities for this development. We suggest that the municipality require that the developer submit connection agreements with the water purveyor and proof that the water system has adequate reserve to supply the additional load.

Sincerely,

Frank Lynch

Environmental Health Specialist II

FL/dsh

Enclosures:

cc: Chester County Planning Commission
Valley Township Planning Commission
AMS Enterprises
Department of Environmental Resources
file (2)*
West Caln Township

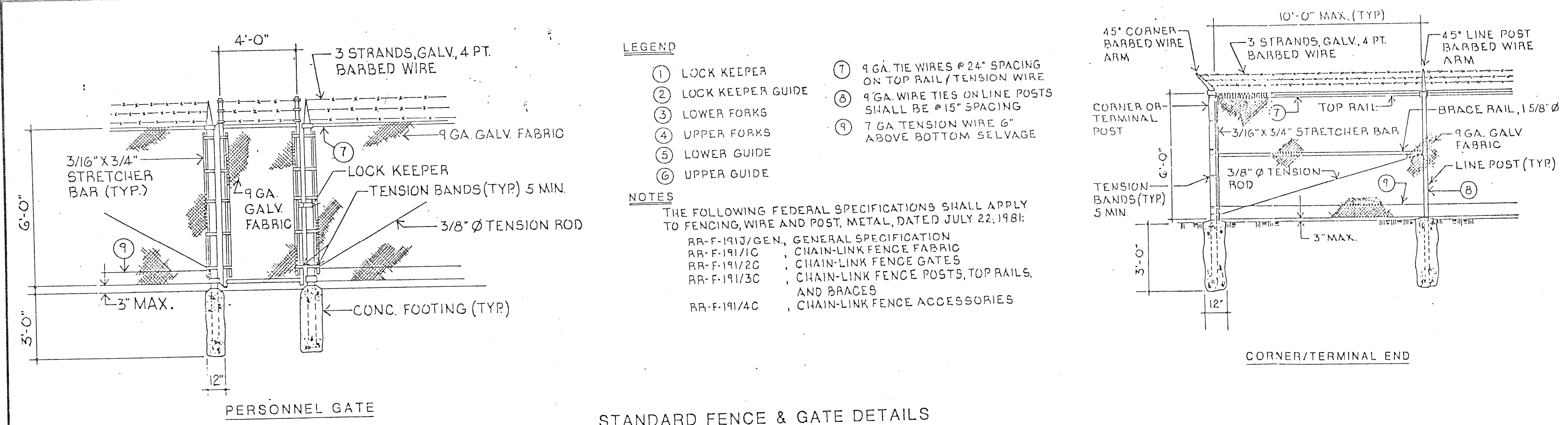


Second Amended Appendix A-20-b

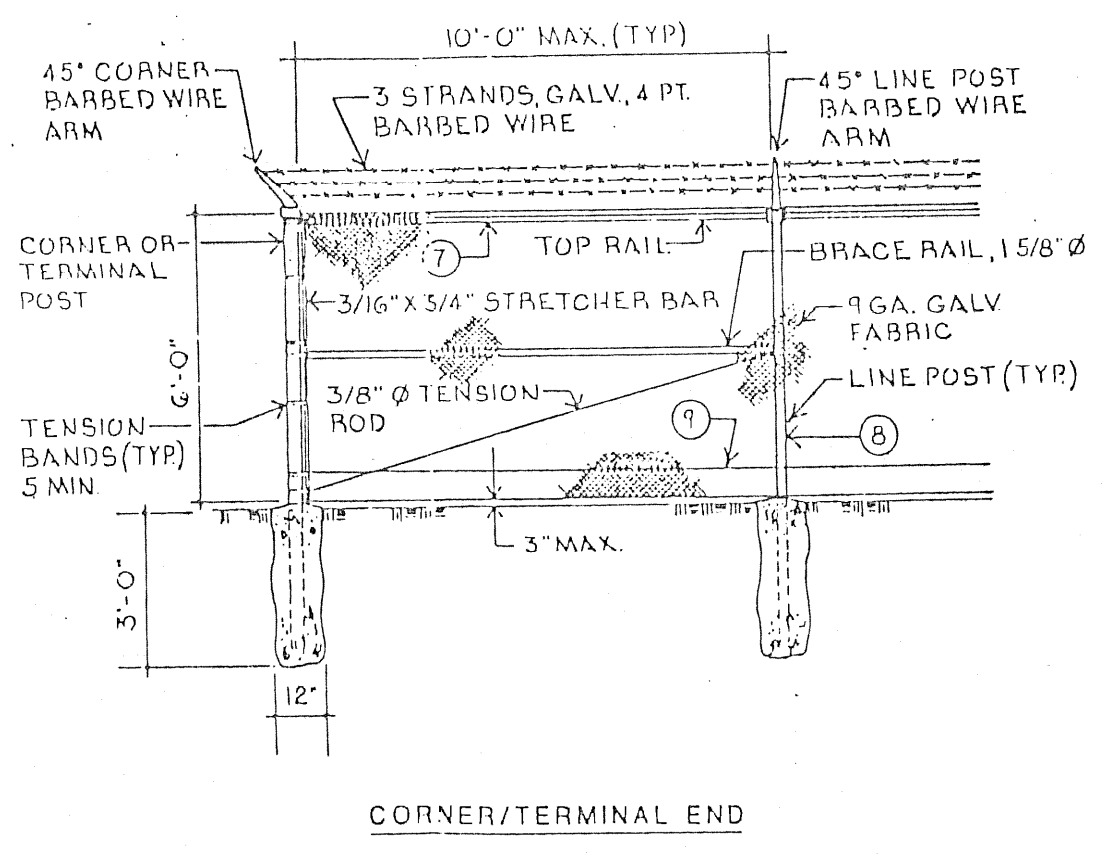
Christiana Executive Campus
121 Continental Drive, Suite 207
Newark, DE 19713
T: 302-655-4451
F: 302-654-2895

www.pennoni.com

Design Information



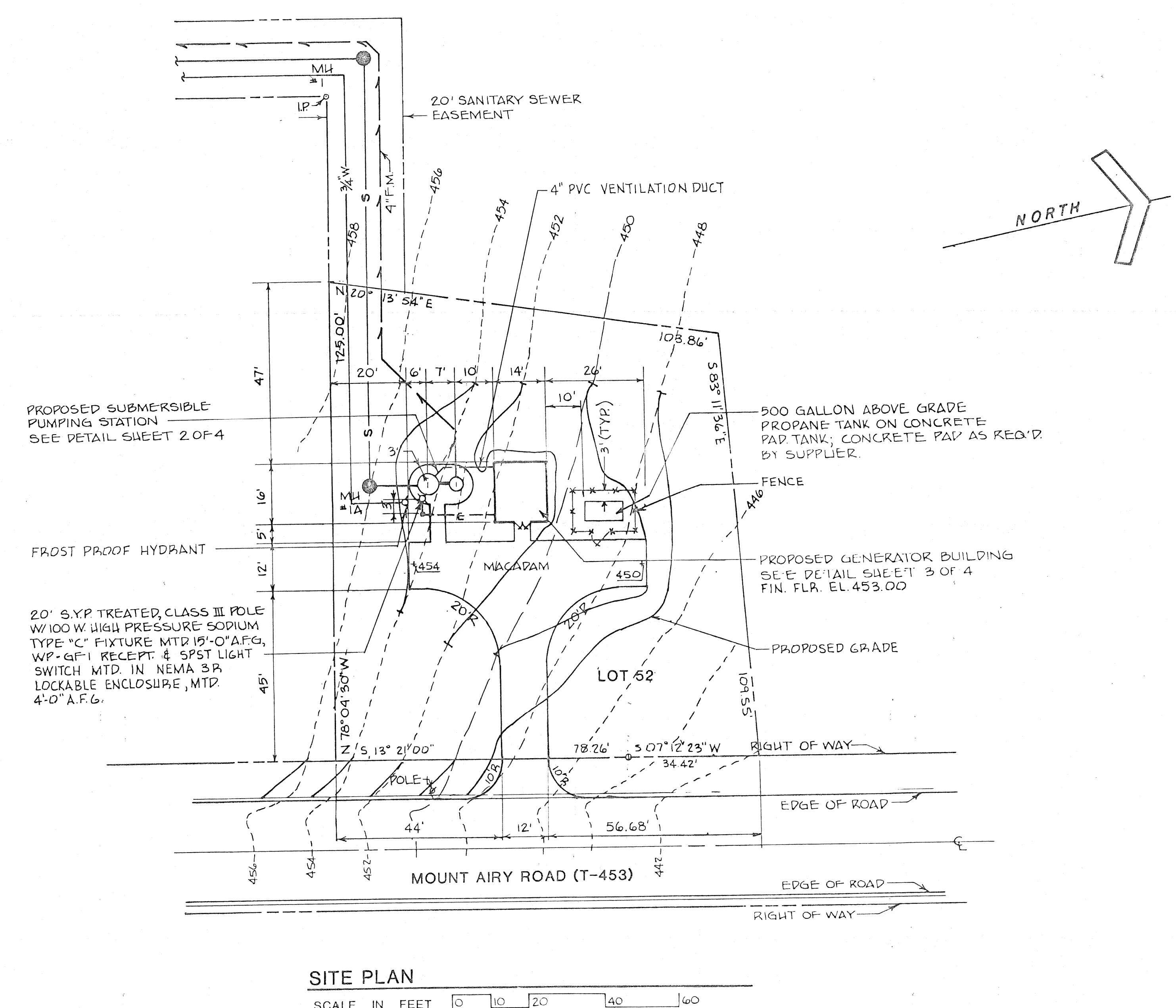
- LEGEND**
- ① LOCK KEEPER
 - ② LOCK KEEPER GUIDE
 - ③ LOWER FORKS
 - ④ UPPER FORKS
 - ⑤ LOWER GUIDE
 - ⑥ UPPER GUIDE
- NOTES**
- THE FOLLOWING FEDERAL SPECIFICATIONS SHALL APPLY TO FENCING, WIRE AND POST, METAL, DATED JULY 22, 1981:
- RR-F-1913/GEN. GENERAL SPECIFICATION
 - RR-F-1917/C CHAIN-LINK FENCE FABRIC
 - RR-F-1917/20 CHAIN-LINK FENCE GATES
 - RR-F-1917/30 CHAIN-LINK FENCE POSTS, TOP RAILS, AND BRACES
 - RR-F-1917/40 CHAIN-LINK FENCE ACCESSORIES



ORIGINAL PLANS

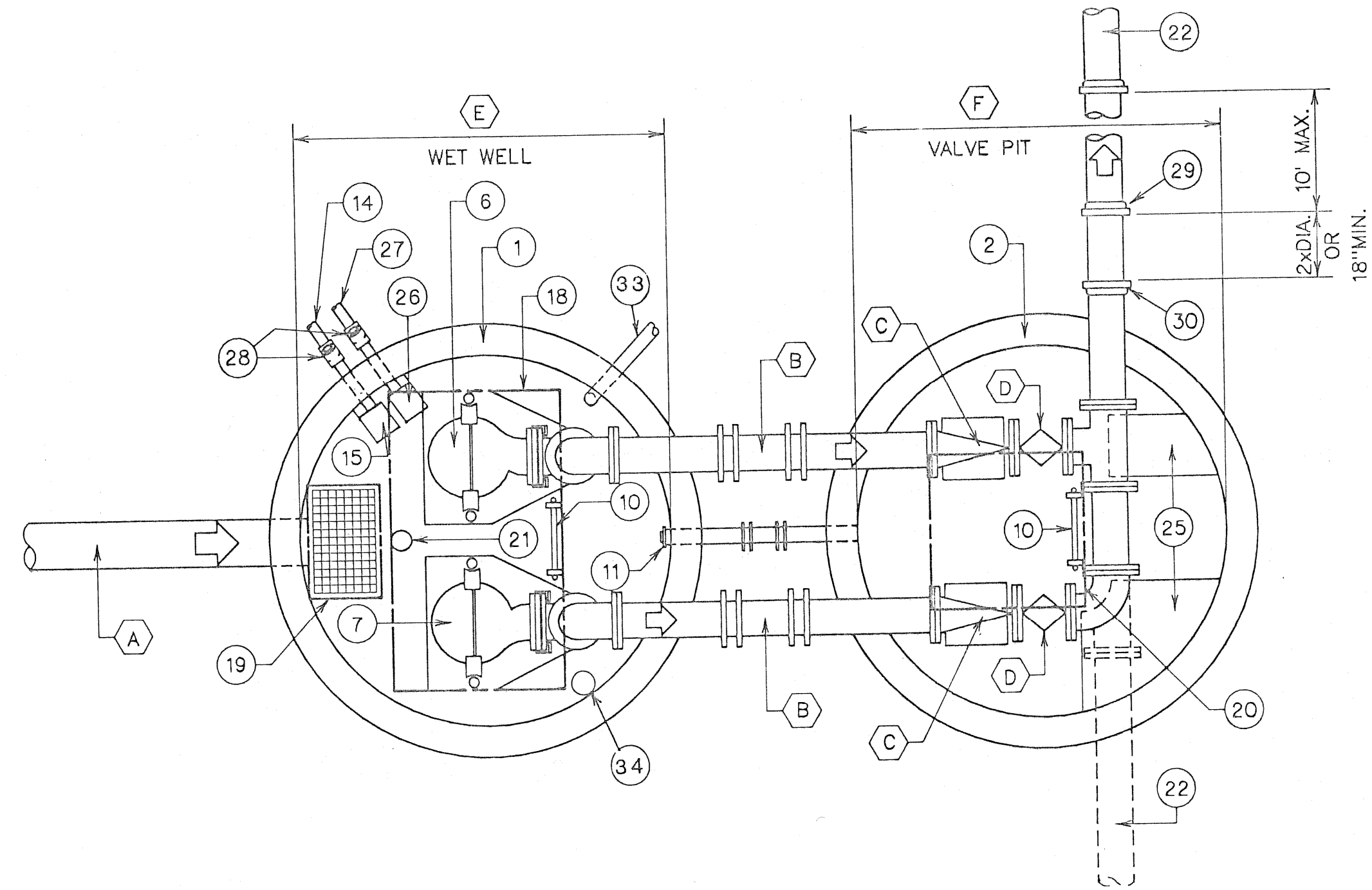
UPDATED INFO SHOWN BY MARKUPS BY PENNONI

- SPECIFICATIONS:**
- 1.0 PUMPS**
- 1.1 PROVIDE COMPLETE DUPLEX SUBMERSIBLE PUMPING STATION WITH ALL ACCESSORIES AND APPURTENANCES IN ACCORDANCE WITH THE REQUIREMENTS OF THE VALLEY TOWNSHIP AUTHORITY. PUMPING EQUIPMENT INCLUDING PUMPS, PUMP CONTROLS, ACCESS HATCH, GUIDE RAIL SYSTEM, BASE PLATE & ELBOW, HOIST AND ALL OTHER RELATED ACCESSORIES AND APPURTENANCES SHALL BE A PRODUCT OF, OR SUPPLIED THROUGH, HYDRO-MATIC PUMPS, A DIVISION OF THE MARLEY PUMP COMPANY, MISSION, KS, OR EQUAL AS APPROVED BY THE AUTHORITY.
 - 1.2 PUMPS SHALL BE HYDRAMATIC MODEL NO. 54LRC-2000, 20HP, 1750 RPM, AND BE DESIGNED TO DELIVER 85 GPM AT 120.5 FT. OF HEAD, AND WITH A MINIMUM SHUT-OFF HEAD OF 128 FEET. ELECTRICAL CHARACTERISTICS: 240 VOLT 3Ø SERVICE.
 - 1.3 PUMPS SHALL BE DESIGNED TO OPERATE UNDER FULLY SUBMERGED CONDITIONS. ALL ELECTRICAL EQUIPMENT EXPOSED TO THE WETWELL ATMOSPHERE SHALL COMPLY WITH NEC REQUIREMENTS FOR CLASS 1, DIVISION 1, GROUP D LOCATIONS. CONDUIT AND FITTINGS SHALL BE PVC COATED RIGID STEEL.
 - 1.4 PUMP CONTROLS SHALL BE PROVIDED WITH ELAPSED TIME INDICATORS TO RECORD PUMP RUNNING TIME FOR EACH PUMP. PROVIDE A DIALER FOR ALL ALARMS AND TELEPHONE SERVICE TO THE PUMPING STATION. DIALER SHALL BE ~~ABCD-CHATTERBOX~~ (8 CHANNEL) AS APPROVED BY AUTHORITY. **DIALOG SCOUT**
 - 1.5 ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE AUTHORITY AND THE TOWNSHIP. INSTALLATION OF EQUIPMENT AND CONTROLS SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS AND RECOMMENDATIONS, AND THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE. THE PUMP SUPPLIER AND GENERATOR SUPPLIER SHALL HAVE THEIR RESPECTIVE QUALIFIED REPRESENTATIVES PRESENT FOR EQUIPMENT START-UP.
 - 1.6 PROVIDE FOUR (4) COPIES OF COMPLETE AND DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS, PARTS LISTS, PUMP OPERATING CURVE ETC. FOR ALL EQUIPMENT SUPPLIED IN THIS INSTALLATION. INFORMATION SHALL BE ORIGINAL PRINTED DOCUMENTS, NOT PHOTO-COPIES. INFORMATION SHALL STATE PROJECT NAME, AND MODEL NUMBERS, SERIAL NUMBERS, OPERATING POINTS, ETC. AN ELECTRICAL INSPECTION CERTIFICATE SHALL BE PROVIDED FROM A STATE LICENSED AND APPROVED INSPECTION AGENCY. FUEL TANK SHALL BE REGISTERED WITH THE DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF INSPECTION, HARRISBURG, PA.
 - 1.7 ACCESS DOOR TO WET WELL AND VALVE PIT TO BE EQUIPPED WITH VANDAL RESISTANT POSITIVE LOCKING DEVICE TO BE APPROVED BY THE AUTHORITY.
- 2.0 PIPING**
- 2.1 ALL PIPING INSIDE PUMP STATION SHALL BE DUCTILE IRON PIPING, CLASS 52 MINIMUM FLANGE
 - 2.2 FORCE MAIN PIPING SHALL BE SDR-26 PVC PRESSURE PIPE WITH RUBBER O-RING JOINTS.
- 3.0 ELECTRICAL**
- MARTIN MACHINERY #MHG-50-3**
- 3.1 GENERATOR SHALL BE ~~ONAN #60.0 EN-15R~~ LP GAS VAPOR, 120/240 V., 3-PHASE, 4-WIRE, FUEL LINES, REGULATORS, SOLENOIDS, RESIDENTIAL MUFFLER, BATTERY, BATTERY CHARGER, CABLES, ENGINE BLOCK HEATER, NINE-LIGHT GENERATOR SET MONITORING SYSTEM, ADDITIONAL METER AND CONTROL PACKAGE, 5 YEAR WARRANTY. **ZENITH #ZTS22EC-5AAT**
 - 3.2 TRANSFER SWITCH SHALL BE ~~ONAN #OT III~~, 225 AMP, 3-POLE, NEMA 1 ENCLOSURE, 7-DAY EXERCISER CLOCK, STANDARD TIME DELAYS, EMERGENCY-NORMAL DOOR MOUNTED PILOT LIGHTS, TEST SWITCH.
 - 3.3 LOUVERS SHALL BE PENN VENTILATOR, AIRSTREAM MOEL GA/FB GRAVITY TYPE, INSECT SCREEN, KYNAR COATING ON LOUVERS AND SCREEN, COLOR BY CLIENT:
INTAKE - 6'-0" H x 6'-0" W.
EXHAUST - 4'-0" H x 4'-8" W.
 - 3.4 LIGHT FIXTURE SCHEDULE:
TYPE A - FLUORESCENT, INDUSTRIAL HEAVY-DUTY PREMIUM GRADE, 8'-0, RAPID START, 15% UPLIGHT, 120 V., WITH LAMPS; KEYSTONE CAT NO. KP296-HO, BENJAMIN CAT NO. FL-1025-84, OR EQUAL.
TYPE B - HIGH PRESSURE SODIUM, VANDAL RESISTANT, CLEAR PRISMATIC ONE PIECE INJECTION MOLDED POLYCARBONATE LENS, 50 WATT, 120 VOLT, WITH PHOTO CONTROL, KENALL CAT NO. 5310, LUMINAIRE CAT. NO. WP58-50 HPS-H, OR EQUAL.
TYPE C - HIGH PRESSURE SODIUM, NEMA HEAD LUMINAIRE, TYPE III DISTRIBUTION, POLYCARBONATE CLOSED BOTTOM REFRACTOR, PHOTO CONTROL, 2'-0 MOUNTING ARM, 100 WATT LAMP, SYLVANIA #11-57012-C, OR EQUAL.
 - 3.5 ALARM INDICATING PANEL SHALL HAVE OIL-TIGHT INDICATING LIGHTS WITH TEST AND RESET PUSHBUTTONS, RELAYS, FUSES, ETC., NEMA 1 ENCLOSURE WITH DOOR AND LATCH, BACK MOUNTING PANEL.
 - 3.6 ALL WIRE SHALL BE UL LISTED OF 98 PERCENT CONDUCTIVITY COPPER CONDUCTORS AND TYPE THHN OR THHN INSULATION RATED FOR 600 VOLTS. CONDUCTORS SHALL BE PROPERLY SIZED IN ACCORDANCE WITH AMPACITY RATINGS AS STATED IN NEC ARTICLE 310 AND SHALL BE INSTALLED IN APPROPRIATELY SIZED RIGID CONDUIT PER NEC ARTICLE 346.
 1. MINIMUM CONDUCTOR SIZE:
 - a. NO. 12 AWG. IN POWER AND BRANCH CIRCUITS.
 - b. NO. 14 AWG. IN CONTROL AND ALARM CIRCUITS.
 2. ROMEX AND BX CABLE NOT PERMITTED FOR USE IN THIS PROJECT.



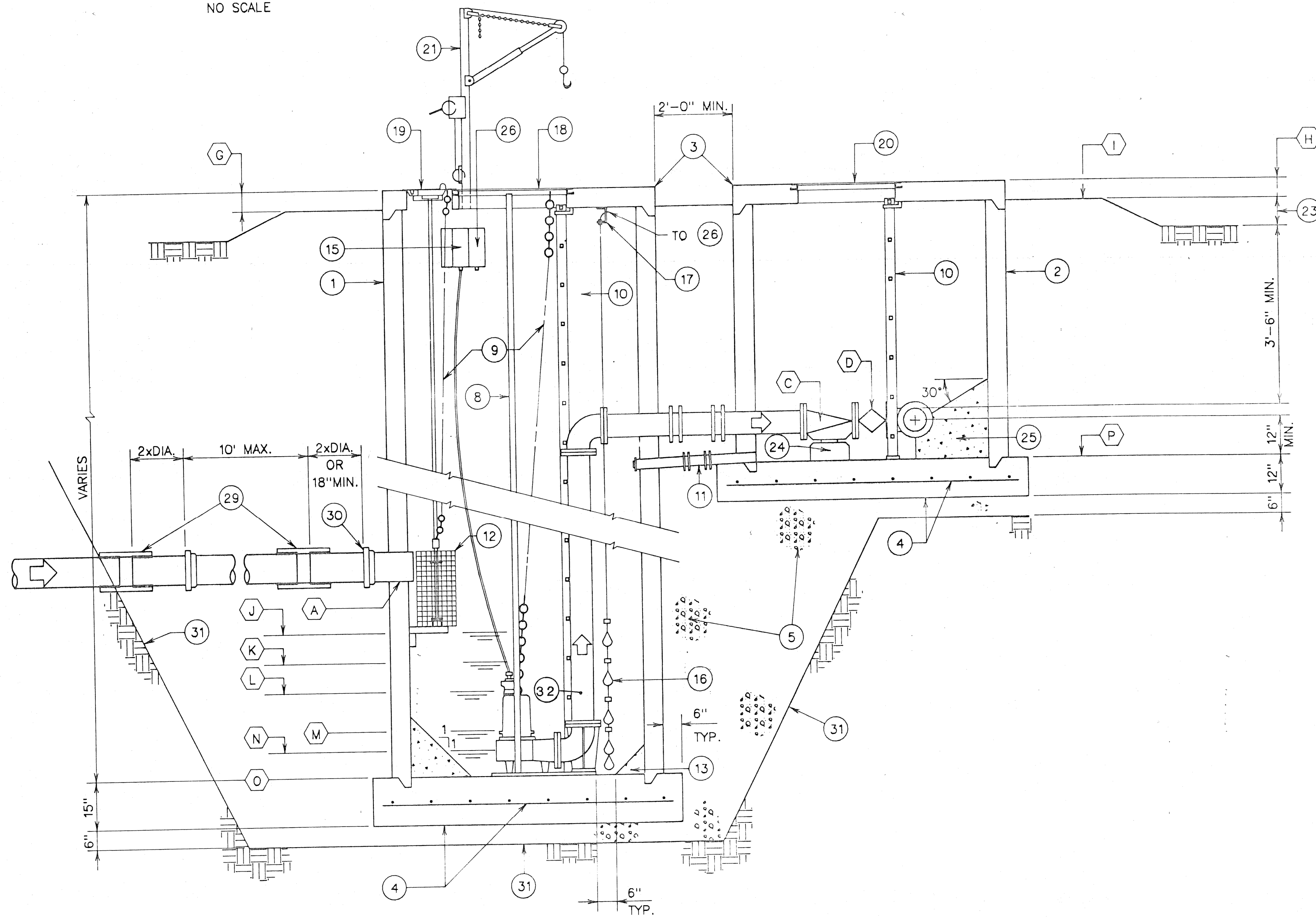
SITE PLAN
SCALE IN FEET 0 10 20 40 60

3 REVISED NOTE 21 2 REVISED AS PER PUMP DESIGN CHANGE 1 GEN. REV TO SITE, NOTES, GRADING, R'S	11-2-89 LAZ EGM		MANAGER E. McCORKLE	CHKD. BY 	CLIENT A. M. S. ENTERPRISES 5803 OLD PHILADELPHIA PIKE GAP, PENNSYLVANIA 17527	SUBJECT PROPOSED SUBMERSIBLE SEWAGE PUMPING STATION FOR COUNTRY RIDGE DEVELOPMENT VALLEY & WEST CALN TWPS. CHESTER CO., PA SUBMERSIBLE PUMPING STATION SITE PLAN	JOB NO. 1-89-06842
	DATE 7/18/89		BY RS	APP. EGM			



SECTIONAL PLAN OF PUMPING STATION (WET WELL TYPE) W/ VALVE PIT

NO SCALE



TYPICAL CROSS-SECTION OF PUMPING STATION (WET WELL TYPE) W/ VALVE PIT

NO SCALE

KEY NOTES

- 1 PRECAST CONCRETE WET WELL (A.S.T.M. SPEC. C-478)
- 2 PRECAST CONCRETE VALVE PIT (A.S.T.M. SPEC. C-478)
- 3 PRECAST CONCRETE TOP (A.S.T.M. SPEC. C-478)
- 4 CONCRETE FOUNDATION SLAB W/ #5 AT 12" E.W.
- 5 COMPACTED STONE BACKFILL
- 6 PUMP NO. 1
- 7 PUMP NO. 2
- 8 PUMP GUIDE RAIL
- 9 STAINLESS STEEL LIFTING CHAIN
- 10 HD. AL. LADDER W/ RUNGS AT 12" O.C. W/ RETRACTABLE 1" O.D. AL. EXTENSION TUBES FOR HANDRAIL OR "LADDER-UP" BY BILCO
- 11 3" N.P.T. CHECK VALVE & DRAIN
- 12 REMOVABLE AL. BASKET SCREEN & TRACK W/ BASKET STOP
- 13 CONCRETE GROUT
- 14 PUMP ELECTRICAL SERVICE, SEE ELECTRICAL PLANS
- 15 NEMA 7 JUNCTION BOX W/ WATERTIGHT CABLE CONNECTIONS
- 16 SEALED MERCURY SWITCH & WATERPROOF CABLE ASSEMBLY
- 17 AL. BRACKET W/ ADJUSTABLE CABLE CONNECTORS
- 18 DOUBLE LEAF AL. HATCH W/ FLUSH TYPE HANDLE & LOCK. SIZE AS REQ'D. FOR PUMP REMOVAL.
- 19 AL. HATCH W/ FLUSH TYPE HANDLE & LOCK SIZE AS REQ'D. FOR BASKET SCREEN REMOVAL
- 20 2'-6" SQ. AL. HATCH W/ FLUSH TYPE HANDLE & LOCK PROVIDE (12)-3/4" Ø VENT HOLES
- 21 PROVIDE PORTABLE HOIST W/ ADJUSTABLE BOOM FOR PUMP REMOVAL (1200 LB. CAP.) & STN. STL. MOUNTING BRACKET.
- 22 ALTERNATE DISCHARGE DIRECTIONS. SEE SITE PLAN FOR CORRECT ORIENTATION
- 23 DIMENSION VARIES. SEE SITE GRADING
- 24 CONC. PIPE SUPPORT AT EACH CHECK VALVE
- 25 CONC. REACTION BLOCKING TO BE CONSTRUCTED ALLOWING ENOUGH CLEARANCE FOR BOLT REMOVAL FROM PIPE FLANGES
- 26 NEMA 7 JUNCTION BOX W/ WATERTIGHT CABLE CONNECTOR
- 27 FLOAT ELECTRICAL SERVICE
- 28 EXPLOSION-PROOF SEAL
- 29 DUCTILE IRON - PVC TRANSITION COUPLING, DRESSER OR EQUAL
- 30 DUCTILE IRON OR PVC WALL SLEEVE. SEAL PIPE IN SLEEVE WITH LINK-SEAL.
- 31 UNDISTURBED EARTH
- 32 4" DUCTILE IRON PIPE

DESIGN SCHEDULE

A	INFLUENT SEWER SIZE & INVERT	- 8 INCH, ELEV. 450.90
B	PUMP DISCHARGE	- 4 INCH
C	HORZ. SWING CHECK VALVE	- 4 INCH
D	PLUG VALVE	- 4 INCH
E	MIN. INSIDE DIA. OF WET WELL	- 6 FEET
F	MIN. INSIDE DIA. OF VALVE PIT	- 4 FEET
G	WET WELL PROJECTION	- 0.5 FEET
H	VALVE PIT PROJECTION	- 0.5 FEET
I	FIN. GRADE	- ELEV. 454.00
J	HIGH WATER ALARM LEVEL	- ELEV. 449.90
K	LAG PUMP ON LEVEL	- ELEV. 448.90
L	LEAD PUMP ON LEVEL (HIGH WATER LEVEL)	- ELEV. 448.50
M	BOTH PUMPS OFF LEVEL (LOW WATER LEVEL)	- ELEV. 447.50
N	LOW WATER ALARM LEVEL	- ELEV. 446.50
O	WET WELL INVERT	- ELEV. 444.12
P	VALVE PIT INVERT	- ELEV. 448.50

L:\PROJECTS\106470\12\14\88 8:21:28.8

NO.	REVISION	DATE	BY	APP.
3	REVISED PLAN NOTE 29	11-15-89	LAR	EGM
2	REVISED AS PER PUMP DESIGN CHANGE	10-06-89	SSA	EGM
1	GEN. REV., VENT. PIPING, ELEV. CHANGES	7/18/89	RS	EGM

SEAL	
------	--

MANAGER
E. McCORKLE

DESIGN
E. McCORKLE

DRAWN
CADD

CLIENT
DATE 05/17/88

SCALE
NO SCALE

NOTES
NONE

PSC Engineers & Consultants, Inc.

CONSULTING ENGINEERS
LANDSCAPE ARCHITECTS
SURVEYORS
PLANNERS

P.O. BOX 3012 1650 MANHEIM PIKE, LANCASTER, PA 17604 (717)569-7021

CLIENT

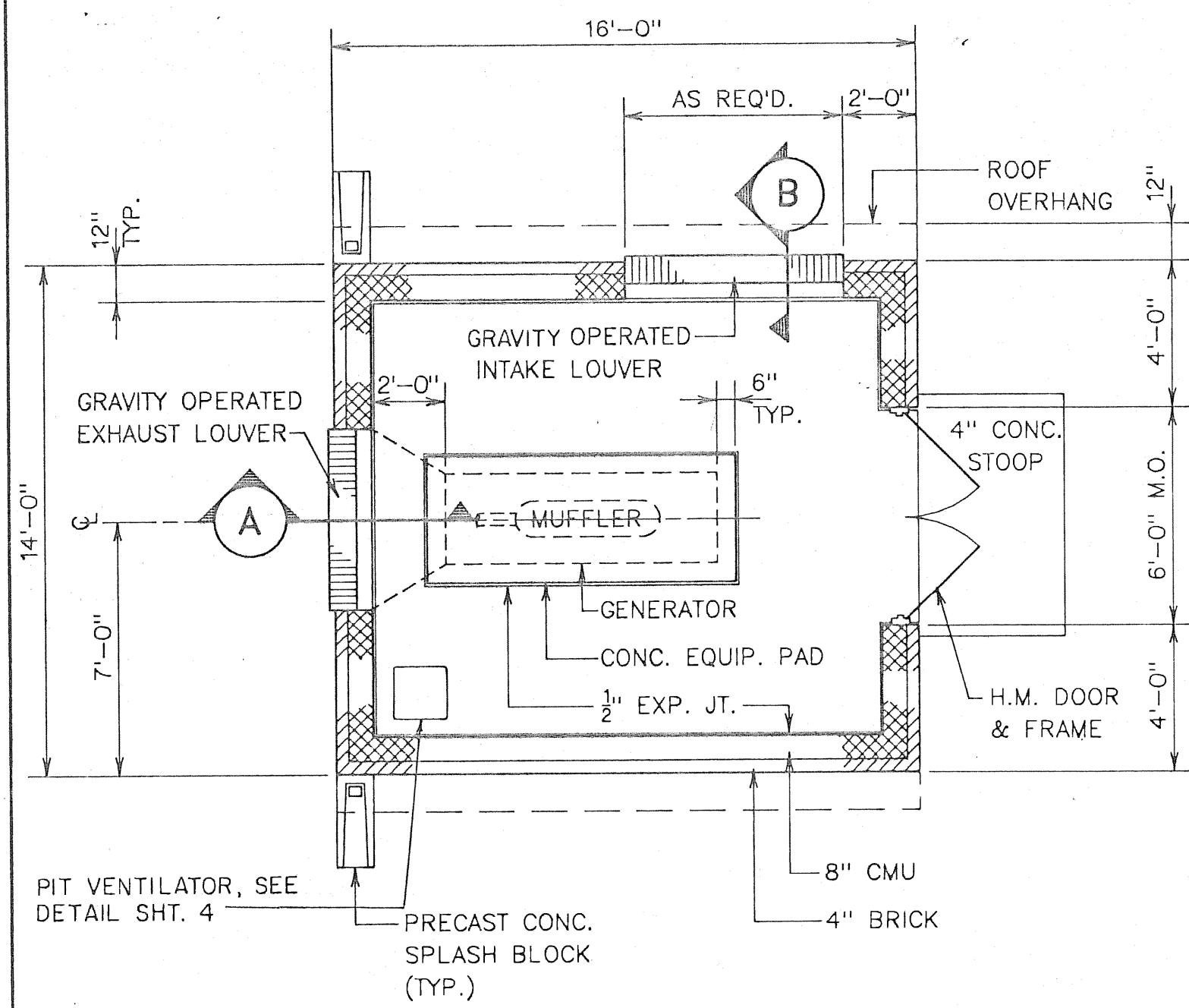
A.M.S. ENTERPRISES

5803 OLD PHILADELPHIA PIKE
GAP, PENNSYLVANIA 17527

SUBJECT

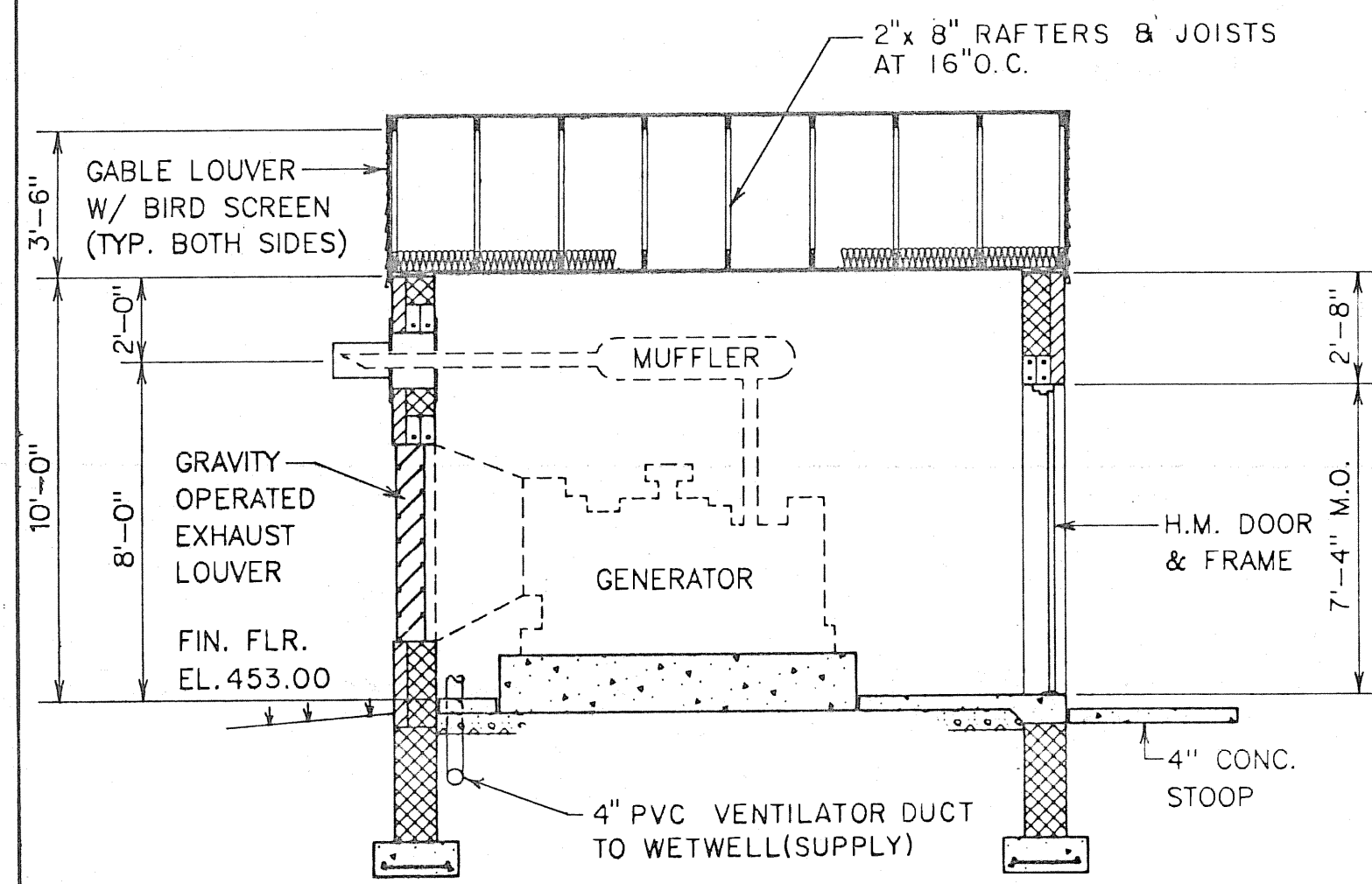
PROPOSED SUBMERSIBLE SEWAGE PUMPING STATION FOR COUNTRY RIDGE SUBDIVISION VALLEY & WEST CALN TWPS., CHESTER CO., PA SUBMERSIBLE PUMPING STATION PLAN AND SECTION

JOB NO.	1-89-06842
SHEET NO.	2 OF 4
DWG. NO.	S-1945



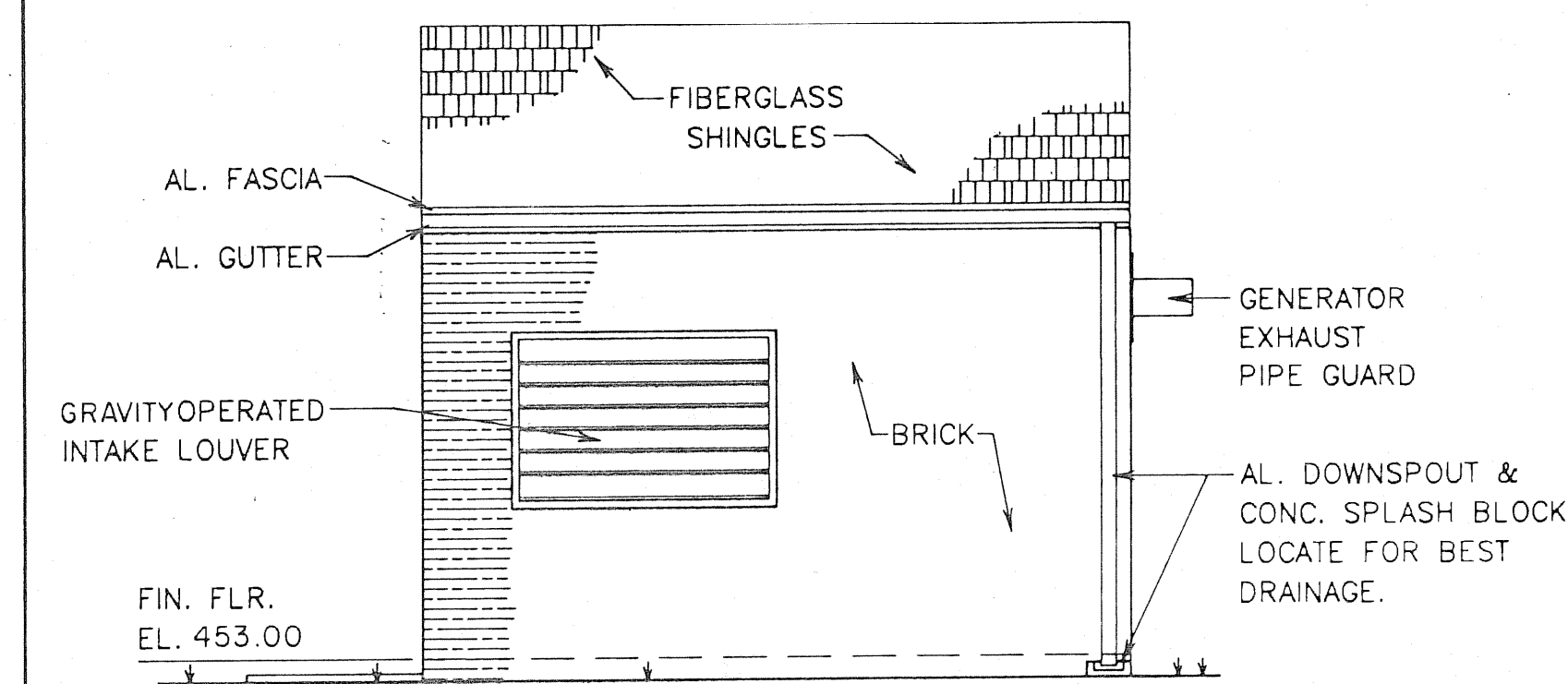
ARCHITECTURAL FLOOR PLAN

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SCALE: 1/4" = 1'-0"



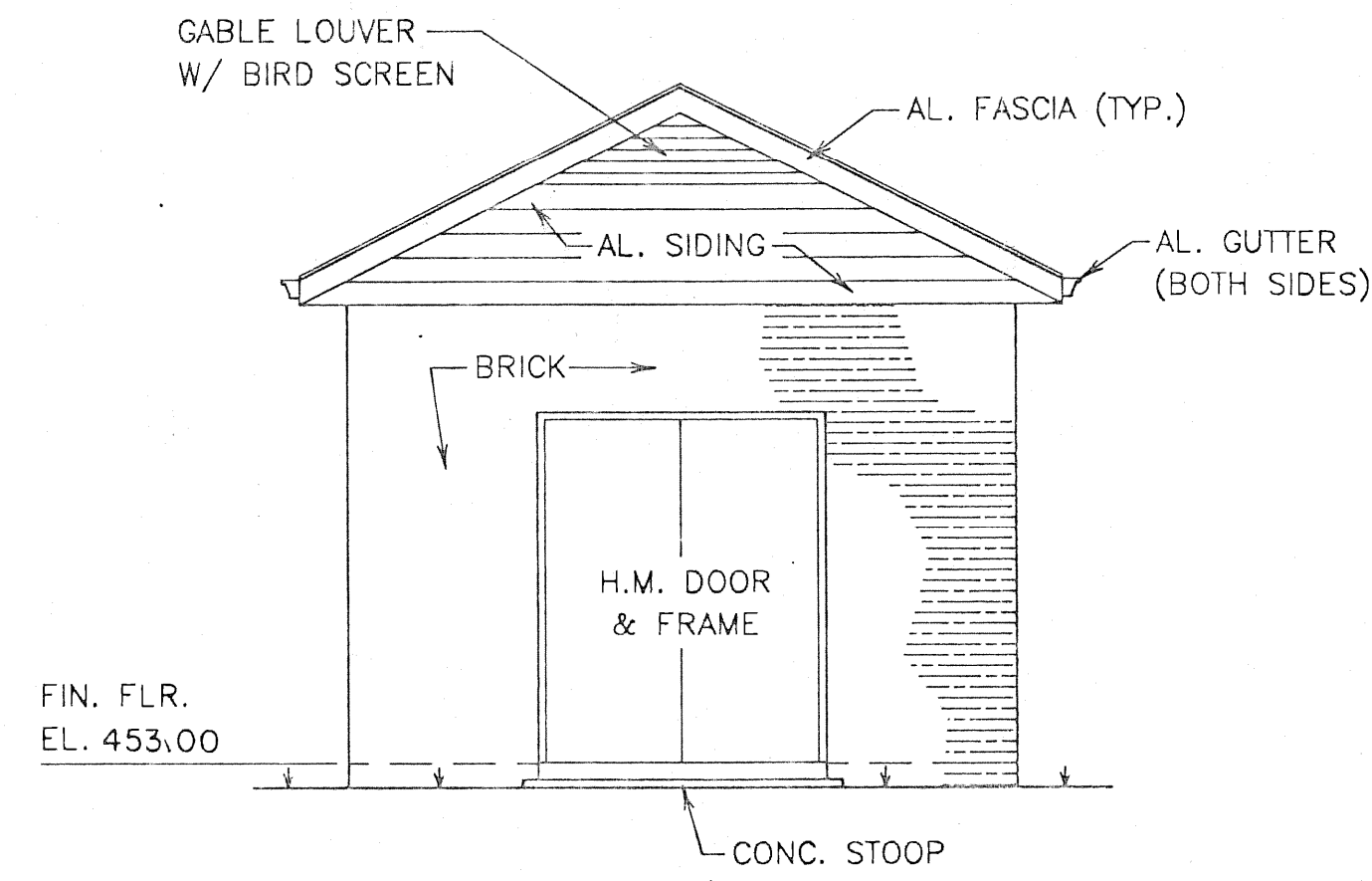
TYPICAL BUILDING SECTION

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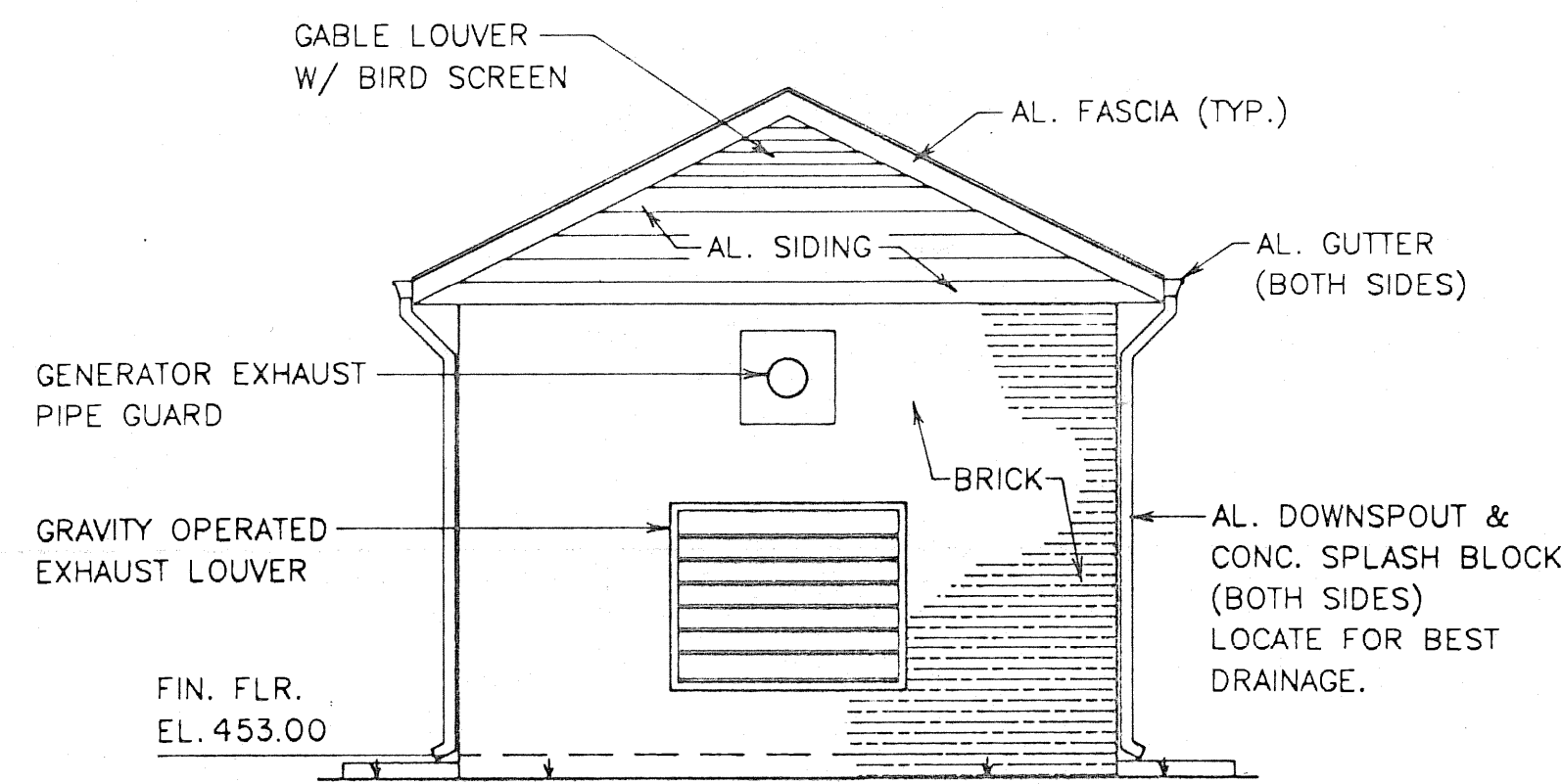
SIDE ELEVATION

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FRONT ELEVATION

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SCALE: 1/4" = 1'-0"

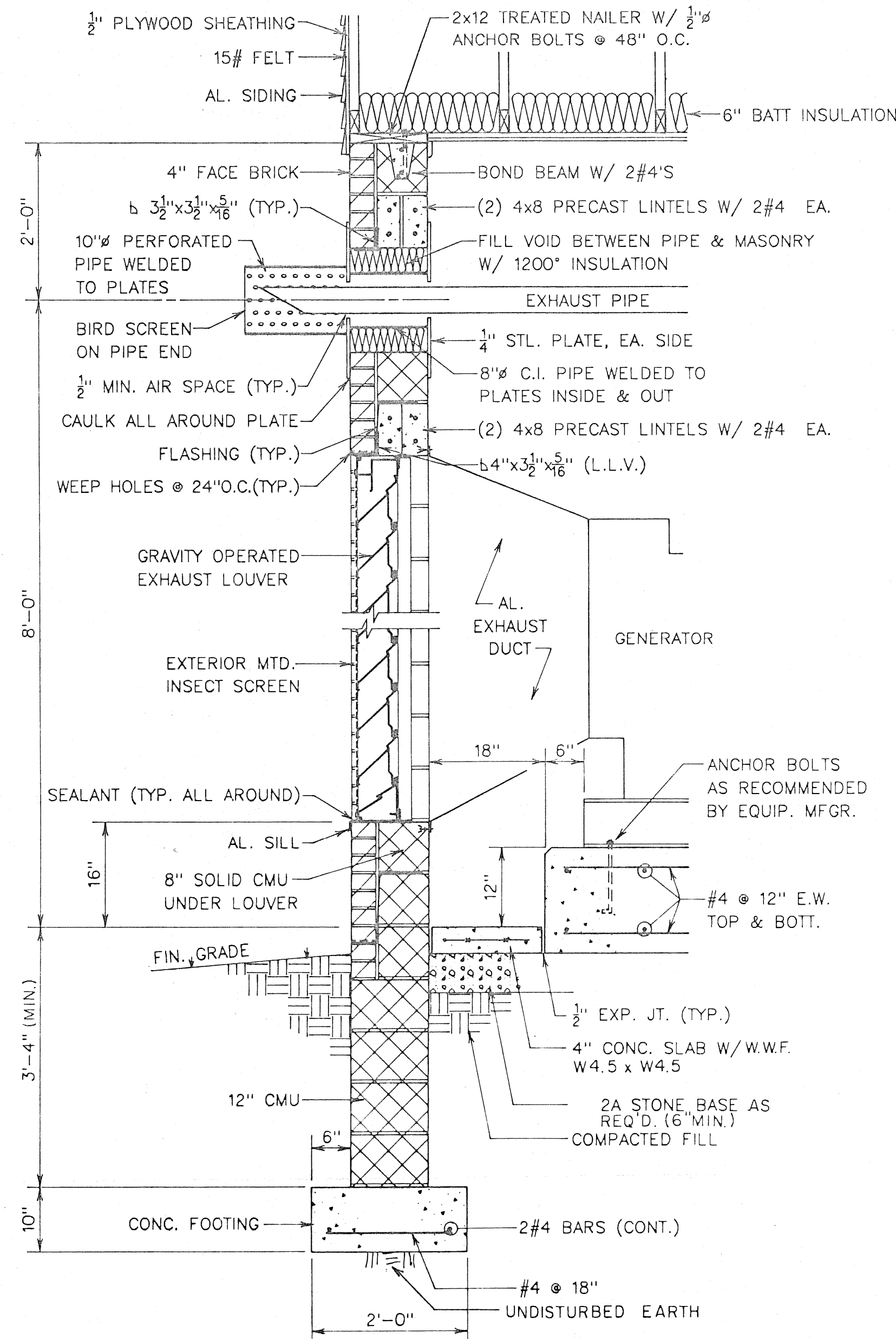


REAR ELEVATION

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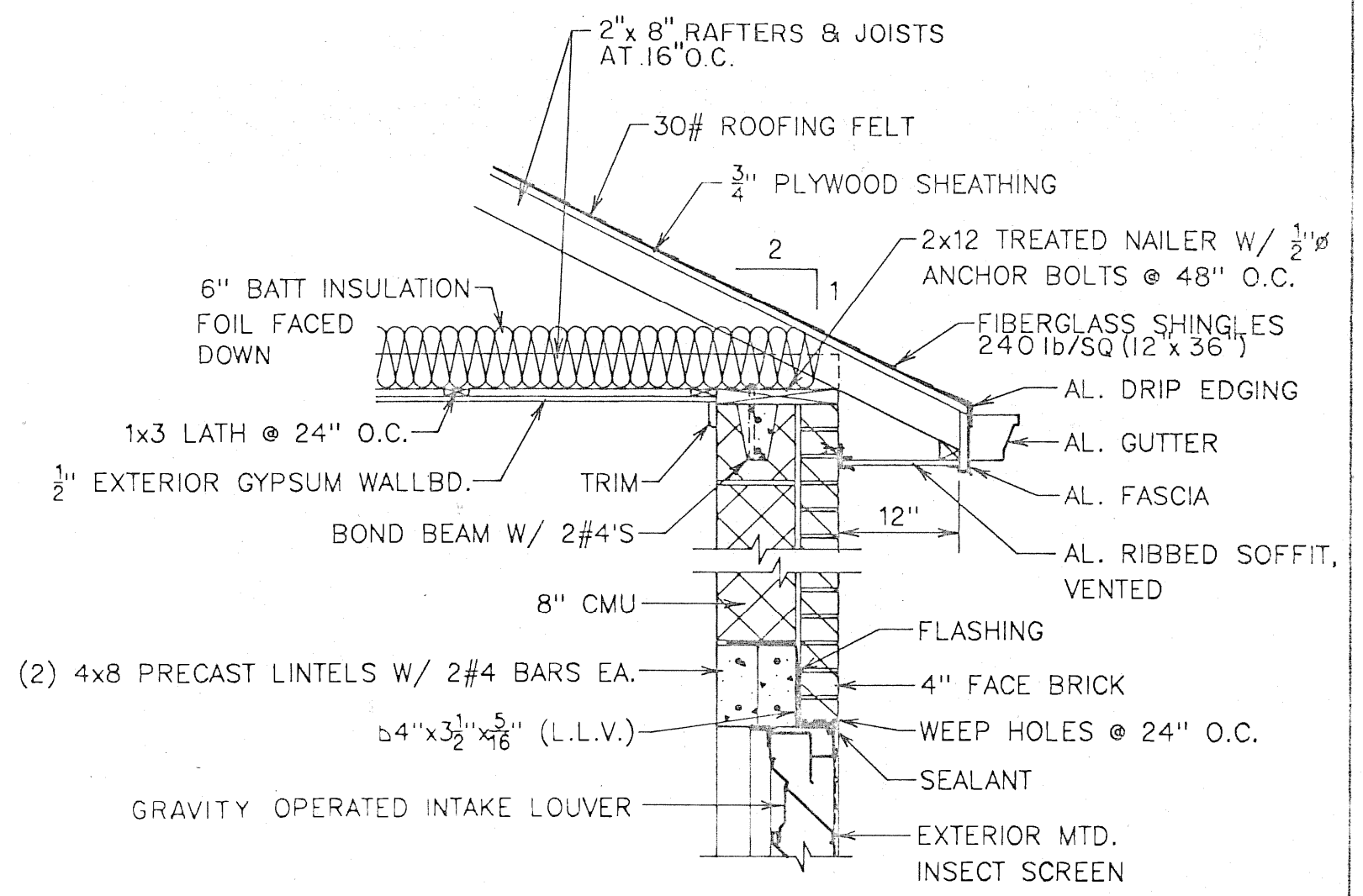
DESIGN SCHEDULE

GENERATOR	SIZE	60-KW 50 KW
	ELECT. CHARAC.	120/240V, 3Ø/4W
	FUEL TYPE	L.P. GAS
	SUPPLIED BY	GENERAL CONTRACTOR
	INSTALLED BY	GENERAL CONTRACTOR
EXHAUST LOUVER	APPROX. SIZE	SEE GENERAL NOTES
	SUPPLIED BY	GENERAL CONTRACTOR
	INSTALLED BY	GENERAL CONTRACTOR
INTAKE LOUVER	APPROX. SIZE	SEE GENERAL NOTES
	SUPPLIED BY	GENERAL CONTRACTOR
	INSTALLED BY	GENERAL CONTRACTOR
FUEL TANK	SIZE	500 GAL. ABOVE GROUND
	SUPPLIED BY	GENERAL CONTRACTOR
	INSTALLED BY	GENERAL CONTRACTOR



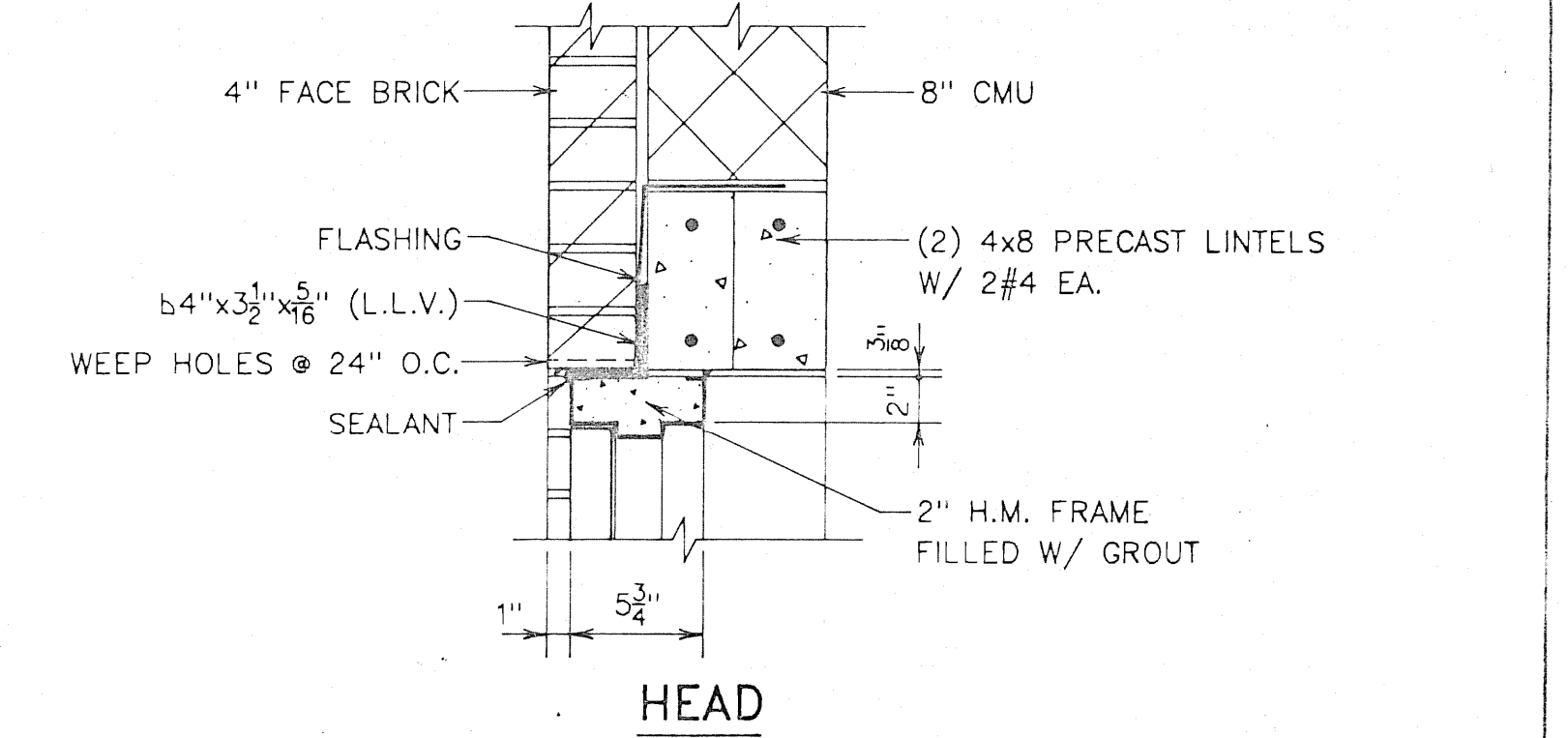
WALL SECTION A

SCALE IN FEET 0 1/2 1 2 3
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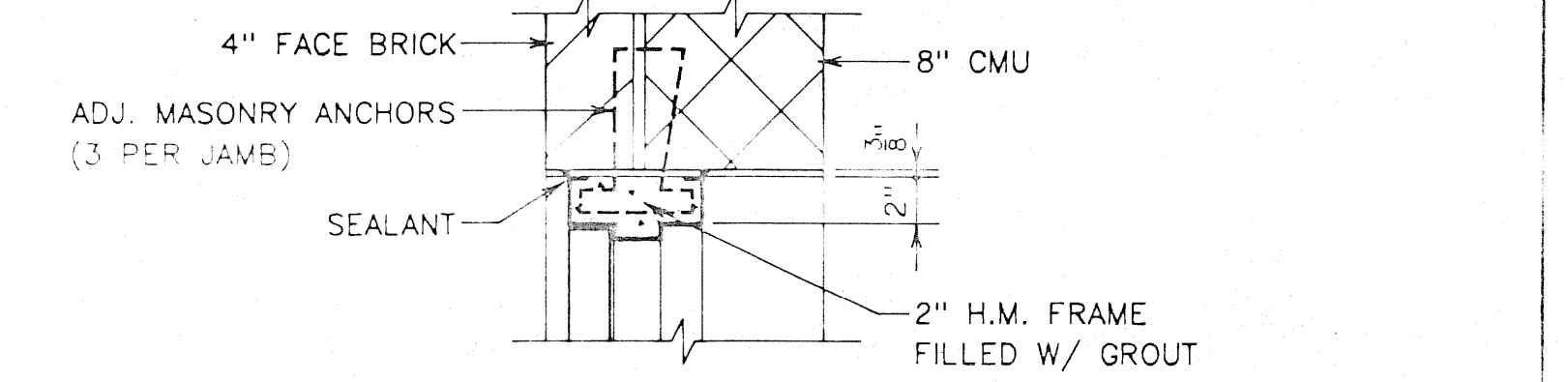


WALL SECTION B

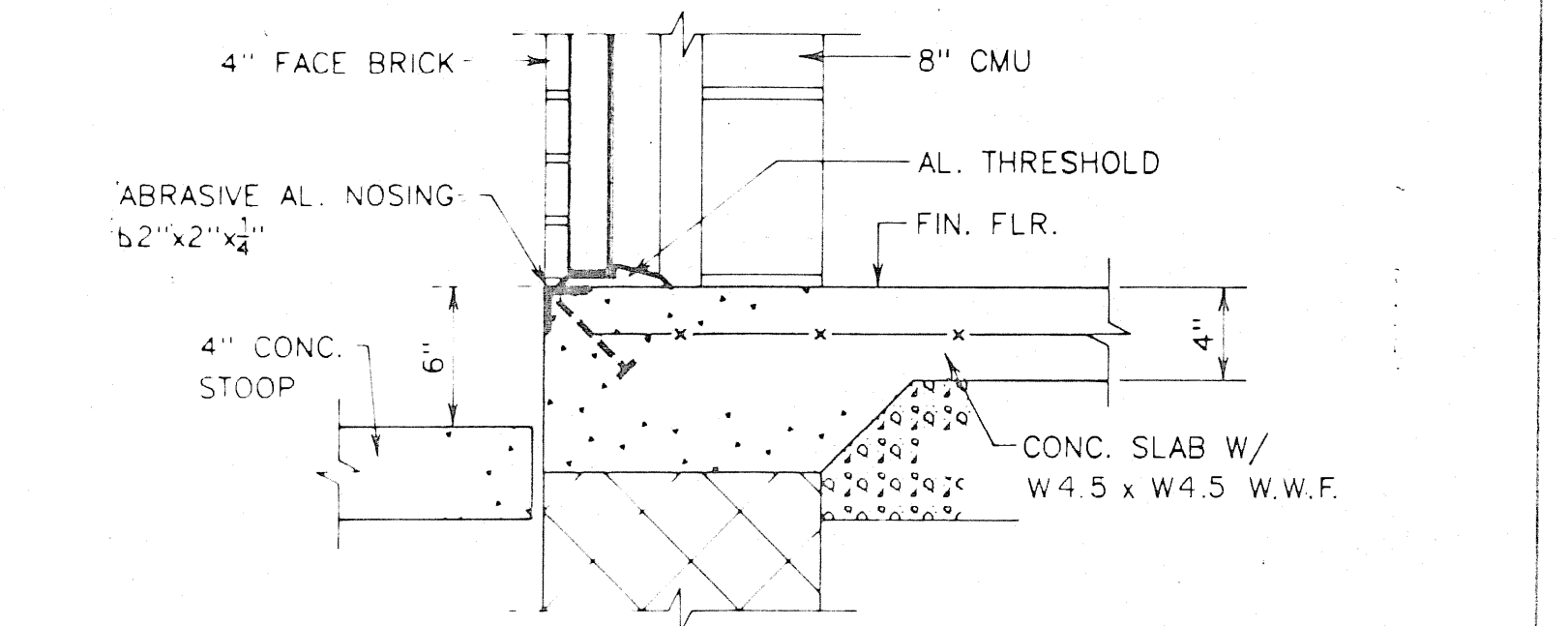
SCALE IN FEET 0 1/2 1 2 3
SCALE: 3/4" = 1'-0"



HEAD



JAMB



SILL

DOOR FRAME DETAILS

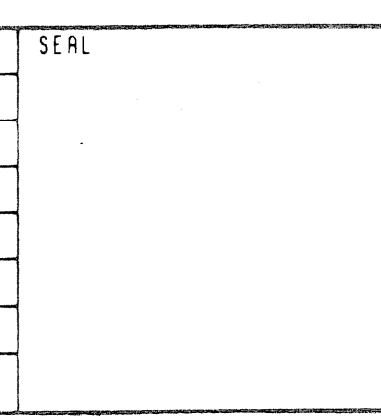
SCALE IN FEET 0 1/2 1 2
SCALE: 1 1/2" = 1'-0"

NOTES:

1. FINISHED FLR. EL. OF GENERATOR BLDG. SHALL BE 8" INCHES ABOVE FIN. GRADE.
2. ALL HOLLOW C.M.U. SHALL MEET ASTM C90, GRADE N-1. SOLID C.M.U. SHALL MEET ASTM C145, GRADE N-1.
3. ALL CONCRETE SHALL HAVE A MIN. 28 DAY STRENGTH OF 3000PSI.
4. ALL INTERIOR WALL AND CEILING SURFACES AND ALL FERROUS METAL TO BE FINISH PAINTED.
5. HOLLOW METAL DOORS SHALL BE 1 1/2" SEAMLESS, INSULATED, MINIMUM 16 GAUGE. DOORS TO BE REINFORCED FOR REQUIRED FINISH HARDWARE. ALL DOOR FRAMES GALVANIZED, MINIMUM 16 GAUGE AND EQUIPPED WITH DOOR SILENCERS.
6. DOOR HARDWARE: HINGES - 1 1/2" PAIR 4 1/2" STANLEY FULL MORTISE CB1961 NRP, STAINLESS STEEL PER DOOR; LOCKSETS - SARGENT 7700 LINE WITH STAINLESS STEEL TRIM; CLOSER - ACTIVE LEAF, SARGENT 1210EX; SURFACE BOLTS - INACTIVE LEAF, IVES, TOP & BOTTOM; WEATHERSTRIP - PEMKO 306; DOOR - BOTTOM PROTECTION - PEMKO 222; MEETING STILES - PEMKO 355; THRESHOLD - PEMKO 170A.

L800315-ENR4020 12/14/09 BLS2413

NO.	REVISION	DATE	BY	APP.
2	REVISED AS PER PUMP DESIGN CHANGE	10/6/09	SSA	
1	ADDED PIT VENTILATOR, GEN. REVISIONS	7/19/09	RS	EGM



MANAGER	E. McCORKLE	DESIGN	E. McCORKLE	DRAFT	CADD	FILE	CLIENT	SCALE	NO SCALE
CHKD. BY	<i>[Signature]</i>	CHKD. BY	<i>[Signature]</i>	DATE	5/17/88	NOTES	NONE		

PSC Engineers & Consultants, Inc.
P.O. BOX 3012 1650 MANHEIM PIKE, LANCASTER, PA 17604 (717)569-7021

- CONSULTING ENGINEERS
- LANDSCAPE ARCHITECTS
- SURVEYORS
- PLANNERS

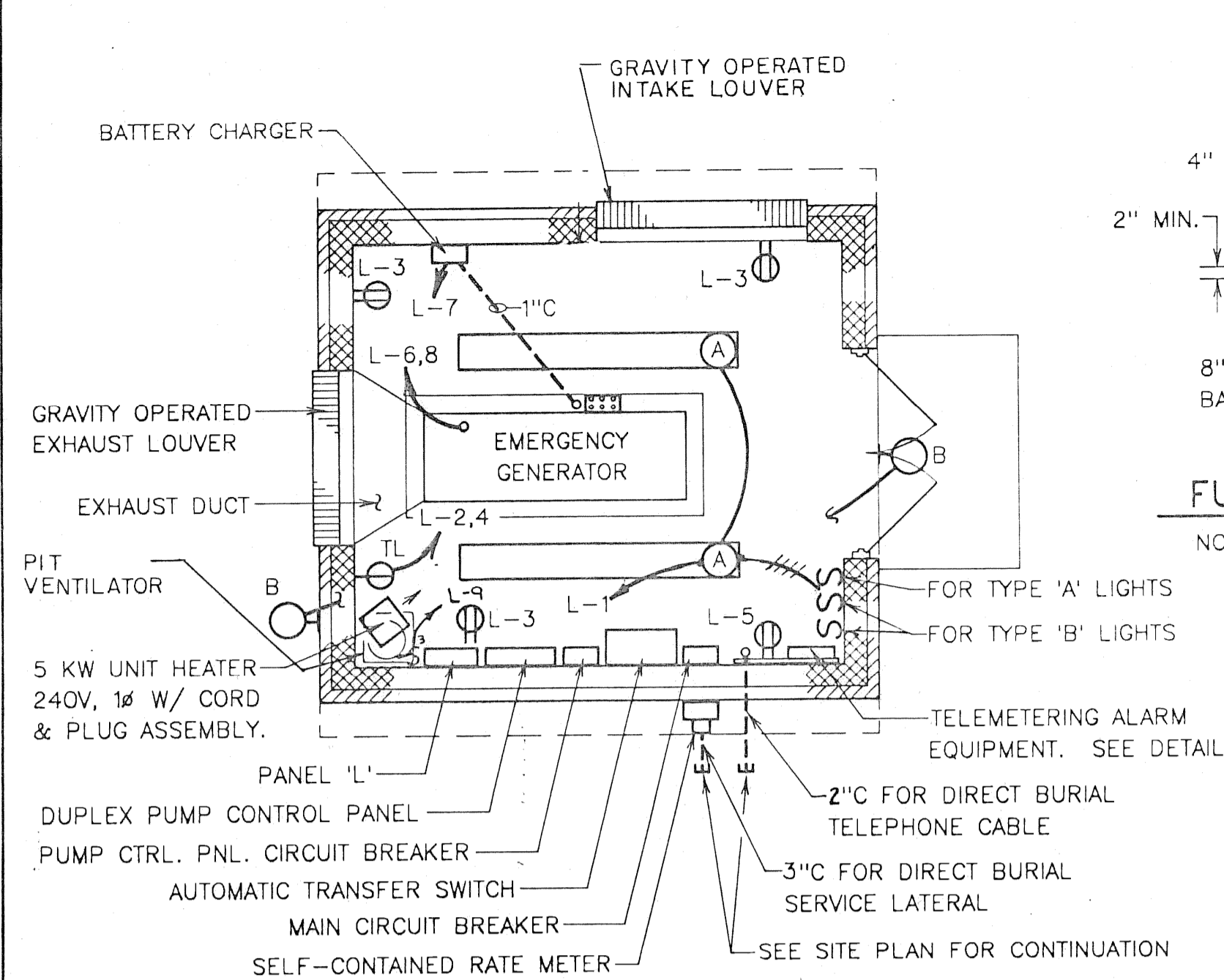
CLIENT
A.M.S. ENTERPRISES
5803 OLD PHILADELPHIA PIKE
GAP, PENNSYLVANIA 17527

SUBJECT
PROPOSED SUBMERSIBLE SEWAGE PUMPING STATION FOR
COUNTRY RIDGE SUBDIVISION
VALLEY & WEST CALN TWP., CHESTER CO., PA
ARCHITECTURAL PLANS & DETAILS

JOB NO.
1-89-06842

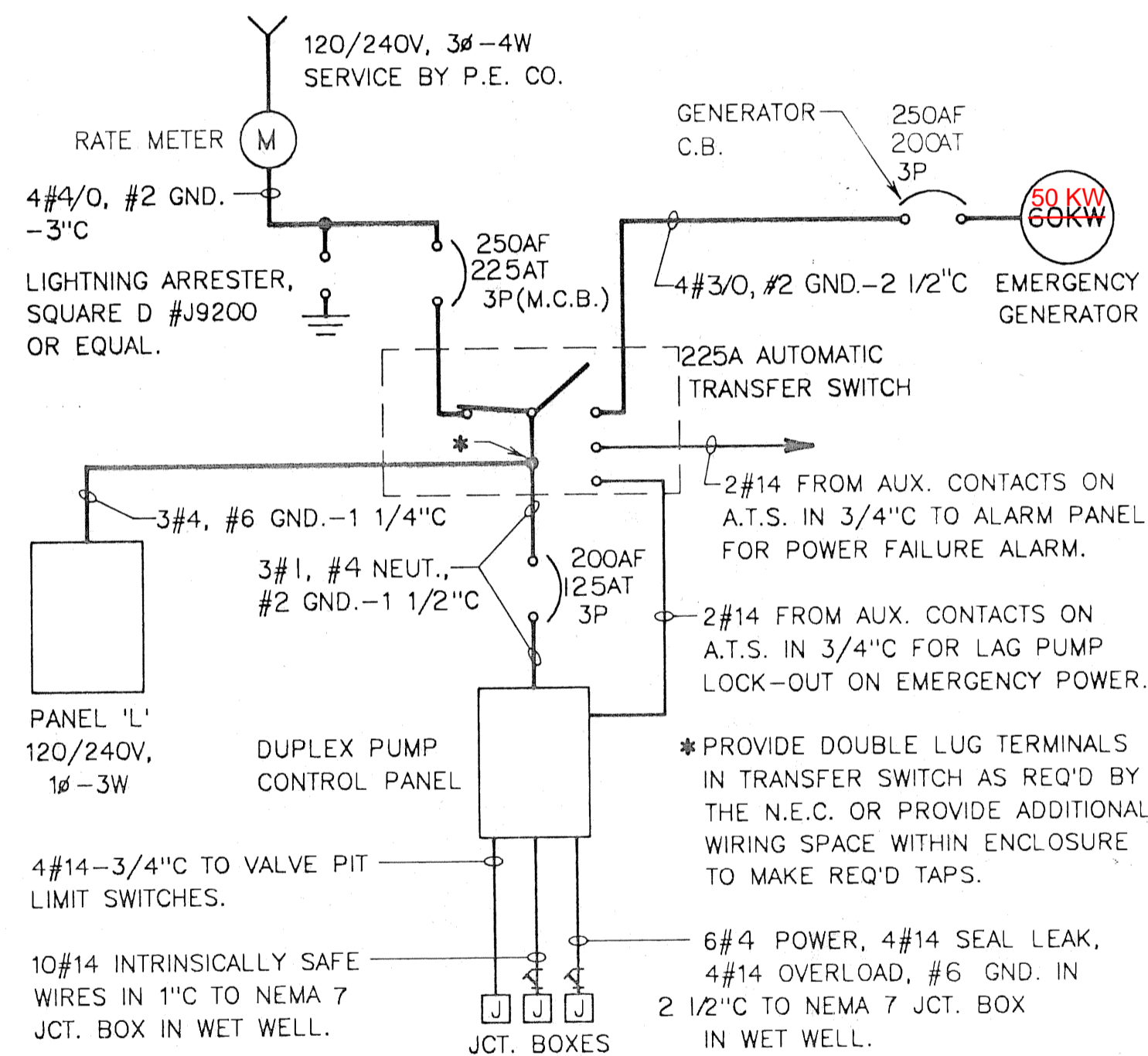
SHEET NO.
3 OF 4

DWG. NO.
S-1946



ELECTRICAL FLOOR PLAN

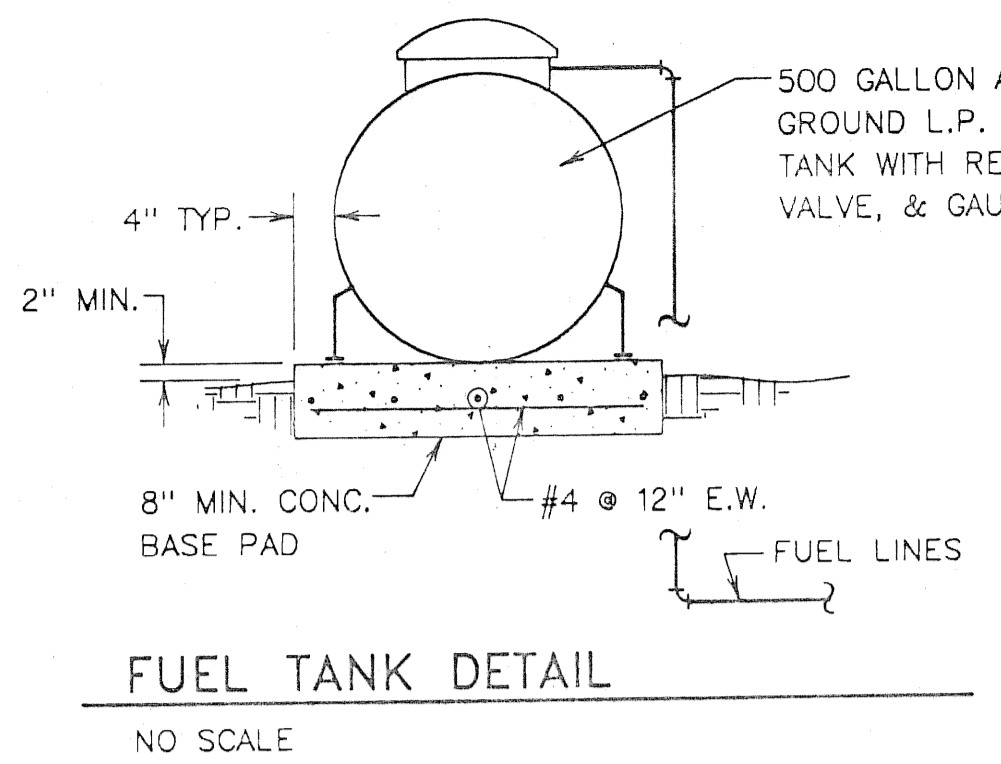
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SCALE: 1/4" = 1'-0"



SINGLE LINE DIAGRAM

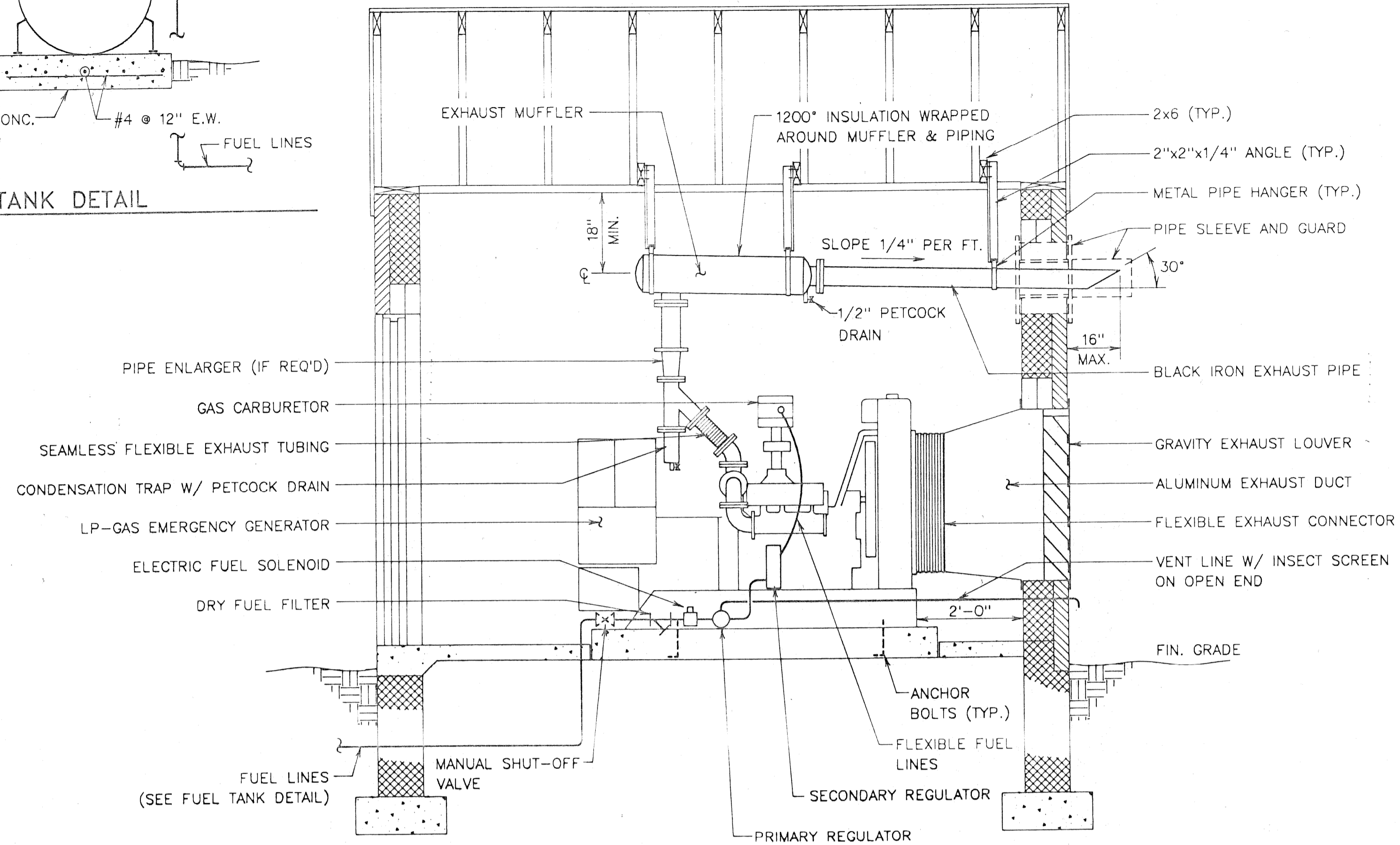
NO SCALE

DESIGNATION	WIRE/ CONDUIT	CKT. BKR. TRIP NO.	PH.	CKT. BKR. TRIP NO.	WIRE/ CONDUIT	DESIGNATION
LIGHTS	2#12-3/4" C	20 1	A	2 30	2#10-3/4" C	UNIT HEATER
CONV. OUTLETS	2#12-3/4" C	20 3	B	4		
ALARM EQUIPMENT	2#12-3/4" C	20 5	A	6 20	2#12-3/4" C	JACKET WATER HEATER
BATTERY CHARGER	2#12-3/4" C	20 7	B	8		
PIT VENTILATOR	2#12-3/4" C	20 9	A	10 20		SPARE
SPARE		20 11	B	12 20		SPARE
SPACE		13 A	14			SPACE
		15 B	16			
		17 A	18			



FUEL TANK DETAIL

NO SCALE

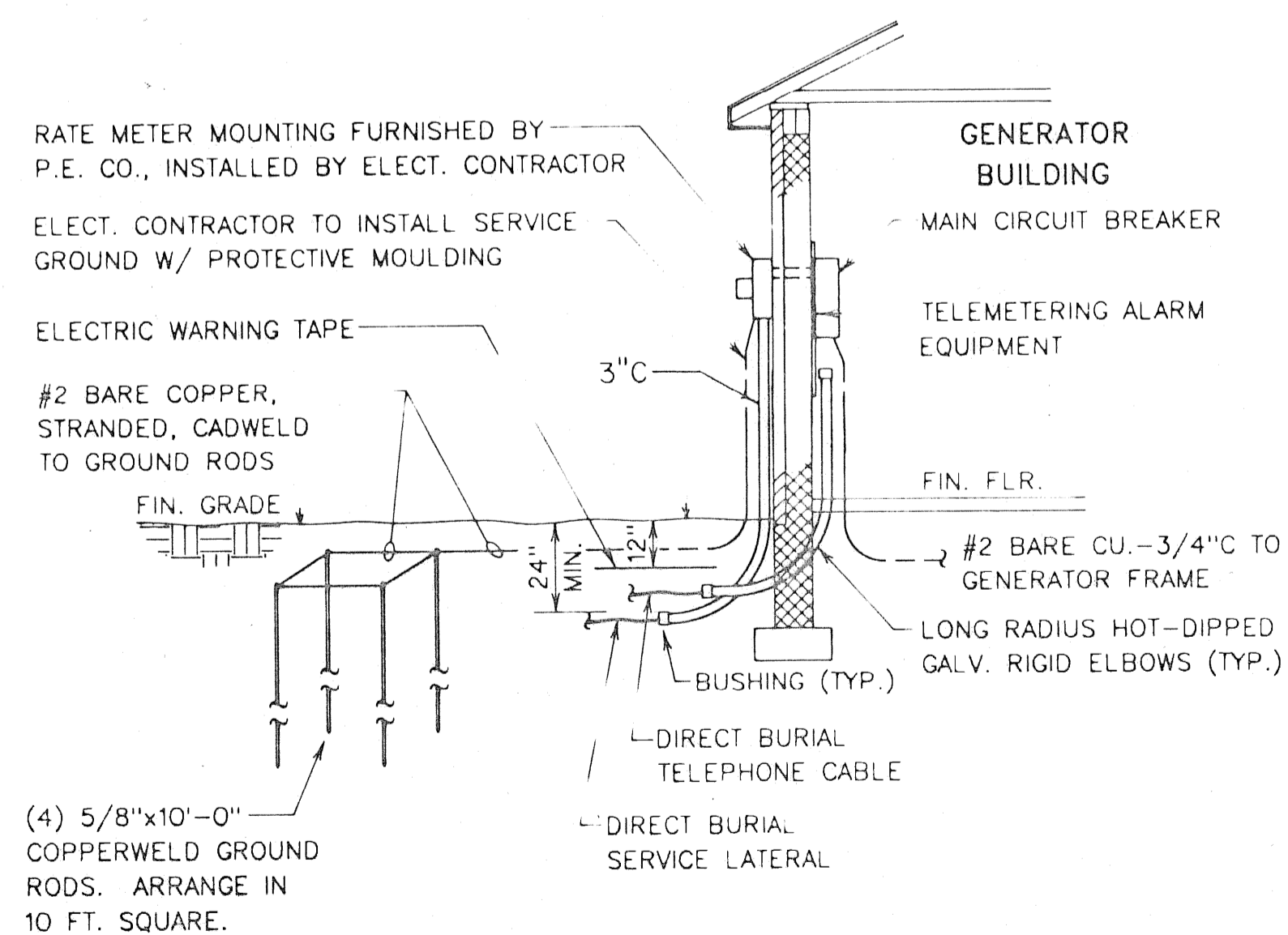


FUEL AND EXHAUST SYSTEM DETAIL - LP-GAS GENERATOR

NO SCALE

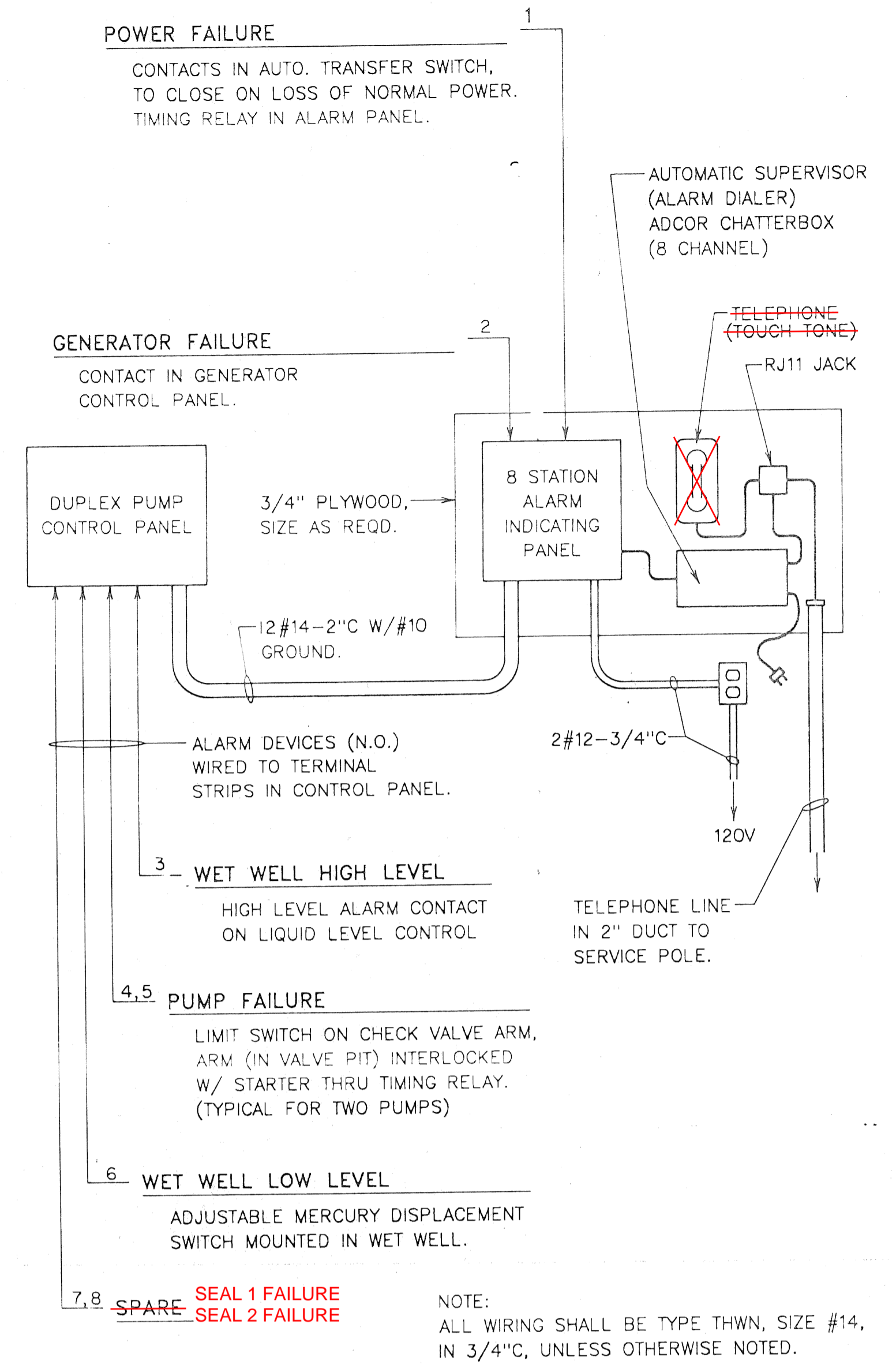
ELECTRICAL SYMBOL SCHEDULE

- FLUORESCENT FIXTURE, SURFACE; CEILING OUTLET
- WALL FIXTURE OUTLET
- S SINGLE POLE SWITCH
- ⊕ RECEPTACLE, DUPLEX 20A/125V/2P/3W GROUNDING GFI - INDICATES GROUND FAULT INTERRUPTER
- ⊕ TL RECEPTACLE, SINGLE TWISTLOCK 30A/250V/2P/3W GROUNDING
- WP WEATHERPROOF
- CONDUIT RUN CONCEALED IN WALL OR CEILING
- - - CONDUIT RUN UNDERGROUND OR UNDERFLOOR
- CONDUIT RUN EXPOSED
- HOMERUN TO PANEL
- ⊕ HATCH MARKS INDICATE QUANTITY OF #12 CONDUCTORS IN CONDUIT. CONDUIT SHALL CONTAIN 2 #12 WHEN HATCH MARKS ARE NOT INDICATED, UNLESS NOTED
- M MANUAL MOTOR STARTER W/THERMAL OVERLOAD RELAY



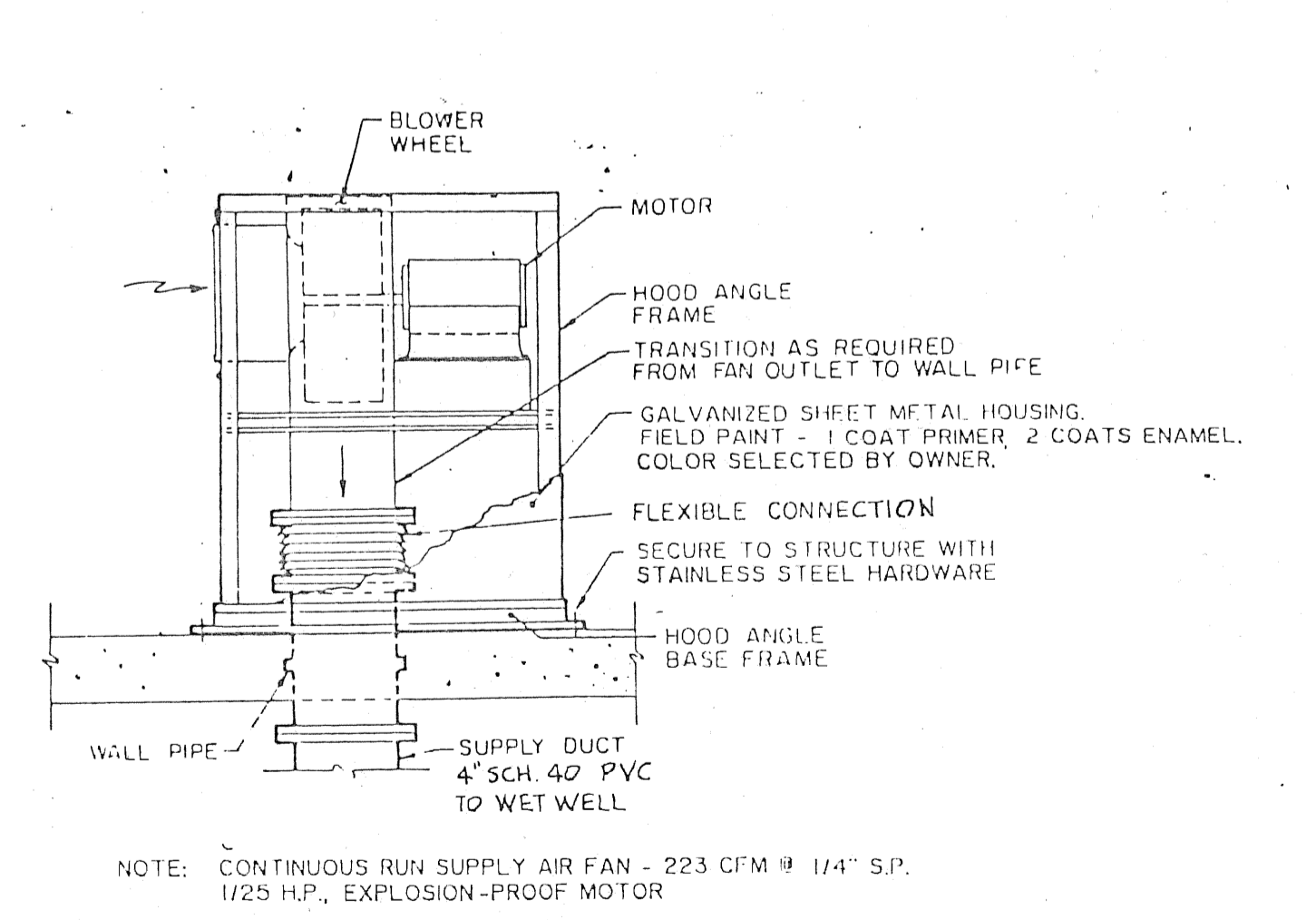
SERVICE & GROUNDING DETAIL

NO SCALE



TELEMETERING ALARM SYSTEM

NO SCALE



TYP. PIT VENTILATOR DETAIL

NO SCALE

NO.	REVISION	DATE	BY	APP.
2	REVISED NOTES AS PER PUMP DESIGN CHANGE	10-6-89	SSA	
1	REV. FLR. PLAN, REMOVE MOTOR OPER. FOR LOUVER	7/19/89	RS	EGM

SEAL	
------	--

MANAGER
E. McCORKLE

DESIGN
F. ARGENTINE

DRAFT
CADD

FILE
CLIENT

SCALE
AS NOTED

CHKD. BY
[Signature]

CHKD. BY
[Signature]

DATE
5/17/88

NOTES
NONE

PSC Engineers & Consultants, Inc.

CONSULTING ENGINEERS
LANDSCAPE ARCHITECTS
SURVEYORS
PLANNERS

P.O. BOX 3012 1850 MANHEIM PIKE, LANCASTER, PA 17604 (717) 589-7021

CLIENT
A.M.S. ENTERPRISES

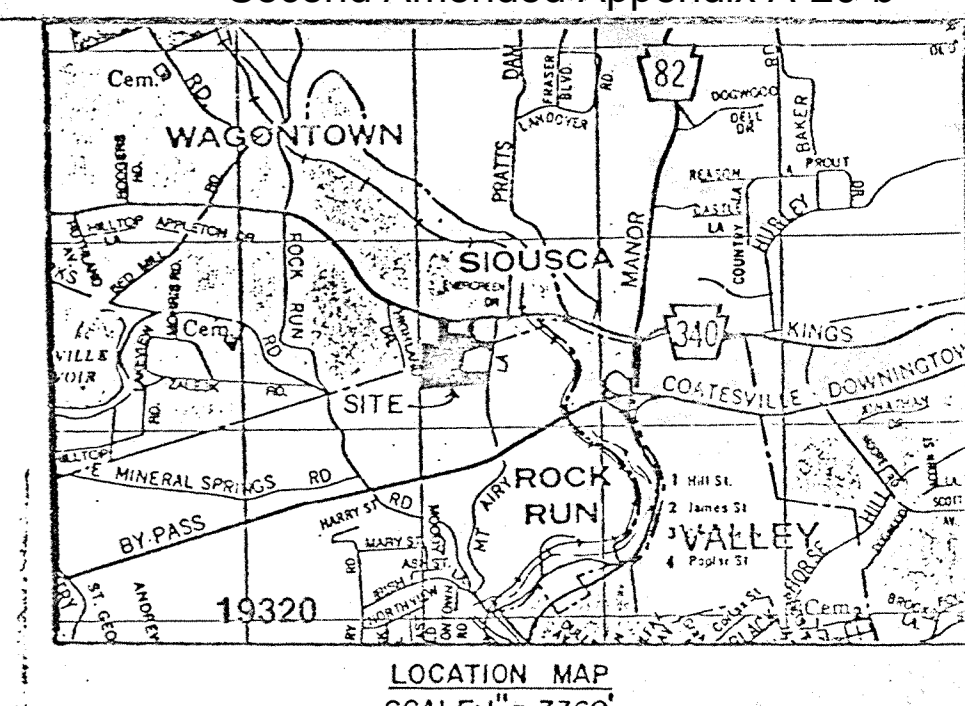
5803 OLD PHILADELPHIA PIKE
GAP, PENNSYLVANIA 17527

SUBJECT
PROPOSED SUBMERSIBLE SEWAGE PUMPING STATION FOR COUNTRY RIDGE SUBDIVISION VALLEY & WEST CALN TOWNSHIPS, CHESTER CO., PA GENERATOR BUILDING ELECTRICAL PLANS & DETAILS

JOB NO.
1-89-06842

SHEET NO.
4 OF 4

DWG. NO.
S-1946



- NOTES:
- Total area of tract is 23.66 acres.
 - Aerial topography was furnished by Belmont Associates.
 - Boundary survey was performed by Valley Township Municipal Authority.
 - Site will be served by public water - Valley Township Municipal Authority.
 - Site will be served by public sanitary sewer - Valley Township Municipal Authority.
 - Streets are offered for dedication for public use.
 - Right of way along Kings Highway is offered for dedication.
 - Lot No. 32 will be offered for dedication to Valley Township Municipal Authority.
 - Edward T. and Ruth P. Harrington have a right of easement from Kings Highway across Lot No. 43.
 - A fifty (50) foot wide easement between Lot No. 42 and Lot No. 43 is for future access to adjoining property.
 - A fifty (50) foot wide easement between Lot No. 7 and Lot No. 8 is for future access to adjoining property.
 - 20' Denotes concrete monuments to be set.
 - Lot No. 35 will be deemed to be in Valley Township for tax purposes.
 - Lot No. 36 and Lot No. 40 will be deemed to be in West Caln Township for tax purposes.
 - Maintenance of all roads within the subdivision will be the responsibility of Valley Township. However, West Caln Township will be responsible for snow removal from said roads.
 - A clear sight distance shall be maintained on Lot No. 19 as shown.
 - Sanitary sewer facilities shall be constructed in accordance with Sanitary Sewer Specifications of Valley Township Authority.
 - Water facilities shall be constructed in accordance with Water Specifications of Valley Township Authority.
 - Gravelly places and profiles and foundation designs for lots # 1, 2, 3, 32, 33 and 34 shall be submitted with building permit application due to steep side slopes.
 - Responsibility for continuous maintenance of the storm water detention basin on Lot # 31 shall be the obligation of the property owner of lot # 31.

APPROVED by the Planning Commission of West Caln Township, this _____ day of _____, 19____.

Secretary: _____ Chairman: _____

APPROVED by the Board of Supervisors of West Caln Township, this _____ day of _____, 19____.

Secretary: _____

APPROVED by the Township Engineer of West Caln Township, this _____ day of _____, 19____.

Secretary: _____

REVIEWED by the Chester County Planning Commission, this _____ day of _____, 19____.

Secretary: _____

RECORDED in the Office of the Recorder of Deeds of Chester County at West Chester, Pennsylvania, in Plan Book _____ Page _____ on the _____ day of _____, 19____.

(Deputy) Recorder of Deeds: _____

ZONING REQUIREMENTS

Residential development to be served by public water and public sanitary sewer.

WEST CALN TOWNSHIP

"R-1" LOW DENSITY RESIDENTIAL DISTRICT

Minimum Lot Area - 18,000 S.F.
 Minimum Building Coverage - 30%
 Maximum Lot Coverage - 50%
 Minimum Building Height - 8' 0"
 Minimum Front Lot Line Width - 25' 0"
 Minimum Lot Width at Building Line - 30' 0"
 Minimum Rear Yard Depth - 10' 0"
 Minimum Side Yard Abutting a Street - 15' 0"
 Any One (1) of (2) required

VALLEY TOWNSHIP

"R-1" RESIDENTIAL DISTRICT

Minimum Lot Area - 16,000 S.F.
 Minimum Building Coverage - 30%
 Maximum Lot Coverage - 50%
 Minimum Building Height - 8' 0"
 Minimum Front Lot Line Width - 25' 0"
 Minimum Lot Width at Building Line - 30' 0"
 Minimum Rear Yard Depth - 10' 0"
 Minimum Side Yard Abutting a Street - 15' 0"
 Any One (1) of (2) required

APPROVED by the Planning Commission of Valley Township, this _____ day of _____, 19____.

Secretary: _____ Chairman: _____

APPROVED by the Board of Supervisors of Valley Township, this _____ day of _____, 19____.

Secretary: _____

APPROVED by the Township Engineer of Valley Township, this _____ day of _____, 19____.

Secretary: _____

RECORDED in the Office of the Recorder of Deeds of Chester County at West Chester, Pennsylvania, in Plan Book _____ Page _____ on the _____ day of _____, 19____.

(Deputy) Recorder of Deeds: _____

NOTES: This plan has been prepared in accordance with Zoning, Building, Sanitation and other applicable Township Ordinances and Regulations.

MOUNT AIRY ROAD

(T - 455)

AFFIDAVIT OF OWNERSHIP

CHESTER/HEALTH OF PENNSYLVANIA
 COUNTY OF _____ S.S.

On this _____ day of _____, 19____, before the undersigned officer, personally appeared _____ known to me or satisfactorily proven to be the person who, duly sworn according to law, deposes and says that he is the owner and/or equitable owner of the property shown on this plan, and that he acknowledges the same to be his act and plan and desires the same to be recorded as such according to law, and that all streets shown and not heretofore dedicated are hereby offered for dedication to the public use.

Sworn and subscribed to before me this _____ day of _____, 19____.

Notary Public
 Municipality: _____ County: _____

Signature of Owner: _____

By Commission Expires: _____

LESTER R. ANDES

LESTER R. ANDES

GRAPHIC SCALE IN FEET

0 50 100 150 200 250

SCALE: 1" = 50'

CHECKED BY: GLL DATE: February 15, 1998

DRAWN BY: GLL SCALE: 1" = 50' SHEET 1 OF 17

NO. 1 REVISION DATE BY

NO. 2 REVISION DATE BY

NO. 3 REVISION DATE BY

NO. 4 REVISION DATE BY

COUNTRY RIDGE

TITLE PLAN
 AS BUILT SET
 SANITARY, STORM, AND WATER
 VALLEY AND WEST CALN TOWNSHIP, CHESTER COUNTY, PA

LESTER R. ANDES, P.E.
 6 WHISSEL DRIVE, DRAWER C
 THORNDALE, PA 19372

PA 00810

87-25

DRAWN BY: GLL SCALE: 1" = 50' SHEET 1 OF 17

CHECKED BY: L.R.O. DATE: February 15, 1998 DWG NO: 07-25



N/F TERRY R. HENNINGER & THERESA A. HENNINGER H/W D.B. J-64, PG. 496

N/F HARRY PYLE & EDNA L. PYLE D.B. N-18, PG. 589

N/F JERRIE A. BOYER & HELEN LOUISE BOYER H/W D.B. G-32, PG. 520

N/F CLYDE J. DECK & DECK W/W D.B. X-39, PG. 12

N/F SAMUEL L. CARBO & SANDRA L. ROBERTS D.B. F-39, PG. 40

N/F KEVIN G. TOMS & MARINETTA ANN TOMS D.B. A-65, PG. 203

N/F ANTHONY J. BRUNO & LINDA M. BRUNO H/W D.B. F-40, PG. 800

N/F ROBERT L. CRISWELL & DOROTHY J. CRISWELL H/W D.B. B-37, PG. 158

N/F EDWARD T. HARRINGTON & RUTH P. HARRINGTON H/W D.B. L-82, PG. 389

N/F HUAN M. STONER & PATRICIA W. HEMINGWAY H/W D.B. P-64, PG. 122

N/F HAROLD EUGENE MILLER D.B. L-62, PG. 330

N/F JOHN W. KING & ADELINE N. KING H/W D.B. C-27, PG. 784

N/F JAMES W. HUSS D.B. H-58, PG. 90

N/F JOHN GUTERKUNT & KATHERINE KROCKO H/W D.B. Y-63, PG. 23

N/F RAY W. KITTERMAN & DOROTHY G. KITTERMAN H/W D.B. T-34, PG. 261

N/F RAY W. KITTERMAN & DOROTHY G. KITTERMAN H/W D.B. Y-33, PG. 370

N/F SAMUEL S. MOHR, JR. & MARGARET K. MOHR H/W D.B. O-82, PG. 123

N/F MICHAEL H. DEAN D.B. M-93, PG. 206

N/F THOMAS M. EDWARDS & BARBARA J. EDWARDS H/W D.B. M-93, PG. 204

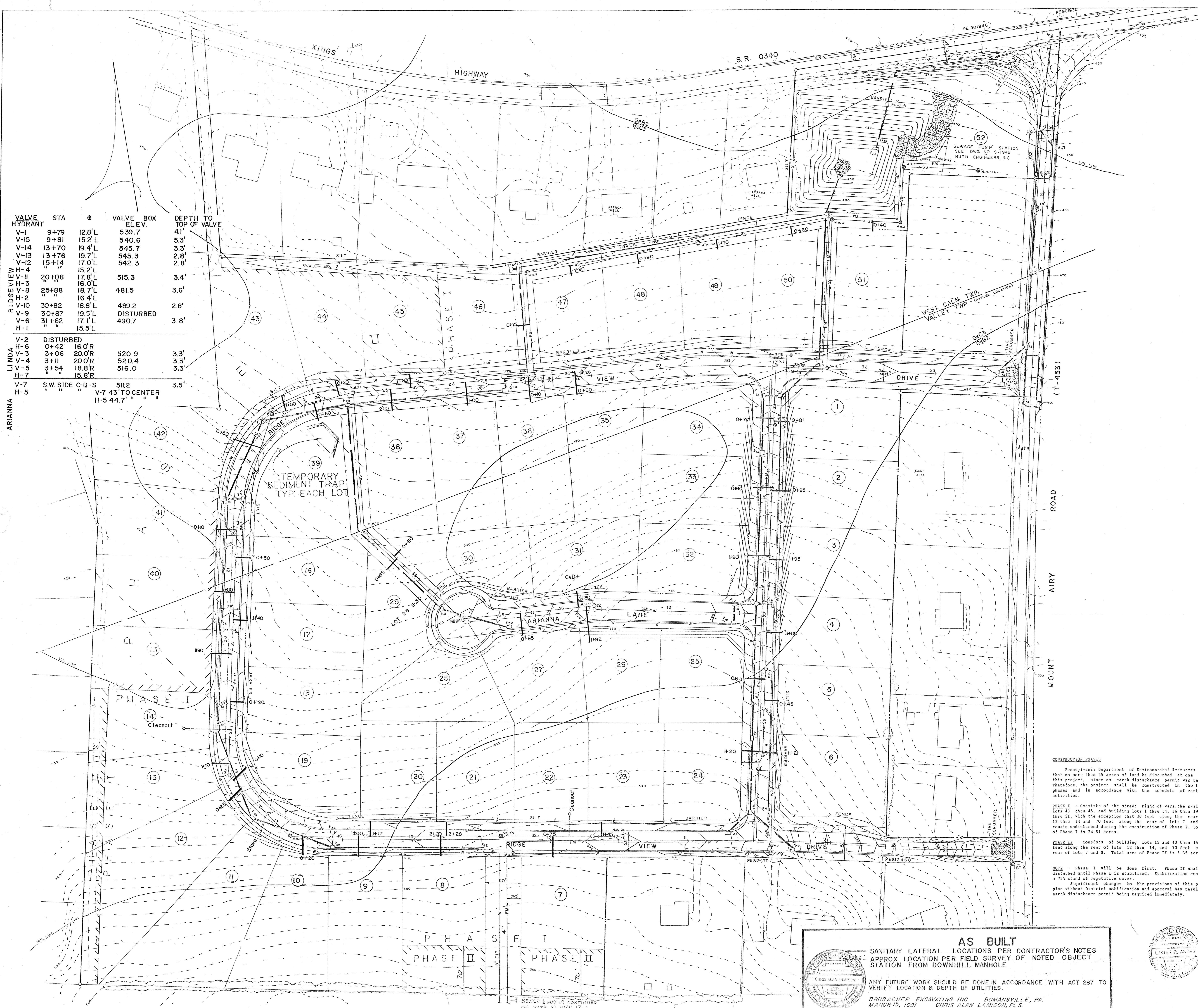
N/F JOSEPH G. NICHOLS, JR. & BETTY M. NICHOLS H/W D.B. C-53, PG. 393

N/F CHARLES E. HEMINGWAY & DONNA P. HEMINGWAY H/W D.B. M-42, PG. 220

N/F DONALD R. DALLER & LINDA M. DALLER H/W D.B. D-51, PG. 400

N/F THOMAS D. BUCCI & LINDA L. BUCCI H/W D.B. R-51, PG. 85

N/F NED G. HELM D.B. Z-29, PG. 567



VALVE HYDRANT	STA	Ø	VALVE BOX ELEV.	DEPTH TO TOP OF VALVE
V-1	9+79	12.8" L	539.7	4.1'
V-15	9+81	15.2" L	540.6	5.3'
V-14	13+70	19.4" L	545.7	3.3'
V-13	13+76	19.7" L	545.3	2.8'
V-12	15+14	17.0" L	542.3	2.8'
H-4		15.2" L		
H-II	20+08	17.8" L	515.3	3.4'
H-3		16.0" L		
H-8	25+88	18.7" L	481.5	3.6'
H-10		16.4" L		
H-2	30+82	18.8" L	489.2	2.8'
H-9	30+87	19.5" L	DISTURBED	
H-1	31+62	17.1" L	490.7	3.8'
H-6		15.5" L		
V-2	DISTURBED			
H-6	0+42	16.0" R	520.9	3.3'
V-3	3+06	20.0" R	520.4	3.3'
V-4				
LV-5	3+54	18.8" R	516.0	3.3'
H-7		15.8" R		
V-7	S.W. SIDE C-D-S	51/2		3.5'
H-5	" " "	V-7 43' TO CENTER		
		H-5 44.7' " "		

- TEMPORARY CONTROL MEASURES**
- The owner/developer shall be responsible for the proper construction, stabilization, and maintenance of all temporary and permanent erosion and sedimentation controls.
 - Remove as little vegetation cover as possible to achieve grading operations. Natural cover along adjoining property lines shall be preserved.
 - Whenever topsoil is to be stockpiled for more than twenty (20) days, the stockpile shall be stabilized against erosion by seeding with annual ryegrass at a rate of 1 lbs./1000 S.F. If seasonal conditions will not permit seeding, the stockpile shall be enclosed within a straw bale barrier.
 - Stockpiles of mulches such as wood chips, crushed stone and silt wash shall be available to deal with erosive conditions as they arise.
 - All erosion control facilities shall be checked weekly and after each rainstorm to ensure that they are in good working condition. Damage to any facility shall be repaired immediately.
 - Disturbed areas on which activities have ceased and which will remain exposed for more than 20 days must be seeded and mulched immediately. During non-germinating periods, which must be applied at the recommended rate. Disturbed areas which are not at finished grade and which will be re-disturbed within 1 year may be seeded and mulched with a quick growing temporary seeding mixture and mulch. Disturbed areas which are either at finished grade or will not be re-disturbed within 1 year must be seeded and mulched with permanent seed mixture and mulch.
 - For Permanent Control Measures and Seeding and Mulching Notes, see sheet 8.
 - After final site stabilization has been achieved, temporary erosion and sedimentation control measures must be removed. Areas disturbed during removal of the controls must be stabilized.

- SCHEDULE OF EARTH MOVING ACTIVITIES**
- In the following schedule of activities, all erosion and sedimentation control facilities (basins, swales, etc.) must be stabilized immediately following their construction, and prior to any further earth disturbance activities in areas they control.
- Install tire scrubber and stabilize construction entrance.
 - Construction of detention basin and installation of filter fabric fence.
 - Removal and stockpiling of topsoil from street right-of-way.
 - Installation of utilities, storm, sanitary, gas, electrical, etc.
 - Construction of streets with stone base.
 - Removal and stockpiling of topsoil from Phase I construction sites.
 - Construction on Phase I building lots.
 - Final grading and seeding of detention basin, street right-of-way and Phase I lots.
 - Removal and stockpiling of topsoil from Phase II building sites.
 - Construction on Phase II building lots.
 - Final grading and seeding of Phase II lots.
 - Cleaning, re-grading and re-seeding of detention basin, as required.
 - Completion of streets.

The proper erosion and sedimentation control measures shall be observed in accordance with the recommendations of the Chester County Conservation District and the requirements of state and local regulations.

GENERAL NOTE

Construction operations shall be carried out in a manner such that all erosion and air/water pollution is minimized. State and local laws concerning pollution abatement shall be followed.

Should unforeseen erosive conditions develop during construction, the Contractor shall take action to remedy such conditions and to prevent damage to adjacent properties as a result of increased runoff and/or sediment displacement. Special attention should be given to frozen slopes. Stockpiles of wood chips, haybales, crushed stone and other mulches shall be held in readiness to deal immediately with emergency problems of erosion.

The Contractor is advised to become thoroughly familiar with the provisions of Appendix 65, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Resources, Sub-Part C, Protection of Natural Resources, Art. 1611, Water Resources, Chapter 102, Erosion Control.

A COPY OF THIS PLAN MUST BE POSTED AT THE CONSTRUCTION SITE IN ACCORDANCE WITH STATE LAW.

- Notes:**
- Sanitary sewer system shall be constructed to comply with the rules, regulations and specifications of Valley Township Municipal Authority.
 - Lateral elevations and locations of sewer connections for all lots shall be shown by the contractor on as-built drawings submitted to the Municipal Authority.
 - Thrust blocks, based on a 75 psig maximum working pressure, shall be provided at all tees and bends over 5 degrees in the forced main sewerline.
 - Water and sewer lines shall have a minimum of 36 inches of cover.
 - Thrust blocks, based on a maximum working pressure of 150 psig shall be provided at all tees, bends over 5 degrees, and fire hydrants in the water system.
 - Water system shall be constructed to comply with the rules, regulations and specifications of Valley Township Municipal Authority.
 - Storm sewers shall be constructed to PA DOT standards. Pipe indicated as C.M.P. shall be helical asphalt coated corrugated steel pipe. Pipe indicated as R.C.P. shall be reinforced concrete pipe.
 - Curb shall be PA DOT standard plain cement concrete curb.
 - All storm sewer manholes shall be PA DOT type A.

CONSTRUCTION PHASES

Pennsylvania Department of Environmental Resources requires that no more than 25 acres of land be disturbed at one time for this project, since no earth disturbance permit was requested. Therefore, the project shall be constructed in the following phases and in accordance with the schedule of earth moving activities.

PHASE I - Consists of the street right-of-ways, the swale behind lots 11 thru 45, and building lots 1 thru 14, 16 thru 39, and 46 thru 51, with the exception that 10 feet along the rear of lots 12 thru 14 and 70 feet along the rear of lots 7 and 8 shall remain undisturbed during the construction of Phase I. Total area of Phase I is 24.81 acres.

PHASE II - Consists of building lots 15 and 40 thru 45, and 30 feet along the rear of lots 12 thru 14, and 70 feet along the rear of lots 7 and 8. Total area of Phase II is 1.85 acres.

SOIL IDENTIFICATION

G61 - Slightly stony silt loam, 3 to 8 percent slopes, severely eroded.
 G62 - Slightly stony silt loam, 8 to 15 percent slopes, severely eroded.
 G63 - Slightly stony silt loam, 15 to 25 percent slopes, severely eroded.

NO.	REVISION	DATE	BY
7	REVISED PHASING AREA'S NOTES	2-21-90	LRA
6	ADDED PHASING NOTES, REVISED SCHEDULE	1-30-90	LRA
5	CHANGED FORCE MAIN FROM 3" Ø TO 4" Ø	9-8-89	LRA
4	ADDED M.H.'S SWA 9" Ø; M.H.'S SWA 15" Ø	8-21-89	LRA
3	REVISED PHASING AREA'S NOTES, REVISED SCHEDULE, REVISED M.H.'S SWA 9" Ø; M.H.'S SWA 15" Ø	7-19-89	LRA
2	FINAL PLAN SUBMITTED	4-24-89	LRA
1	STORM SEWER, SANITARY SEWER, M.H.'S	11-29-88	LRA

NOTE - Phase I will be done first. Phase II shall not be disturbed until Phase I is stabilized. Stabilization consists of a 75% stand of vegetative cover.
 Significant changes to the provisions of this plan without District notification and approval may result in an earth disturbance permit being required immediately.

AS BUILT
 SANITARY LATERAL LOCATIONS PER CONTRACTOR'S NOTES
 APPROX. LOCATION PER FIELD SURVEY OF NOTED OBJECT
 STATION FROM DOWNHILL MANHOLE

ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO VERIFY LOCATION & DEPTH OF UTILITIES.

BRUBACHER EXCAVATING INC. BOHANSVILLE, PA.
 MARCH 15, 1991 CHRIS ALAN LAMISON, P.E.



COUNTRY RIDGE CONSTRUCTION PLAN CONSERVATION PLAN

VALLEY AND WEST CALN TWP., CHESTER COUNTY, PA.

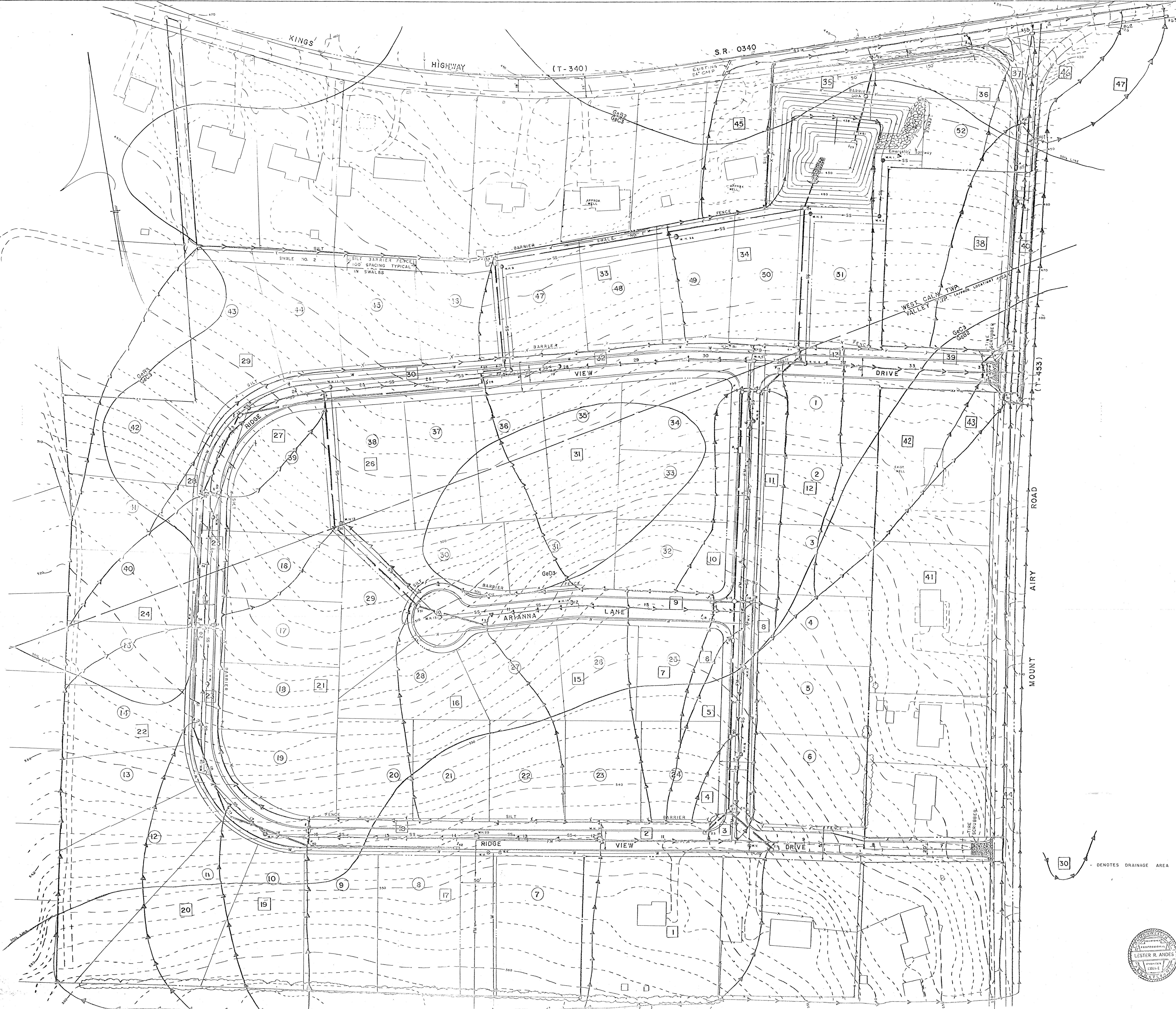
LESTER R. ANDES, P.E.
 6 WHISSEL DRIVE, DRAWER C
 THORNDALE, PA. 19372

JOB NO. 87-25

DRAWN BY: LLL
 CHECKED BY: LRA
 DATE: February 15, 1990

SCALE: 1" = 50'

SHEET 2 OF 17
 DWG. NO. 87-25



- TEMPORARY CONTROL MEASURES**
1. Remove as little vegetative cover as possible to achieve grading operations. Natural cover along abutting property lines should be preserved.
 2. Whenever topsoil is to be stockpiled for more than twenty (20) days, the stockpile should be stabilized against erosion by seeding with annual ryegrass at a rate of 4 lbs./1000 S.F. If seasonal conditions will not permit seeding, the stockpile should be enclosed within a straw bale barrier.
 3. Stockpiles of mulches such as wood chips, crushed stone and jute mesh should be available to deal with erosive conditions as they arise.
 4. All cut areas whose surfaces are subject to erosive action should be mulched with one of the above mulches.
 5. All erosion control facilities should be checked after each rainstorm to ensure that they are in good working condition. Damage to any facility should be repaired immediately.
 6. To all areas which shall remain open (unvegetated) for more than twenty (20) days and will be subject to the action of construction equipment, areas shall be temporarily seeded and mulched with annual ryegrass at a rate of 4 lbs./1000 S.F.

- PERMANENT CONTROL MEASURES**
1. Construct permanent water management retention basins.
 2. Grade all cut and fill areas to 2:1 or flatter. Retention basin embankments or berm slopes must be 3:1. Seed and mulch.
 3. Drives and roads to be paved.
 4. Permanent grass, sod or ground cover shall be established following final grading operations. Seeded and sodded areas shall be fertilized using a 10-6-4 fertilizer at a rate of 25 lbs./1000 S.F.

- SCHEDULE OF EARTH-MOVING ACTIVITIES**
1. Construction of retention basin and installation of filter fabric fence.
 2. Removal and stockpiling of topsoil from construction sites.
 3. Installation of utilities, storm, sanitary, gas, electrical, etc.
 4. Construction of streets with stone base.
 5. Construction on building lots.
 6. Cleaning and regrading of storm water storage basin.
 7. Completion of streets.
 8. Final grading and seeding of construction areas.

The proper erosion and sedimentation control measures will be observed in accordance with the recommendations of the Chester County Conservation District and the requirements of state and local regulations.

GENERAL NOTE

Construction operations shall be carried out in a manner such that all erosion and siltation pollution is abated. State and local laws concerning pollution abatement shall be followed.

Should unforeseen erosive conditions develop during construction, the Contractor shall take action to remedy such conditions and to prevent damage to adjacent properties as a result of increased runoff and/or sediment displacement. Special attention should be given to frozen slopes. Stockpiles of wood chips, haybales, crushed stone and other mulches shall be held in readiness to deal immediately with emergency problems of erosion.

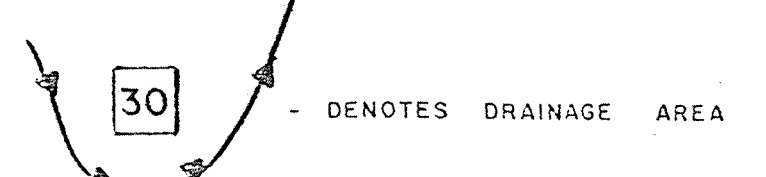
The Contractor is advised to become thoroughly familiar with the provisions of Appendix 53, Erosion Control Rules and Regulations, Title 25, Part 7, Department of Environmental Resources, Sub-Part C, Protection of Natural Resources, Article 11, Water Resources, Chapter 302, Erosion Control.

A COPY OF THIS PLAN MUST BE POSTED AT THE CONSTRUCTION SITE IN ACCORDANCE WITH STATE LAW.

- NOTES:**
1. Sanitary sewer system shall be constructed to comply with rules, regulations and specifications of Valley Township Municipal Authority.
 2. Water system shall be constructed to comply with rules, regulations and specifications of Valley Township Municipal Authority.
 3. Storm sewer shall be constructed to PA DOT standards and pipe shall be helical asphalt coated corrugated steel pipe.
 4. Curb shall be PA DOT standard plain cement concrete curb.

SOIL IDENTIFICATION

602 - Heavy clayey silt loam, 3 to 8 percent slopes, severely eroded.
 603 - Heavy clayey silt loam, 8 to 15 percent slopes, severely eroded.
 604 - Heavy clayey silt loam, 15 to 25 percent slopes, severely eroded.



NO.	REVISION	DATE	BY
2	REVISED DRAINAGE AREAS & INLETS	8-21-89	LRA
1	STORM SEWER, SANITARY SEWER, ABUT	11-13-88	LRA

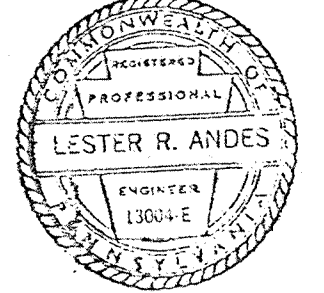
COUNTRY RIDGE
CONSTRUCTION PLAN
CONSERVATION PLAN
DRAINAGE AREAS

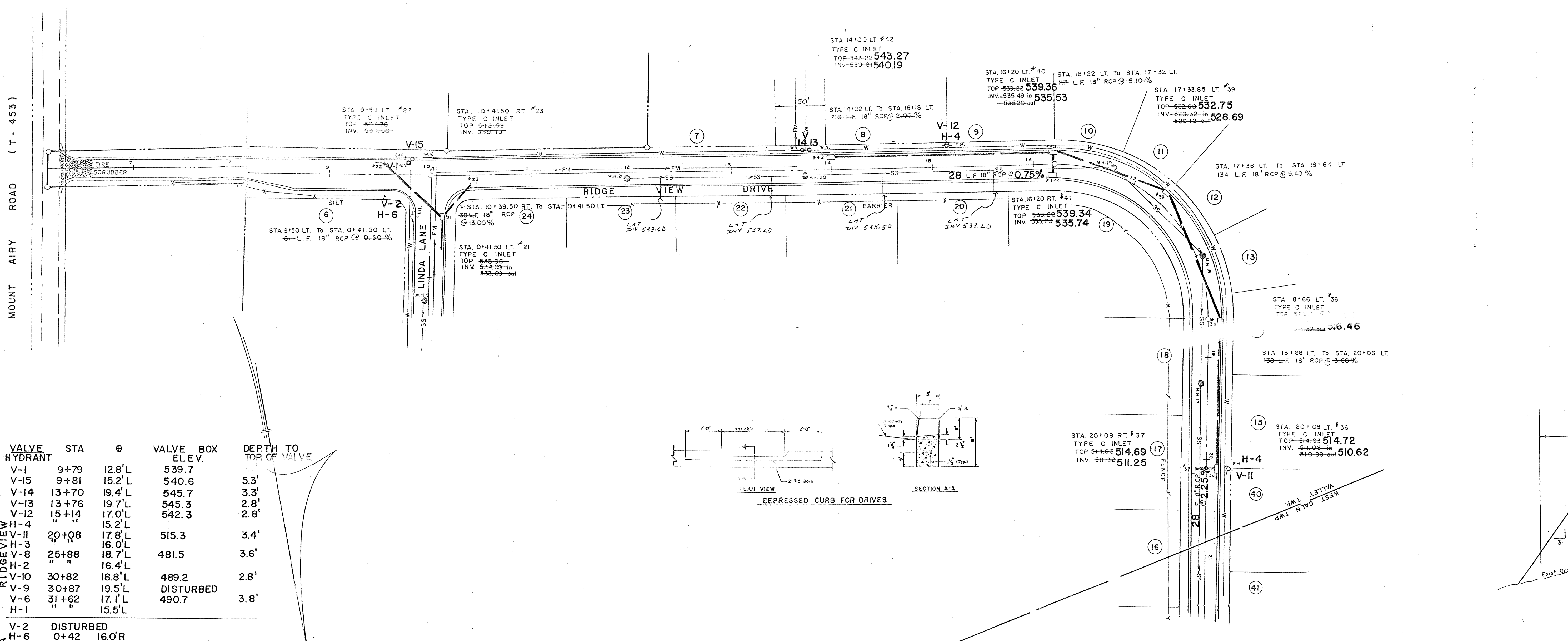
VALLEY and WEST CALM TWP., CHESTER COUNTY, PA.

LESTER R. ANDES, P.E.
 8 WHISSEL DRIVE, DRAWER C
 THORNDALE, PA. 19372

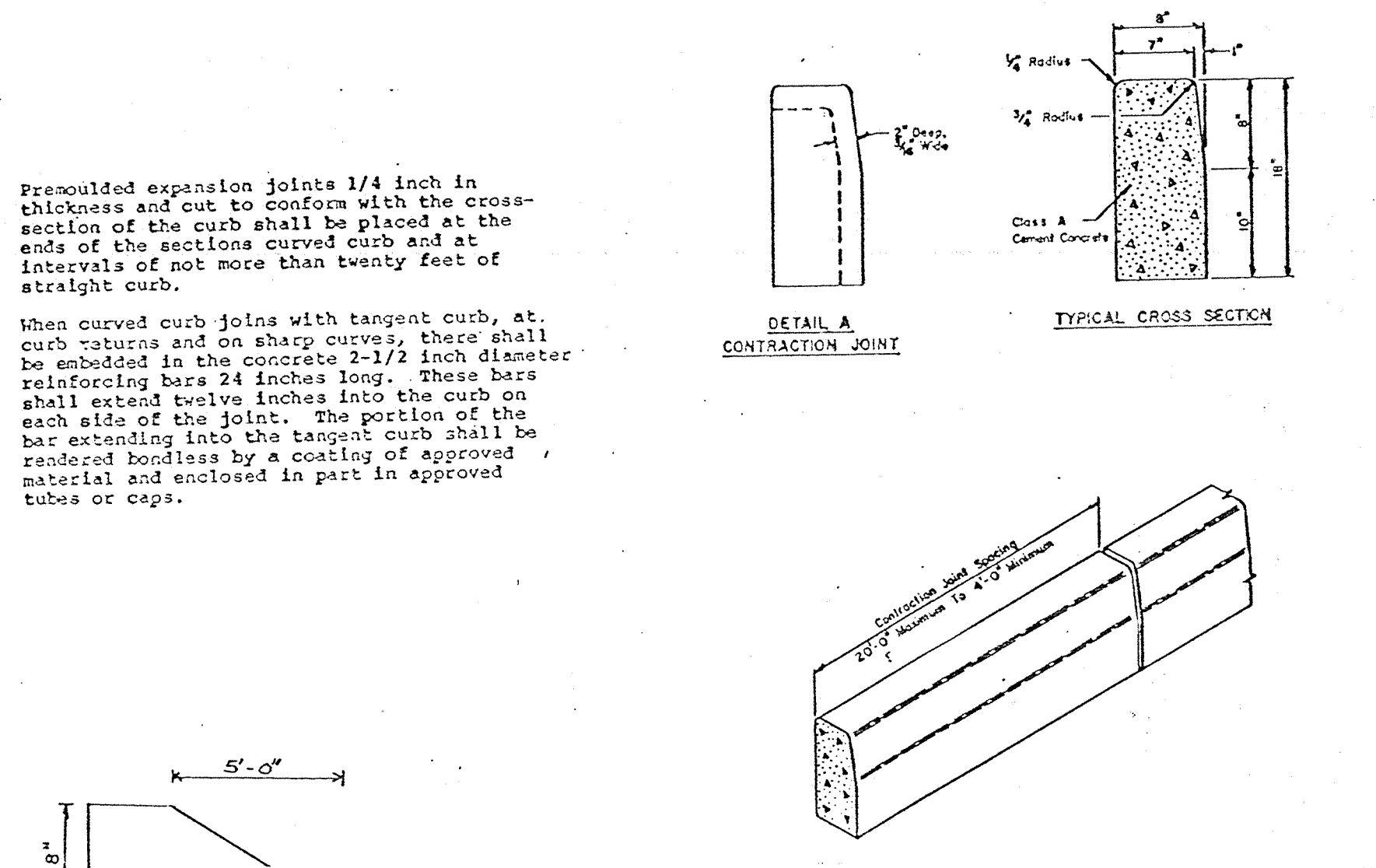
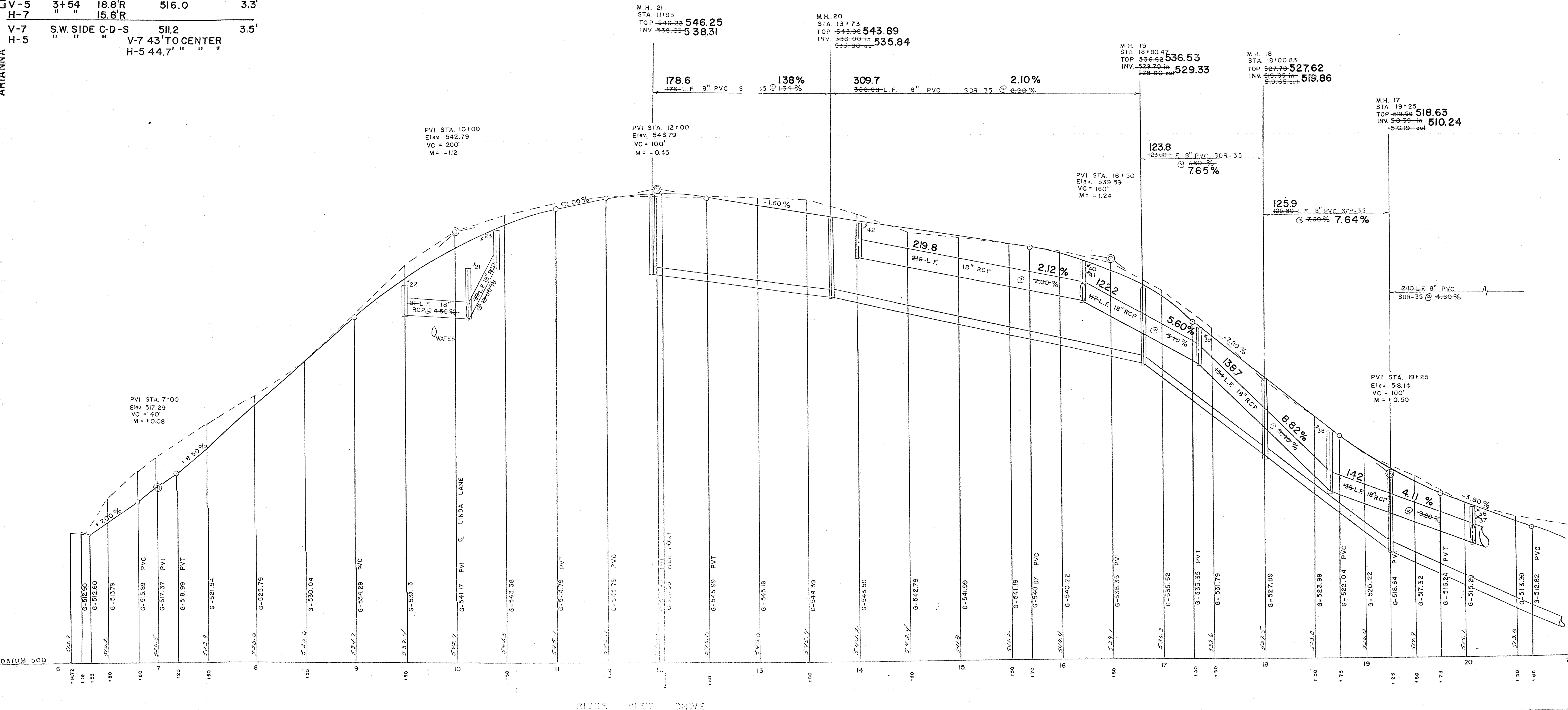
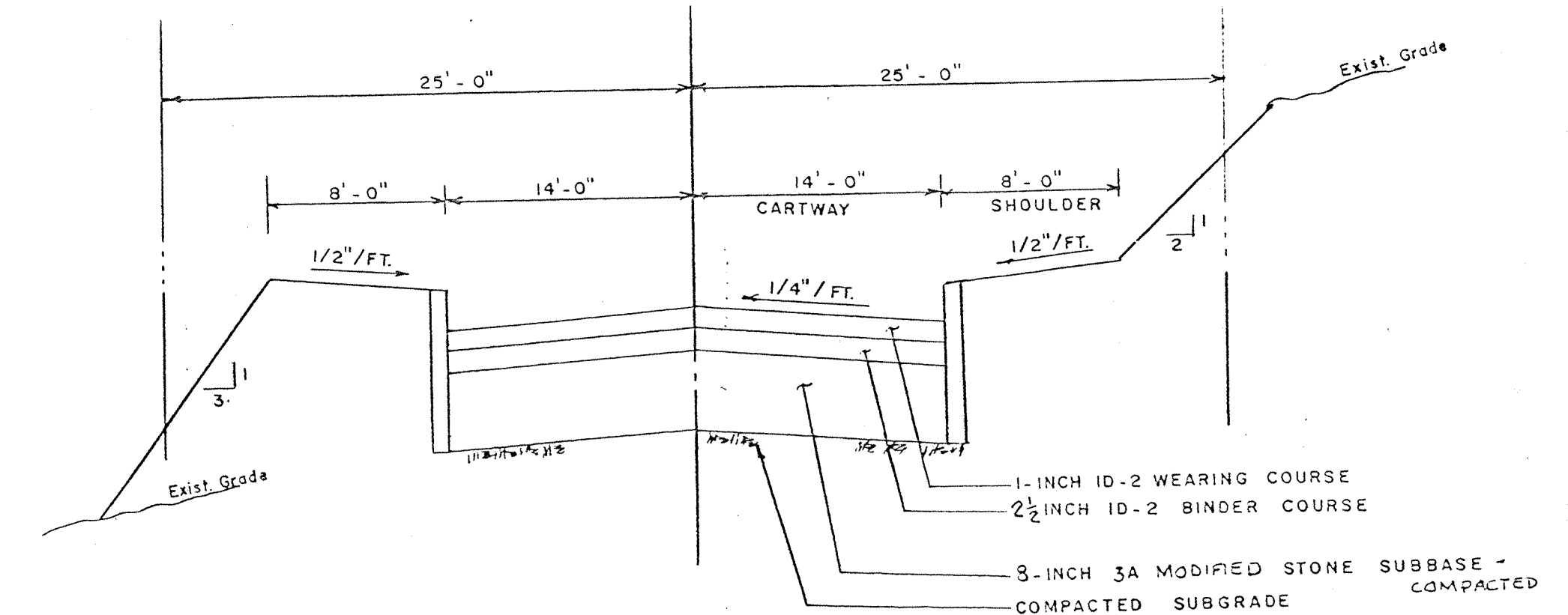
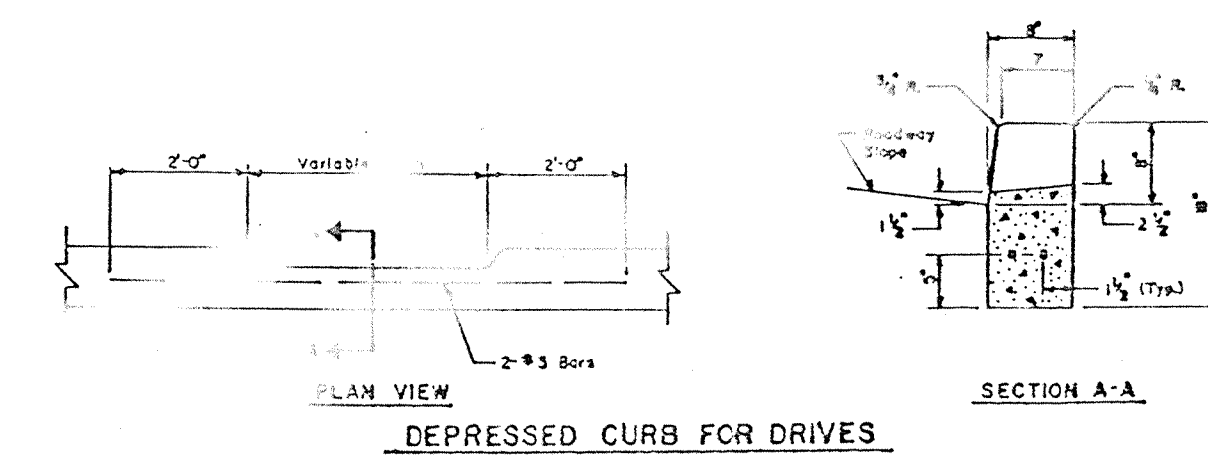
JOB NO. 87-25

DRAWN BY: LLL SCALE: 1" = 50' SHEET 2A
 CHECKED BY: LRA DATE: February 15, 1988 DWG. NO. 87-25





VALVE HYDRANT	STA	Ø	VALVE BOX ELEV.	DEPTH TO TOP OF VALVE
V-1	9+79	12.8'L	539.7	
V-15	9+81	15.2'L	540.6	5.3'
V-14	13+70	19.4'L	545.7	3.3'
V-13	13+76	19.7'L	545.3	2.8'
V-12	15+14	17.0'L	542.3	2.8'
V-11	20+08	17.8'L	515.3	3.4'
H-3	"	16.0'L		
V-8	25+88	18.7'L	481.5	3.6'
H-2	"	16.4'L		
V-10	30+82	18.8'L	489.2	2.8'
V-9	30+87	19.5'L	DISTURBED	
V-6	31+62	17.1'L	490.7	3.8'
H-1	"	15.5'L		
LINDA				
V-2	DISTURBED			
H-6	0+42	16.0'R		
V-3	3+06	20.0'R	520.9	3.3'
V-4	3+11	20.0'R	520.4	3.3'
V-5	3+54	18.8'R	516.0	3.3'
H-7	"	15.8'R		
V-7 43' TO CENTER				
V-7	S.W. SIDE C-D-S		511.2	3.5'
H-5	"		511.2	



AS BUILT
SANITARY, STORM, WATER

ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO VERIFY LOCATION & DEPTH OF UTILITIES.

BRUBACHER EXCAVATING INC. BOMANSVILLE, PA.
MARCH 15, 1991

NO.	REVISION	DATE	BY
4	REVISED ROADWAY BASE & BINDER COURSE	9-8-89	LRA
3	ADD W.V. & F.M.	7-29-89	LRA
2	FINAL AS BUILT	4-26-89	LRA
1	ROADWAY DETAIL	11-4-88	LOA

COUNTRY RIDGE
RIDGE VIEW DRIVE
PLAN and PROFILE

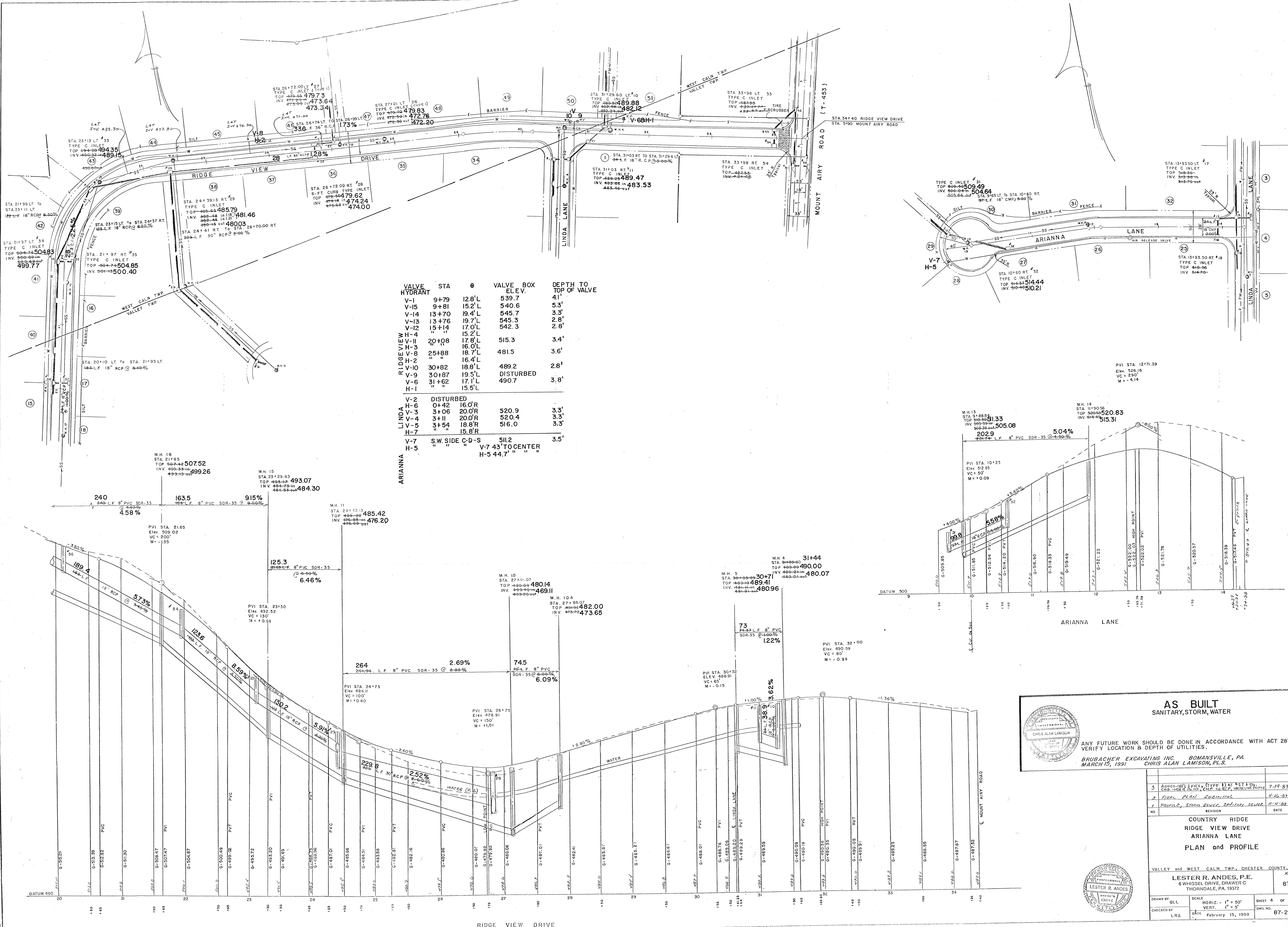
VALLEY and WEST CALN TWP., CHESTER COUNTY, PA.

LESTER R. ANDES, P.E.
6 WHISSEL DRIVE, DRAWER C
THORNDALE, PA. 19372

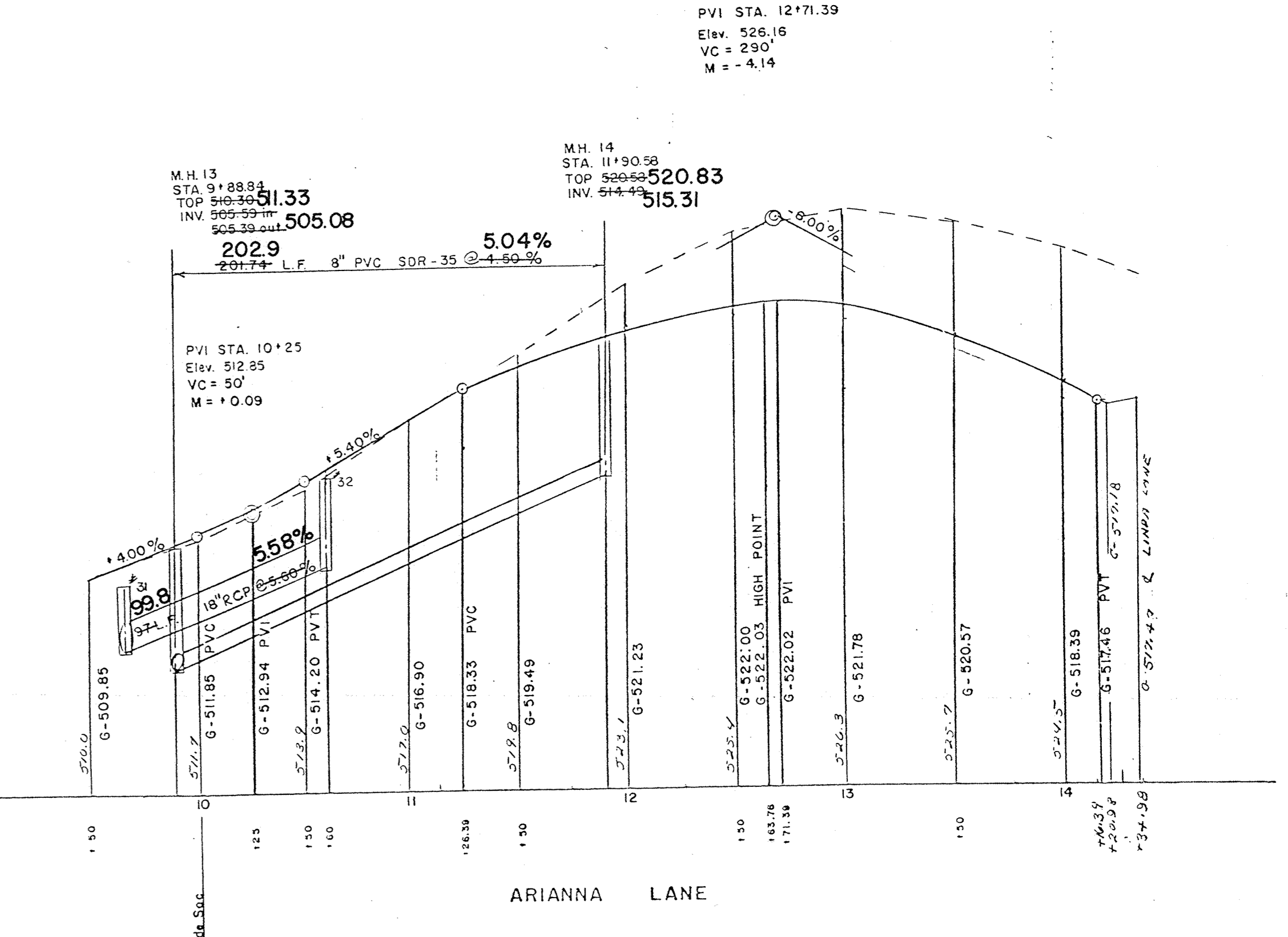
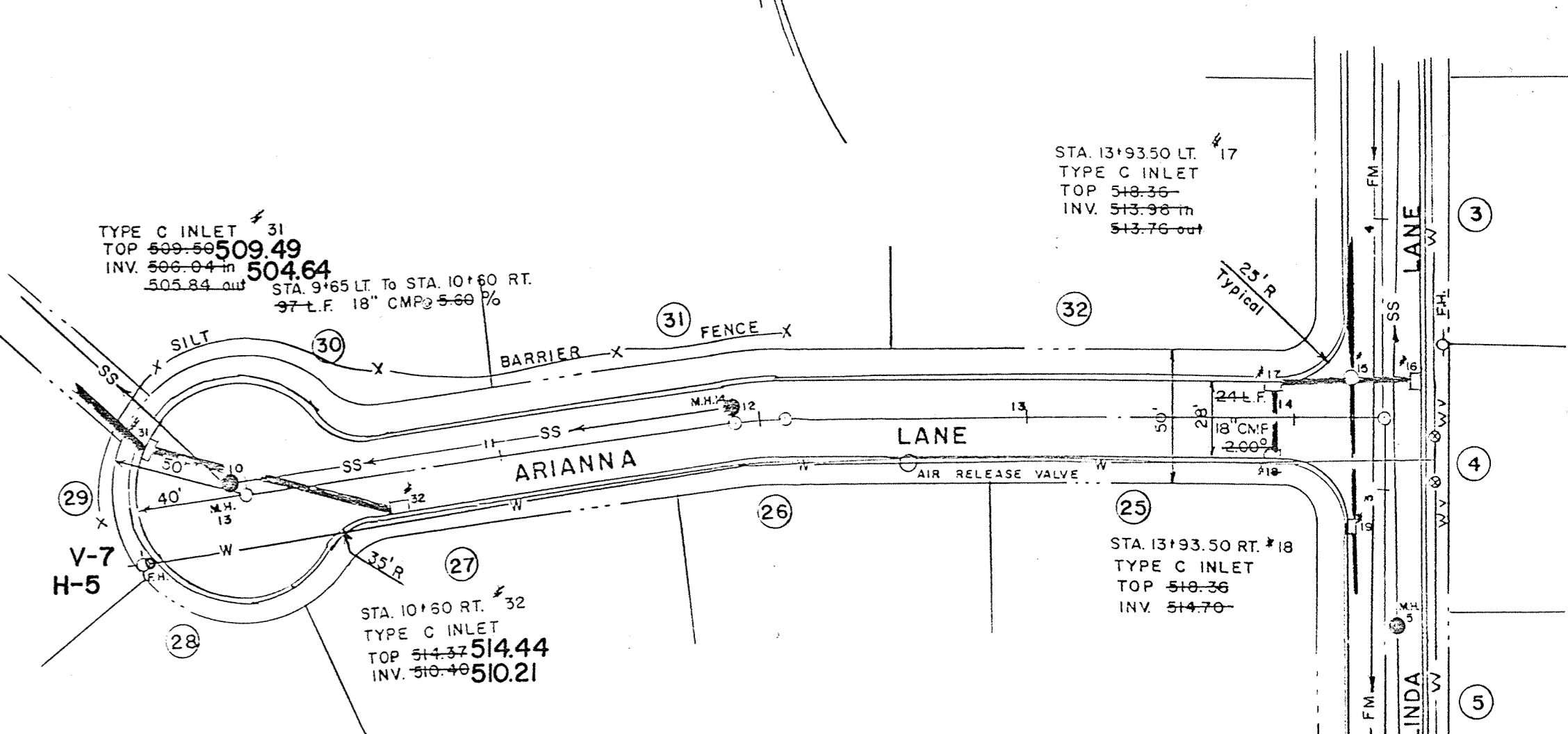
SCALE: HORIZ - 1" = 50'
VERT - 1" = 5'

DRAWN BY: GLL
CHECKED BY: LRA
DATE: February 15, 1988

SHEET 3 OF 17
DWC NO. 87-25



VALVE HYDRANT	STA	Ø	VALVE BOX ELEV.	DEPTH TO TOP OF VALVE
V-1	9+79	12.8'L	539.7	4.1'
V-15	9+81	15.2'L	540.6	5.3'
V-14	13+70	19.4'L	545.7	3.3'
V-13	13+76	19.7'L	545.3	2.8'
V-12	15+14	17.0'L	542.3	2.8'
H-4	20+08	15.2'L	515.3	3.4'
H-3	"	16.0'L	"	"
V-8	25+88	18.7'L	481.5	3.6'
H-2	"	16.4'L	"	"
V-10	30+82	18.8'L	489.2	2.8'
V-9	30+87	19.5'L	DISTURBED	"
V-6	31+62	17.1'L	490.7	3.8'
H-1	"	15.5'L	"	"
V-2	DISTURBED	"	"	"
H-6	0+42	16.0'R	"	"
V-3	3+06	20.0'R	520.9	3.3'
V-4	3+11	20.0'R	520.4	3.3'
V-5	3+54	18.8'R	516.0	3.3'
H-7	"	15.8'R	"	"
V-7	"	"	"	"
H-5	"	"	"	"



AS BUILT
SANITARY, STORM, WATER

ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO VERIFY LOCATION & DEPTH OF UTILITIES.

BRUBACHER EXCAVATING INC. BOMANSVILLE, PA.
MARCH 15, 1991

NO.	REVISION	DATE	BY
3	APPROVED FOR CONSTRUCTION (TYPE I) AT 8:21 & 2:26	7-19-89	L.R.A.
2	FINAL PLAN SUBMITTAL	4-26-89	L.R.A.
1	PROFILE, STORM SEWER, SANITARY SEWER	11-4-88	L.R.A.

COUNTRY RIDGE
RIDGE VIEW DRIVE
ARIANNA LANE
PLAN and PROFILE

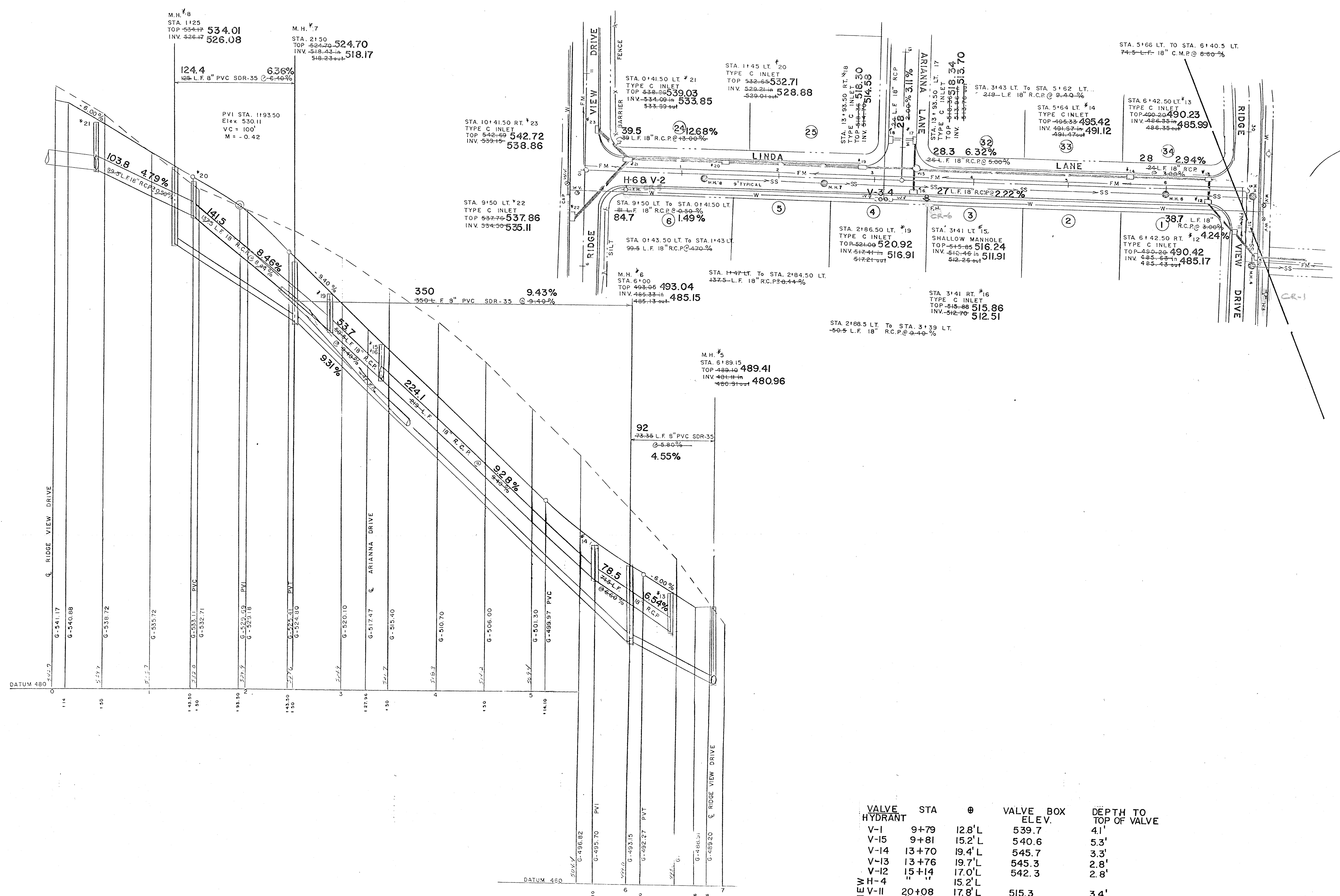
VALLEY and WEST CALN TWP., CHESTER COUNTY, PA.

LESTER R. ANDES, P.E.
6 WHISSEL DRIVE, DRAWER C
THORNDALE, PA. 19372

SCALE: HORIZ. - 1" = 50'
VERT. - 1" = 5'

DRAWN BY: GLL
CHECKED BY: L.R.A.
DATE: February 15, 1988

SHEET 4 OF 17
JOB NO. 87-25
TOWNSHIP NO. 87-25

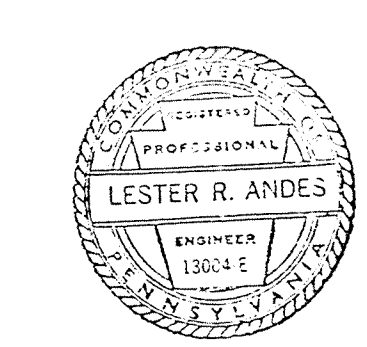


VALVE HYDRANT	STA	Ø	VALVE BOX ELEV.	DEPTH TO TOP OF VALVE
V-1	9+79	12.8" L	539.7	4.1'
V-15	9+81	15.2" L	540.6	5.3'
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V-12	15+14	17.0" L	542.3	2.8'
H-4	"	15.2" L	"	"
V-II	20+08	17.8" L	515.3	3.4'
H-3	"	16.0" L	"	"
V-8	25+88	18.7" L	481.5	3.6'
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V-9	30+87	19.5" L	DISTURBED	"
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H-1	"	15.5" L	"	"
V-2	DISTURBED	"	"	"
H-6	0+42	16.0" R	"	"
V-3	3+06	20.0" R	520.9	3.3'
V-4	3+11	20.0" R	520.4	3.3'
V-5	3+54	18.8" R	516.0	3.3'
H-7	"	15.8" R	"	"
V-7	S.W. SIDE C-D-S	511.2	"	3.5'
H-5	" " " " V-7 43' TO CENTER	"	"	"

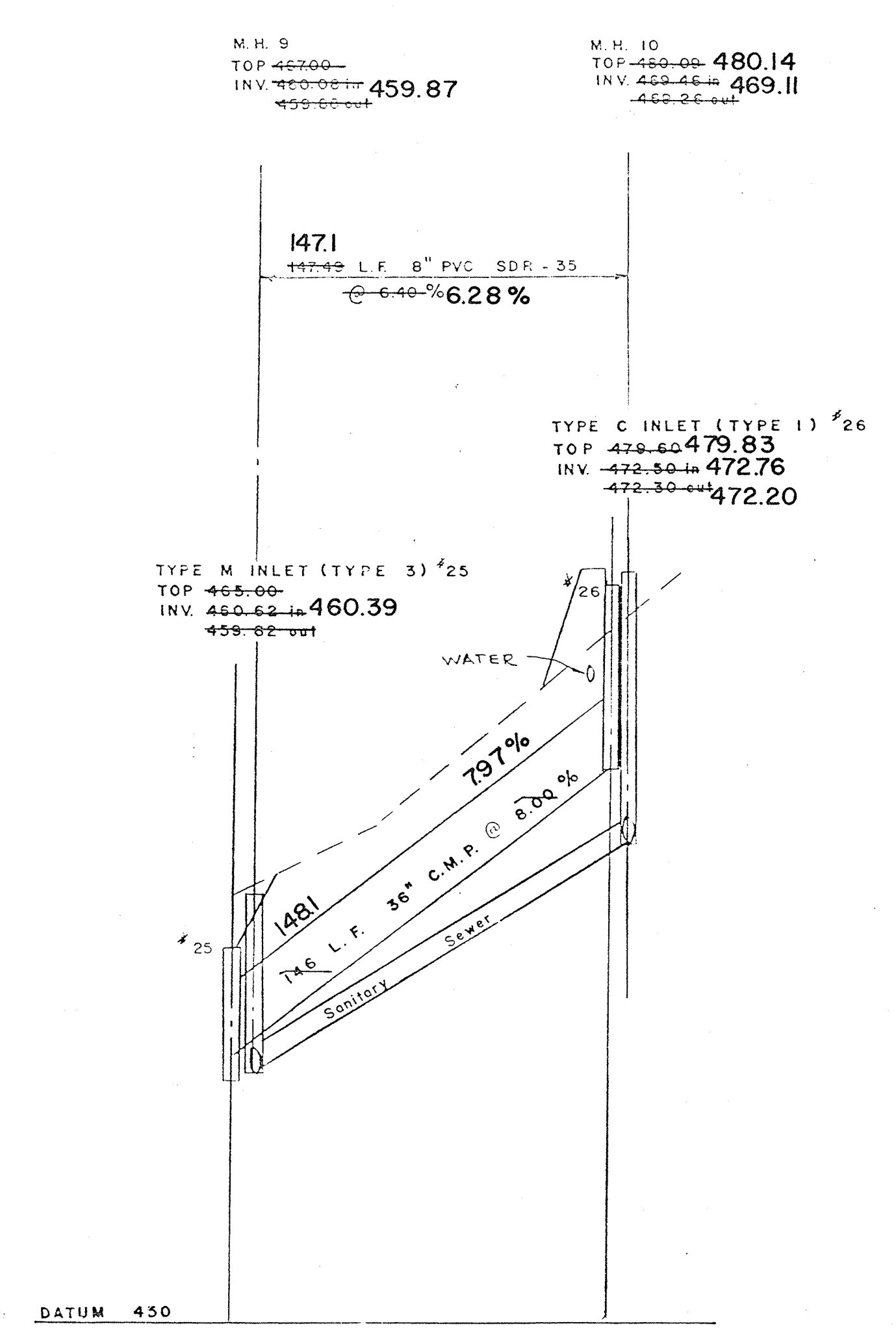
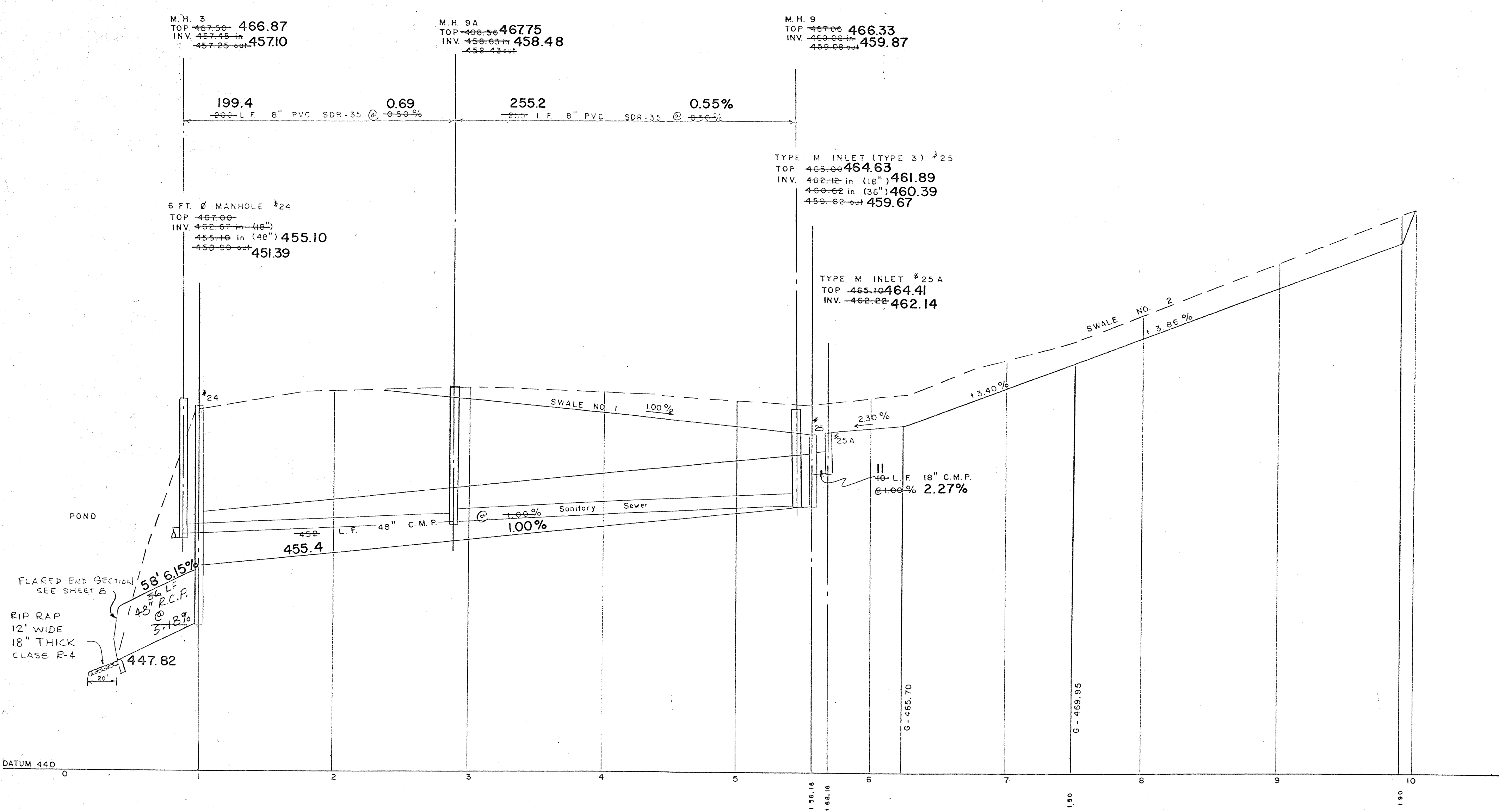
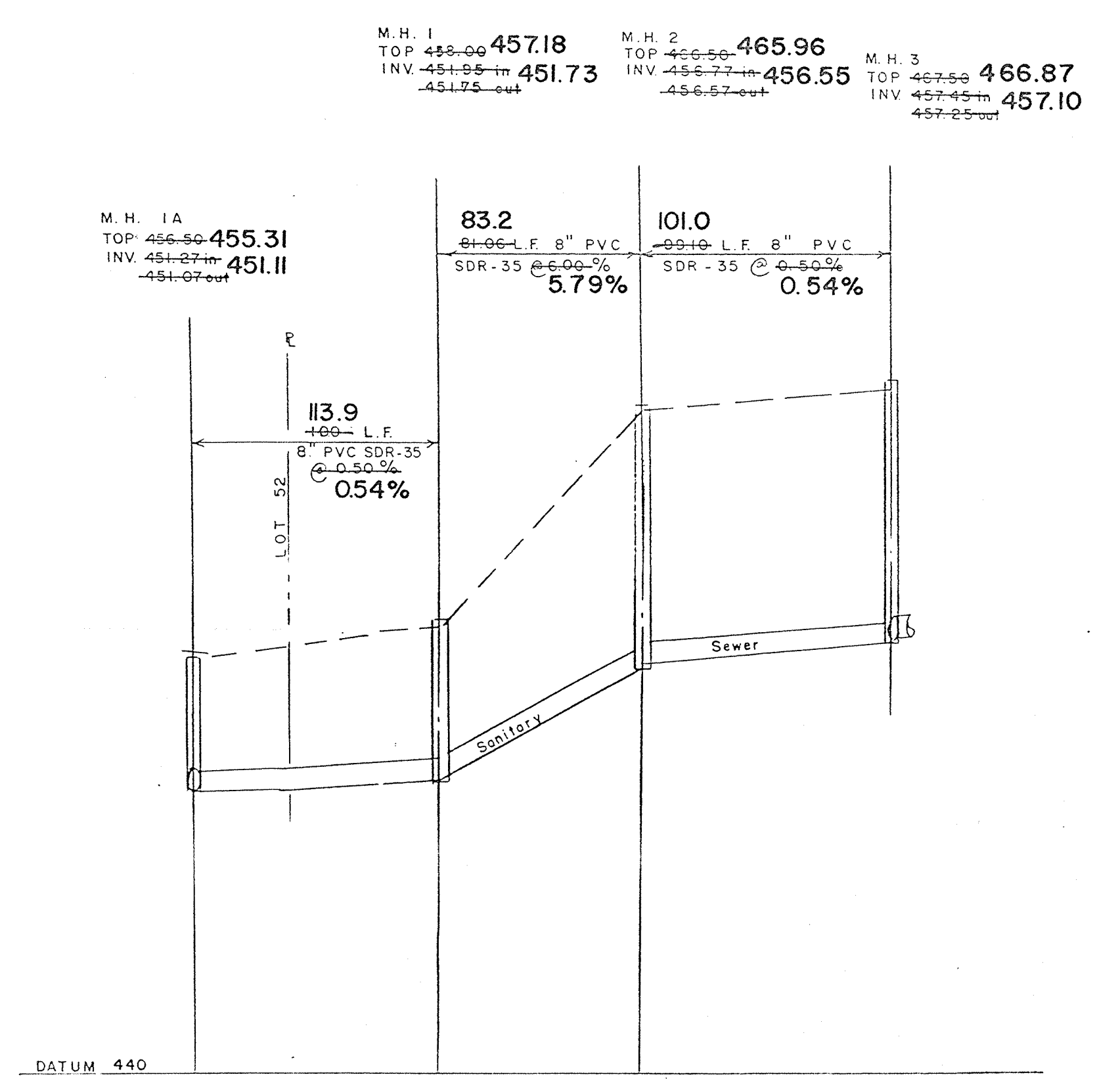
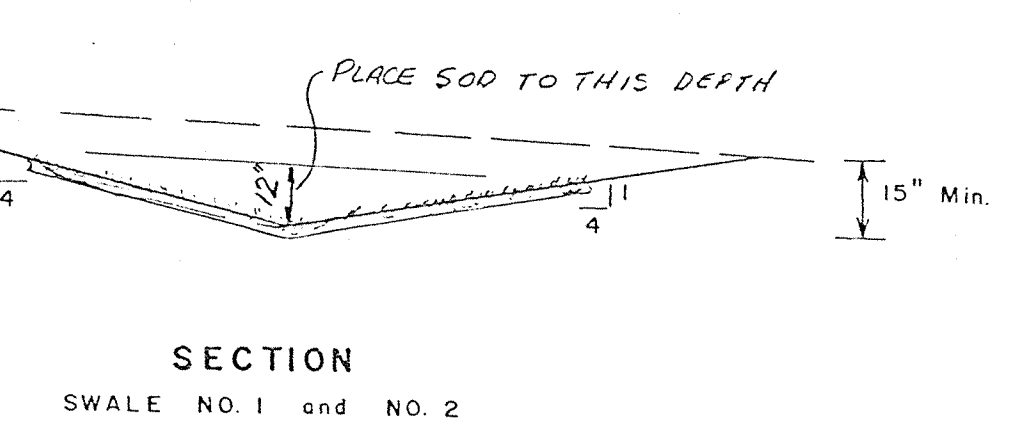
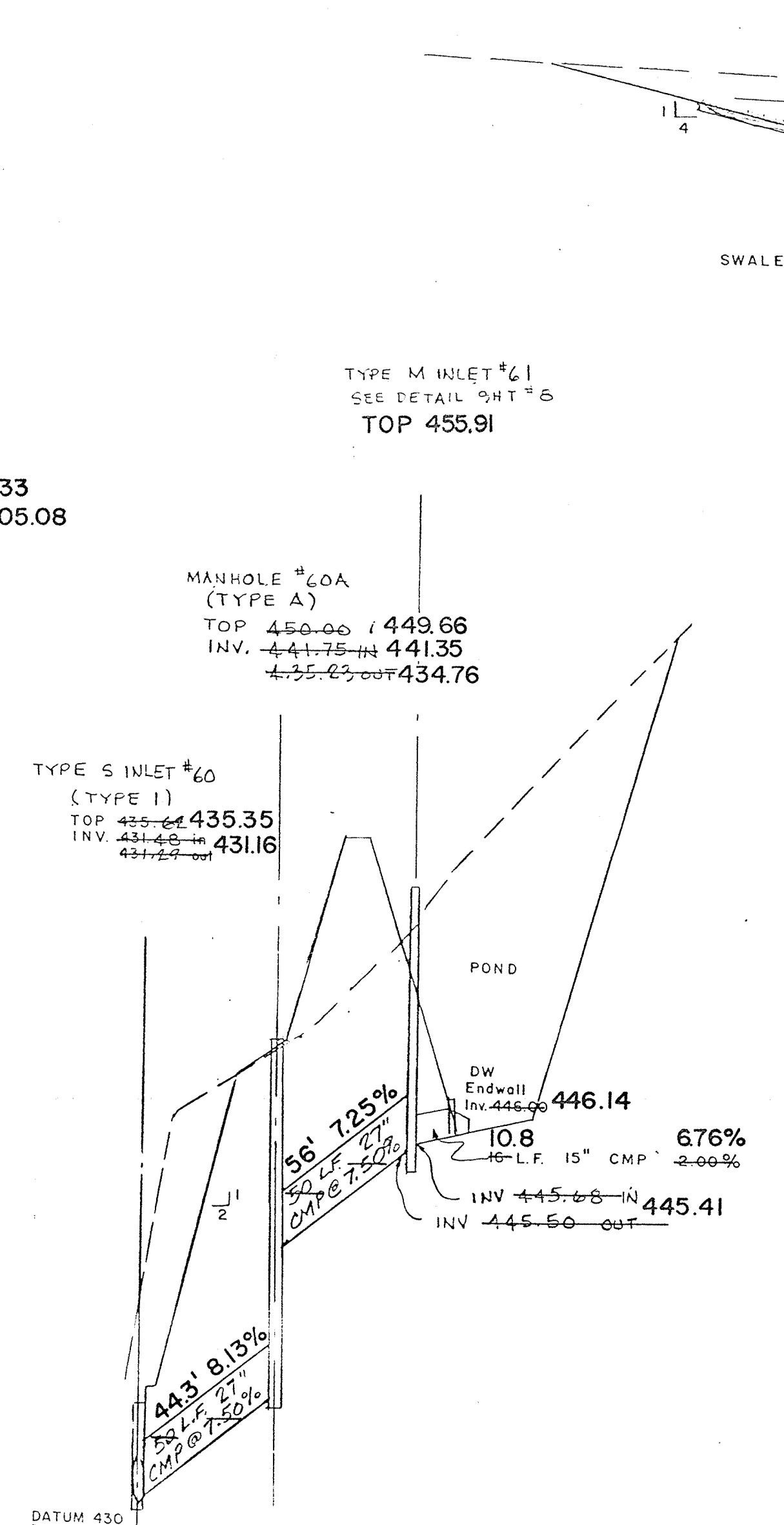
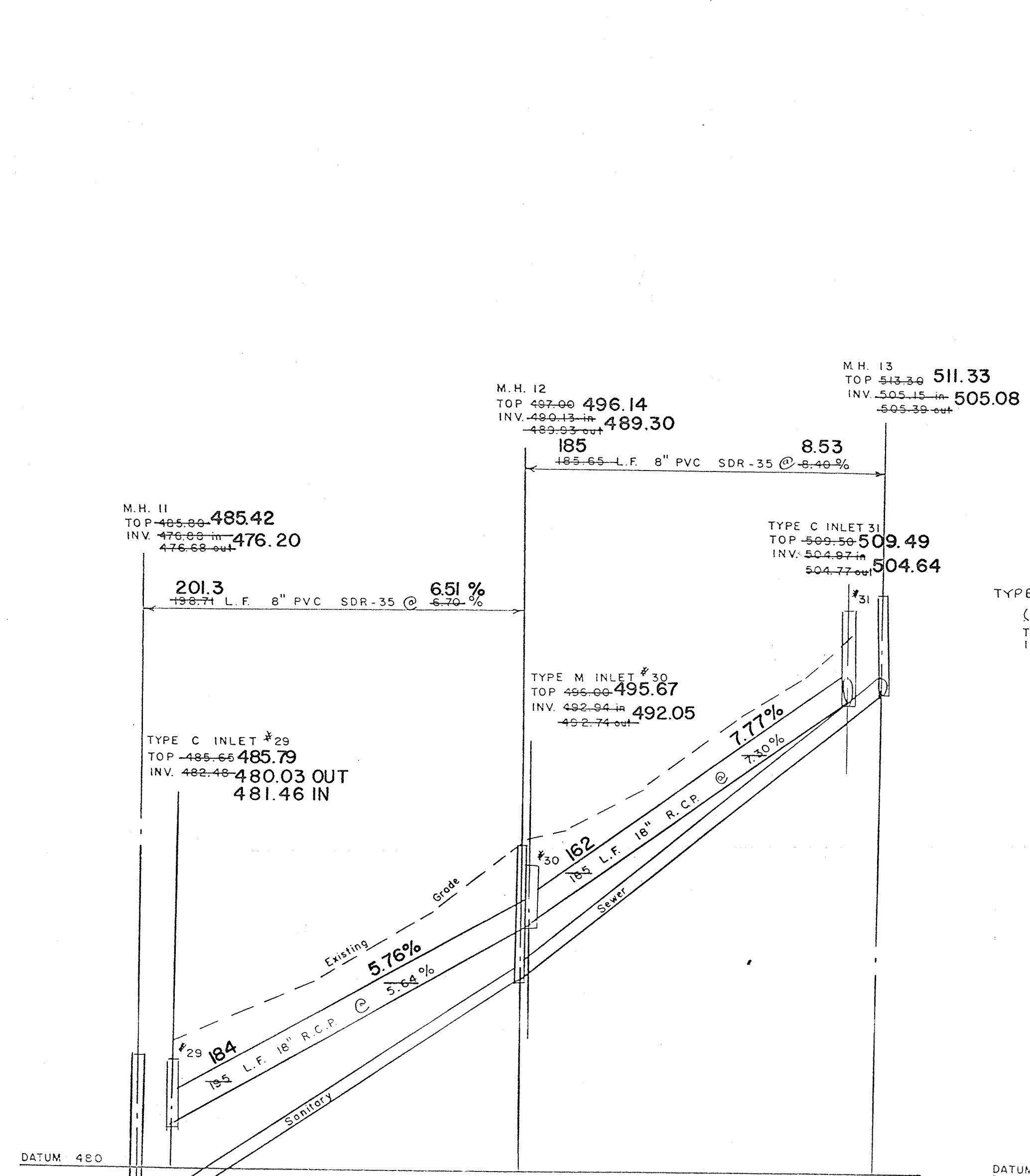
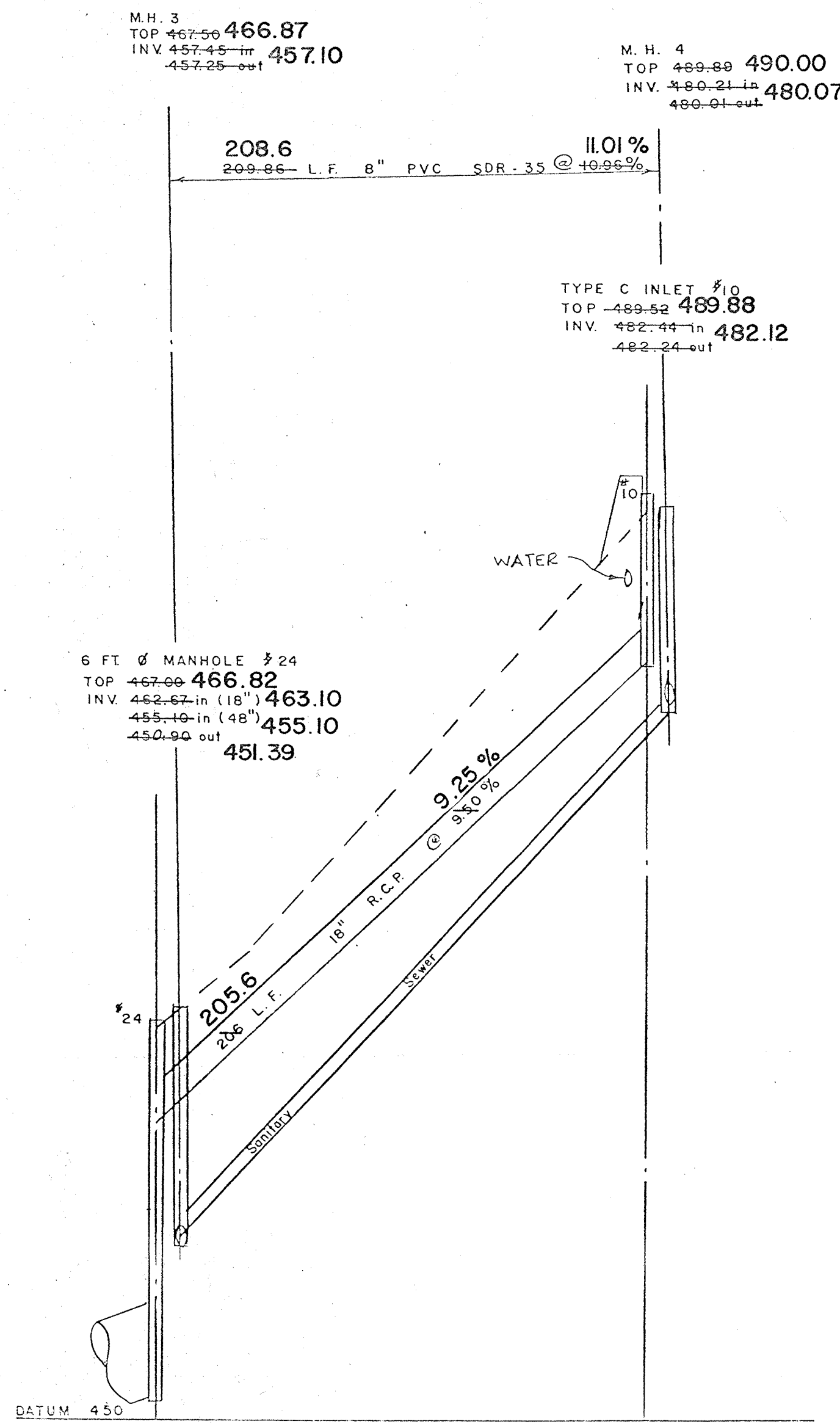
AS BUILT
SANITARY, STORM, WATER

ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO VERIFY LOCATION & DEPTH OF UTILITIES.

BRUBACHER EXCAVATING INC. BOMANSVILLE, PA.
MARCH 15, 1991



COUNTRY RIDGE			
PLAN and PROFILE LINDA LANE			
VALLEY and WEST CALN TWP., CHESTER COUNTY, PA			
LESTER R. ANDES, P.E. 6 WHISSEL DRIVE, DRAWER C THORNDALE, PA. 19372		JOB NO. 87-25	
DRAWN BY GLL	SCALE HORIZ. 1" = 50' VERT. 1" = 5'	SHEET 5 OF 17	DWG. NO. 87-25
CHECKED BY LRA	DATE November 4, 1988		



AS BUILT
SANITARY, STORM, WATER

ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO VERIFY LOCATION & DEPTH OF UTILITIES.

BRUBACHER EXCAVATING INC. BOMANSVILLE, PA.
MARCH 15, 1991 CHRIS ALAN LAMISON, P.L.S.

NO.	REVISION	DATE	BY
1	FINAL PLAN SUBMITTED	8-20-89	LCA
2	FIELD M.H. #204. SKIPPED DUE TO LACK OF SPACE OF STORM SEWER BETWEEN LOTS 4 & 5.	8-21-89	LCA
3	FIELD M.H. #204. SKIPPED DUE TO LACK OF SPACE OF STORM SEWER BETWEEN LOTS 4 & 5.	7-19-89	LCA
4	FIELD M.H. #204. SKIPPED DUE TO LACK OF SPACE OF STORM SEWER BETWEEN LOTS 4 & 5.	7-19-89	LCA
5	FIELD M.H. #204. SKIPPED DUE TO LACK OF SPACE OF STORM SEWER BETWEEN LOTS 4 & 5.	7-19-89	LCA

COUNTRY RIDGE
SANITARY SEWER
STORM SEWER
PROFILES & DETAILS

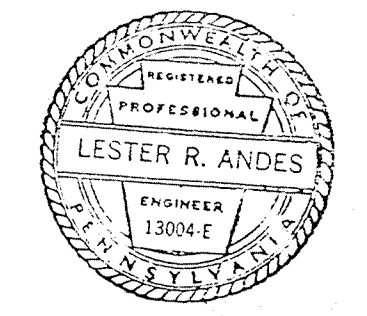
VALLEY and WEST CALN TWP., CHESTER COUNTY, PA.

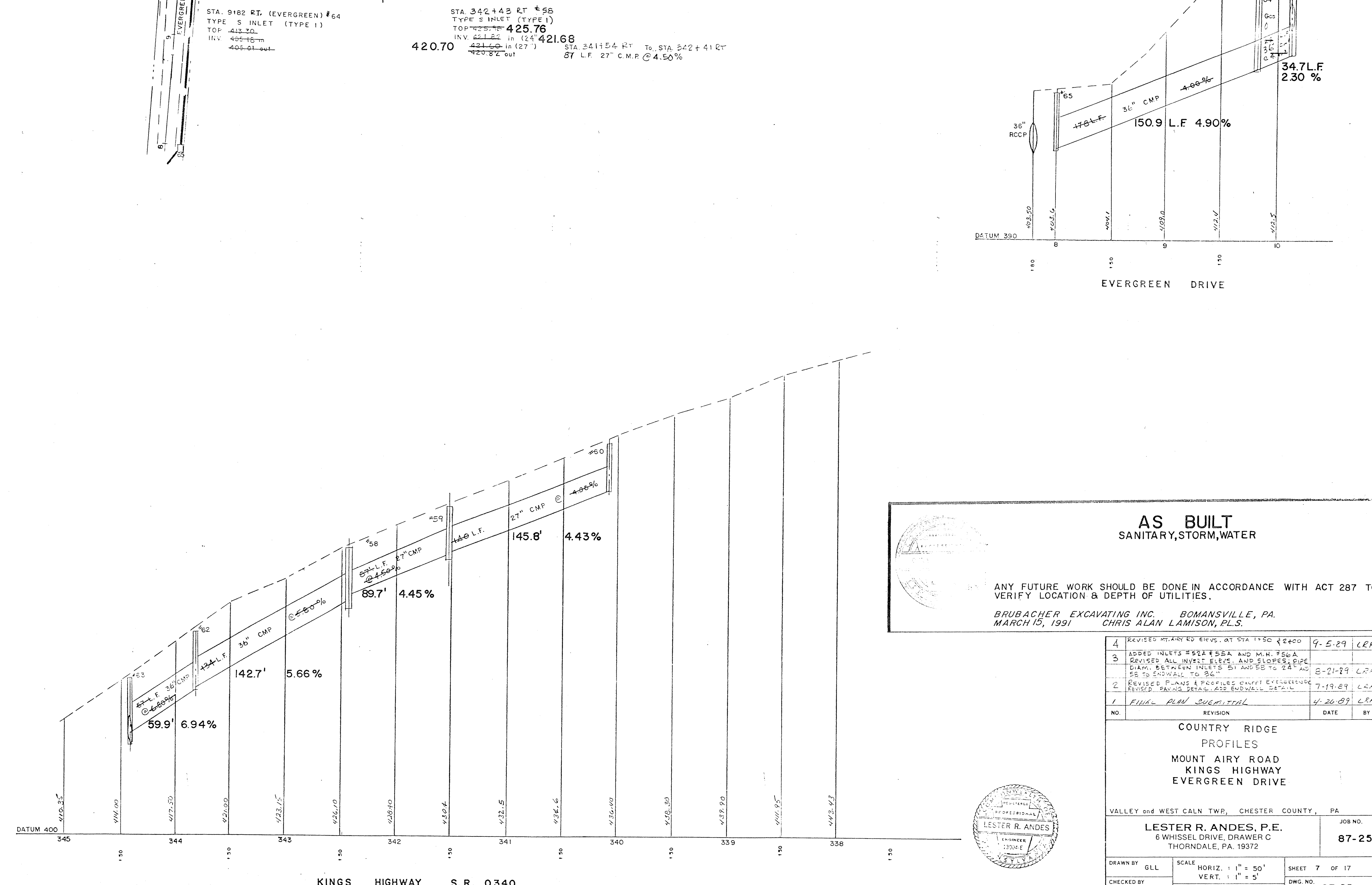
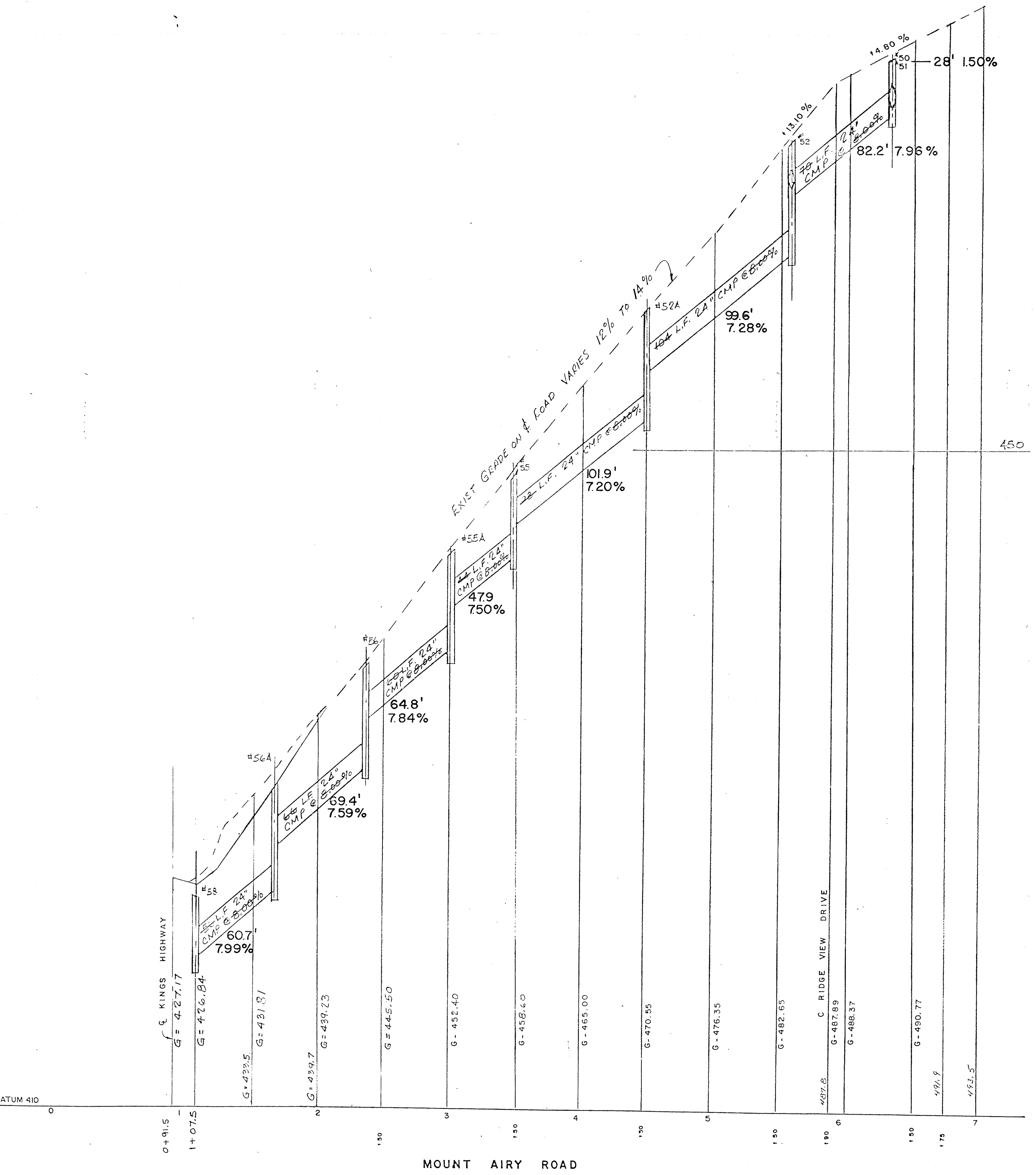
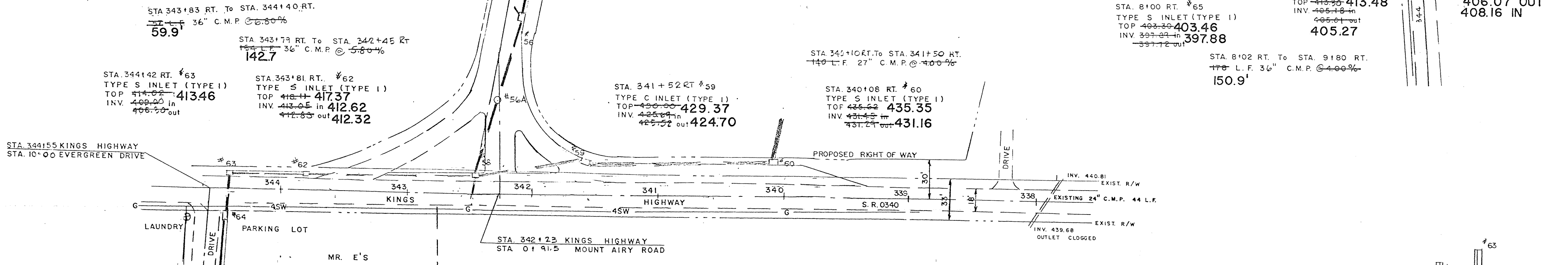
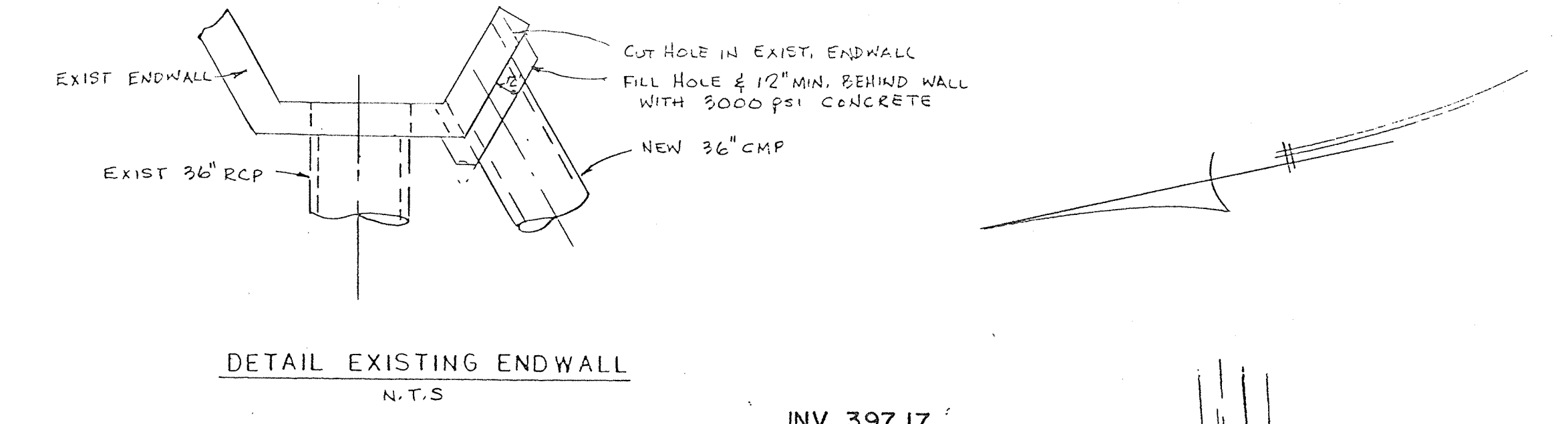
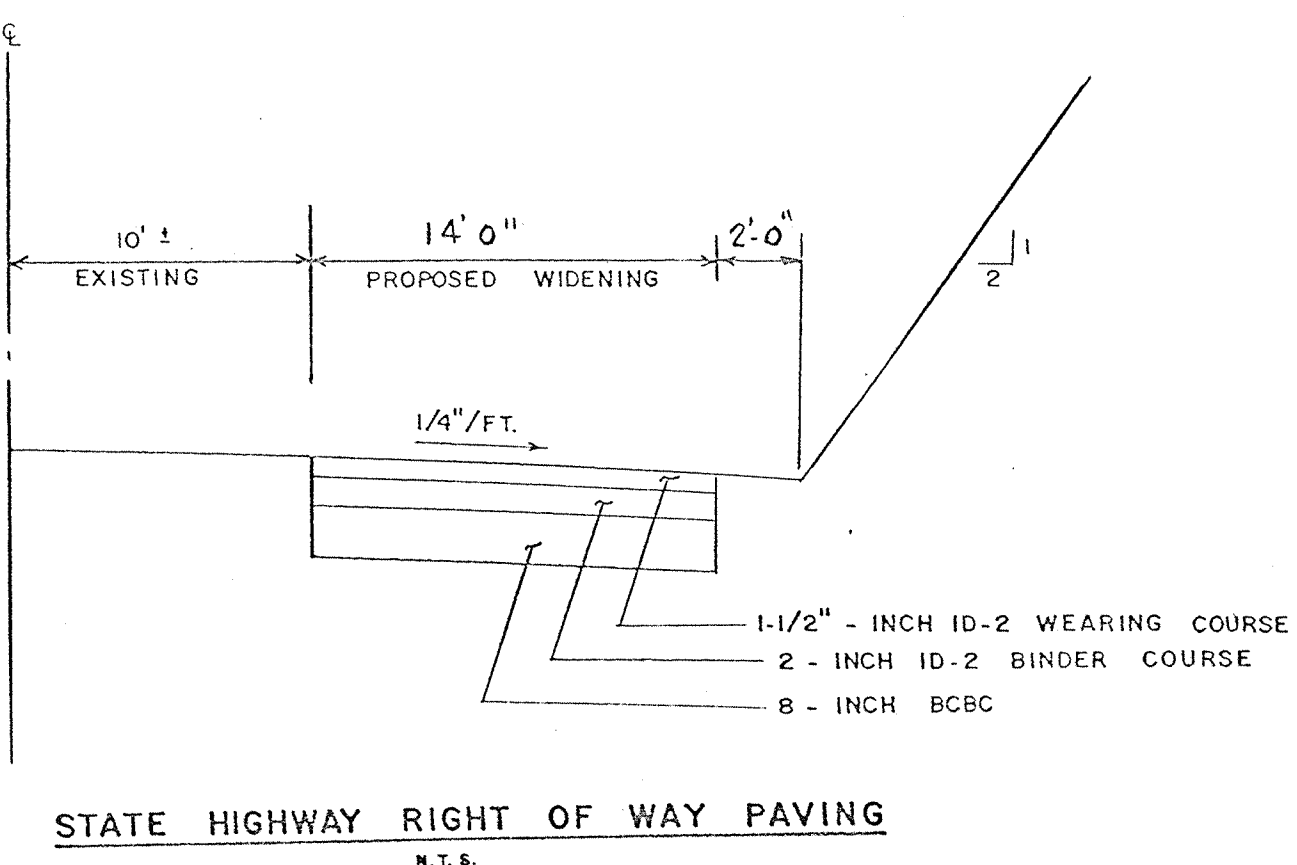
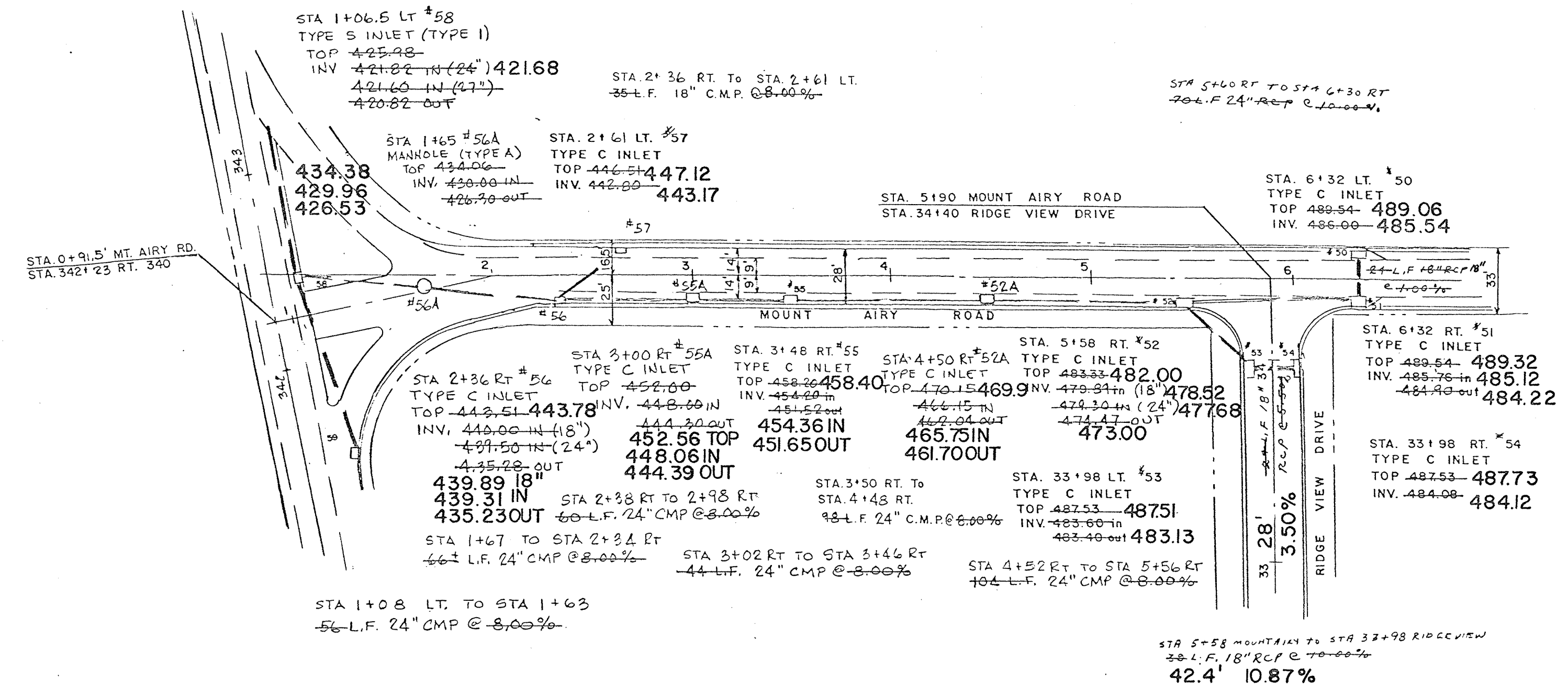
LESTER R. ANDES, P.E.
6 WHISSEL DRIVE, DRAWER C
THORNDALE, PA. 19372

SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

DRAWN BY: GLL
CHECKED BY: LRA
DATE: November 4, 1988

SHEET 6 OF 17
DWG. NO. 87-25





AS BUILT
 SANITARY, STORM, WATER

ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO VERIFY LOCATION & DEPTH OF UTILITIES.

BRUBACHER EXCAVATING INC. DOMANSVILLE, PA.
 MARCH 15, 1991
 CHRIS ALAN LAMSON, P.L.S.

NO.	REVISION	DATE	BY
1	FINAL PLAN SUBMITTED	4-26-89	CRA
2	REVISED PLANS & PROFILES SHOWN EXISTING UTILITIES	7-19-89	CRA
3	ADDED INLETS #52A & #52B AND MIN. F.S.W.A. DIMS. BETWEEN INLETS #51 AND #52 TO 24" AND #52 TO INLET #53 TO 36"	8-21-89	CRA
4	REVISED PLANS & PROFILES SHOWN EXISTING UTILITIES	9-5-89	CRA

COUNTRY RIDGE
 PROFILES
 MOUNT AIRY ROAD
 KINGS HIGHWAY
 EVERGREEN DRIVE

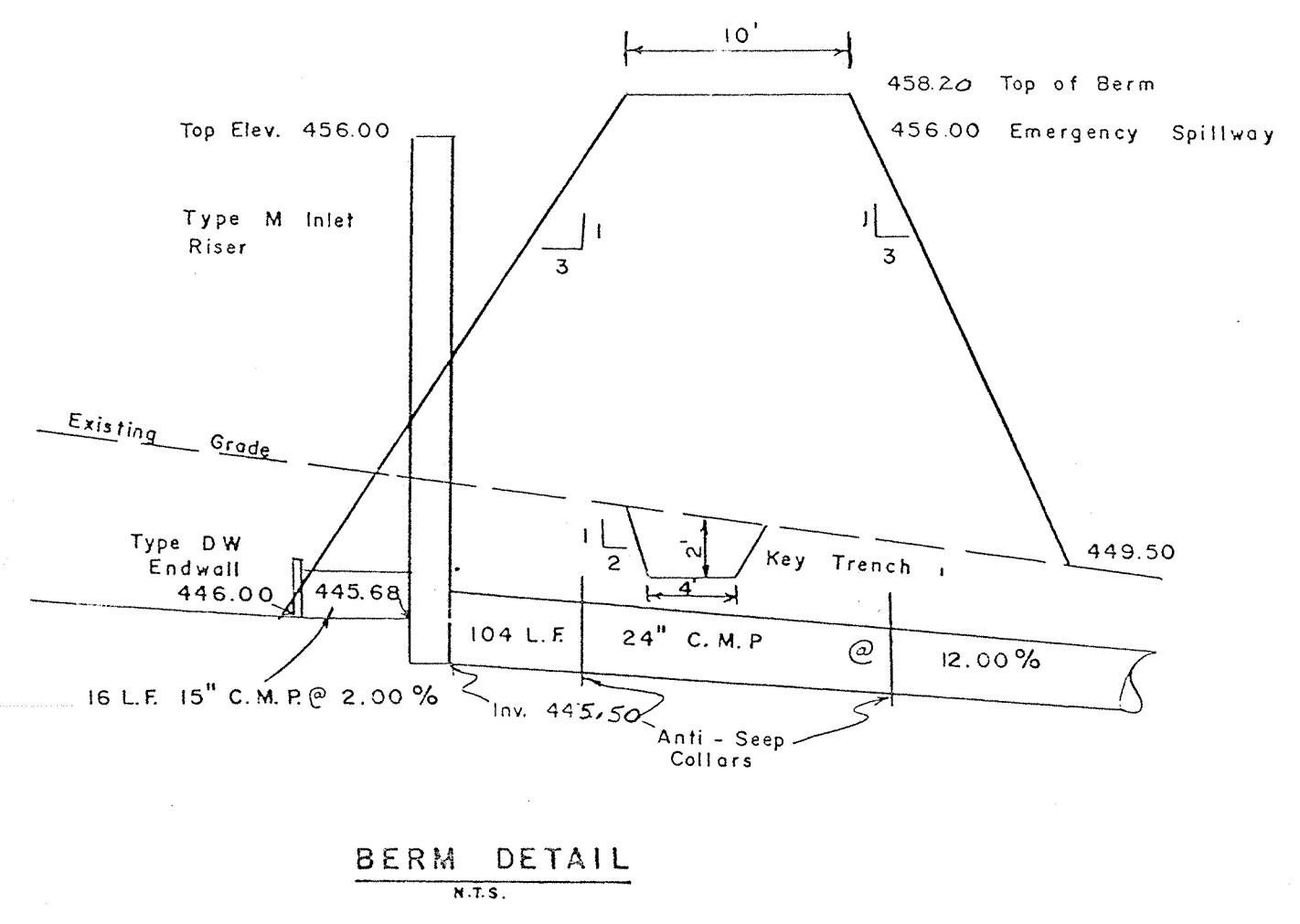
VALLEY and WEST CALN TWP., CHESTER COUNTY, PA.

LESTER R. ANDES, P.E.
 6 WHISSEL DRIVE, DRAWER C
 THORNDALE, PA. 19372

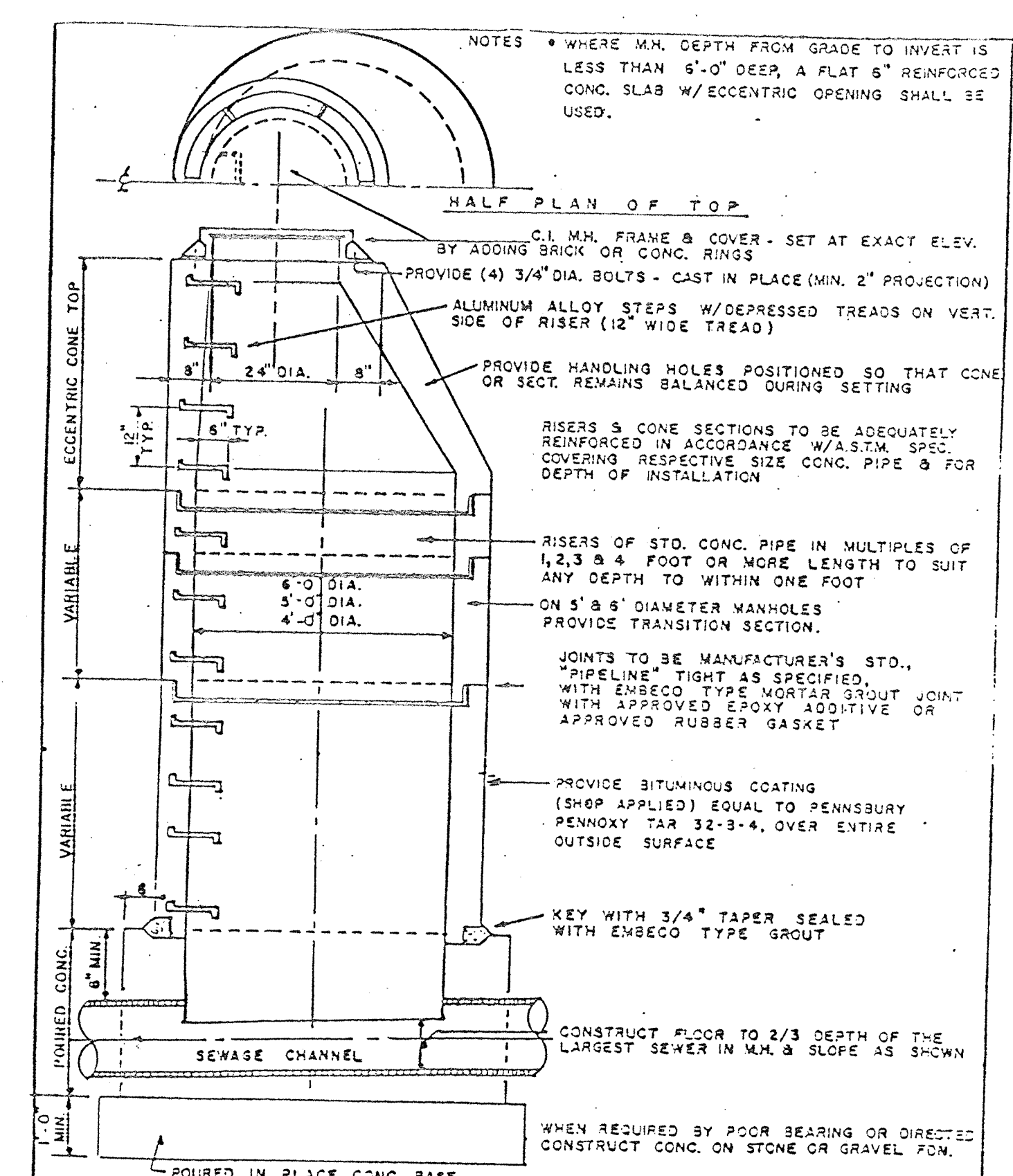
SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

DRAWN BY GLL
 CHECKED BY LRA
 DATE November 4, 1988

SHEET 7 OF 17
 DWG. NO. 87-25

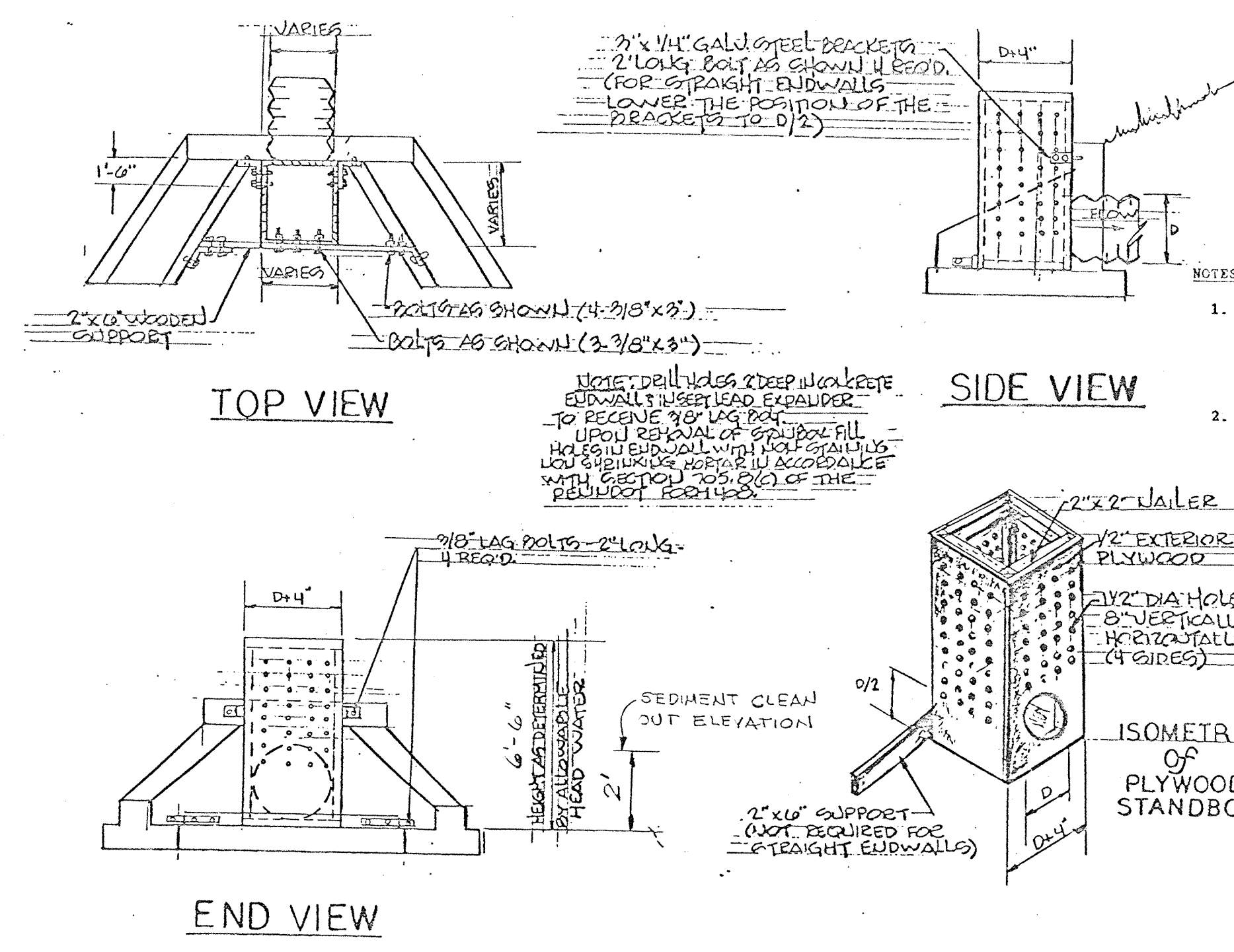


- NOTES:**
- Berm area shall be stripped of all topsoil and vegetation.
 - A key trench with a minimum depth of two (2) feet shall be excavated the length of the berm and backfilled with embankment material.
 - Berm embankment material shall be placed in 8-inch layers and compacted to not less than 95% of the determined dry weight density.
 - Install plywood standbox on DV endwall.
 - Standbox shall have a 18520 # 3 stone filter placed at 2:1 or flatter to the clean out elevations.
 - If proposed seeding and mulching does not achieve stabilization at steep slopes, upgraded measures shall be taken immediately, (i.e. hydroseeding, erosion control blankets).

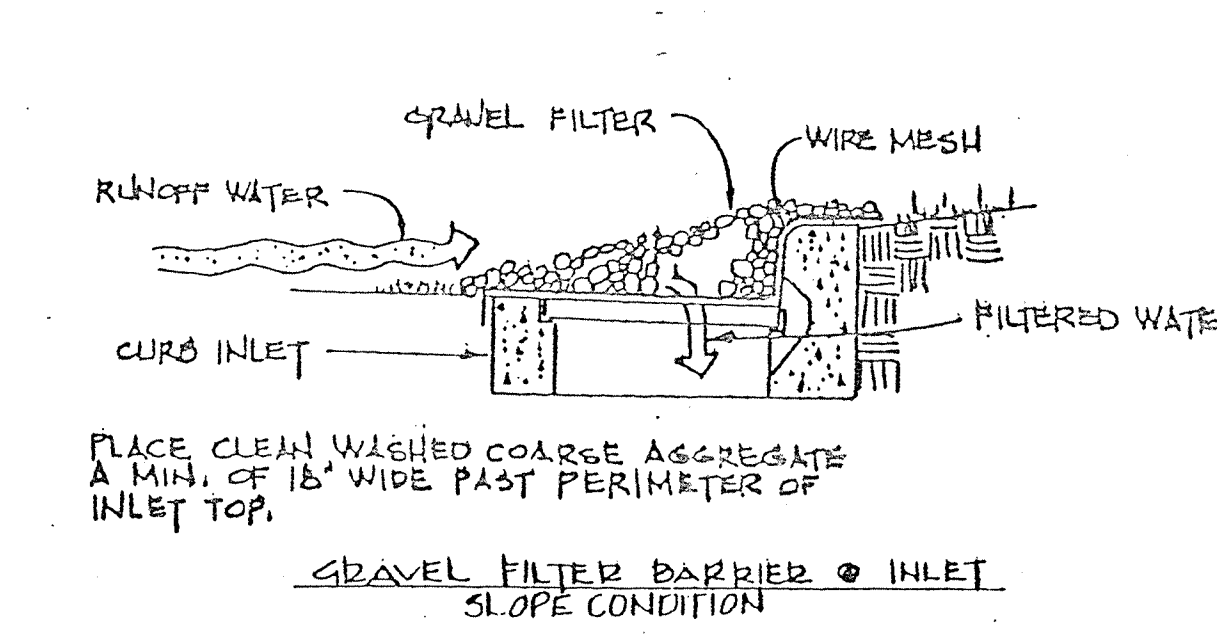


REVISIONS:	DATE:	BY:	DESCRIPTION:
1/22/13	JUNE 11		PRECAST CONCRETE
04/23/13			SCALE: NONE
02/27/13			STANDARD DETAIL S-2

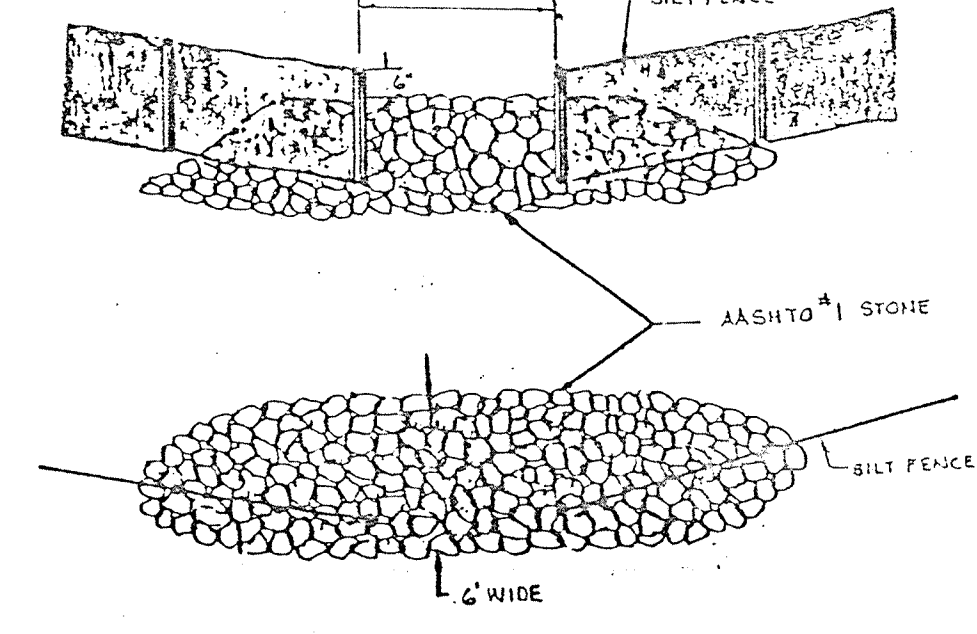
PENNONI ASSOCIATES INC. CONSULTING ENGINEERS
1911 ARCH STREET PHILADELPHIA, PA. 19103



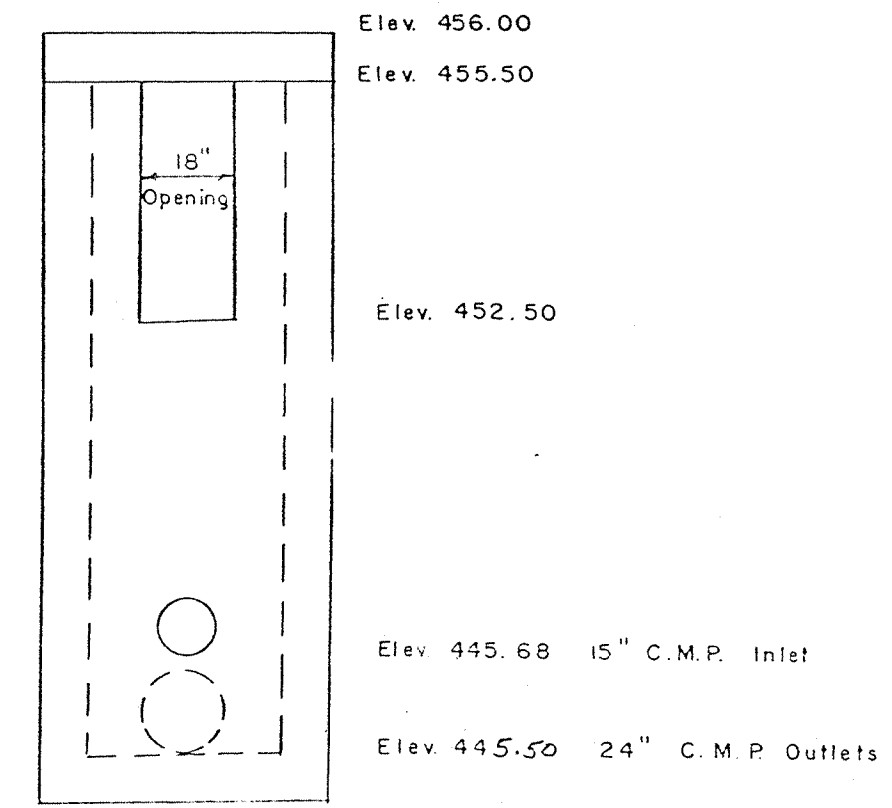
EROSION & SEDIMENT CONTROL



- NOTES:**
- Stormwater inlets must be protected until the tributary areas are stabilized.
 - Sediment must be removed from inlet protection after each storm event.

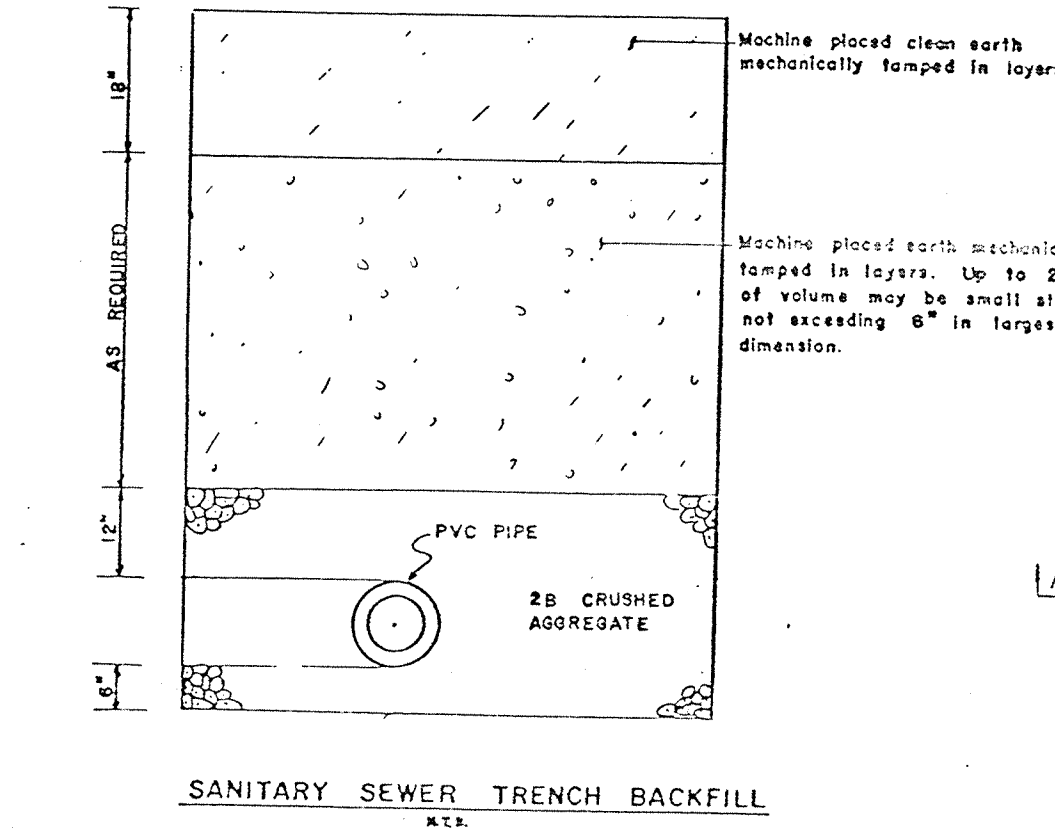
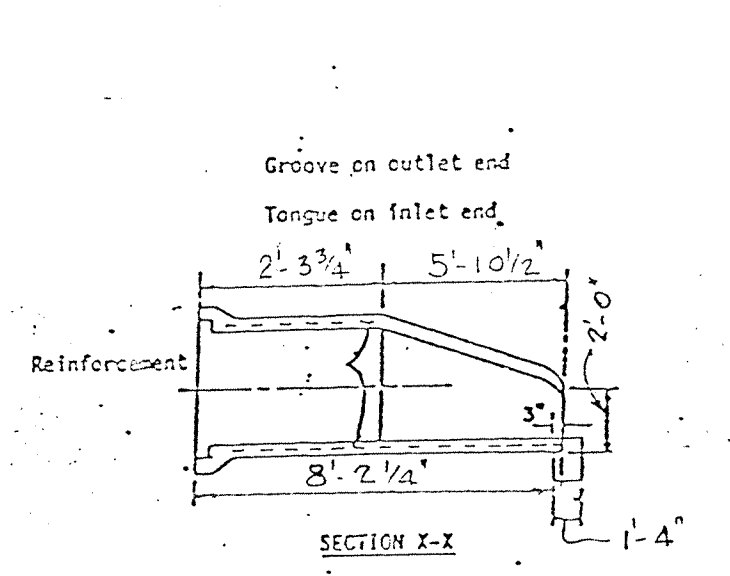


ROCK FILTER OUTLET

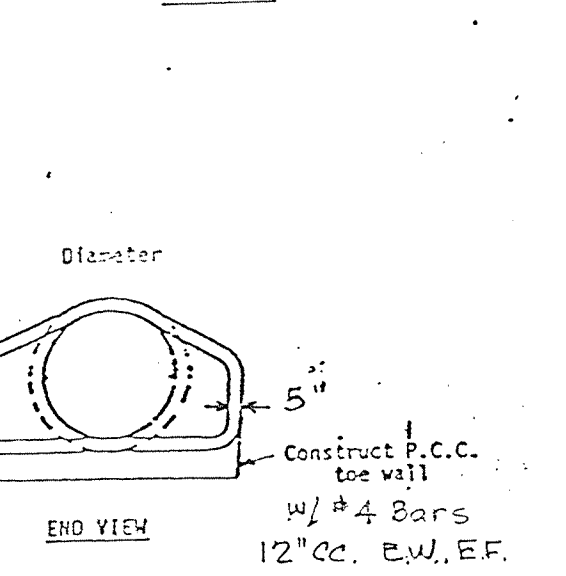
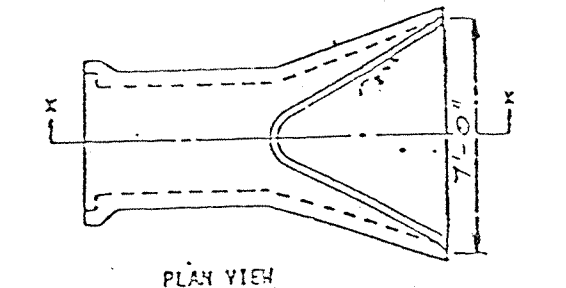


DETAIL TYPE M INLET

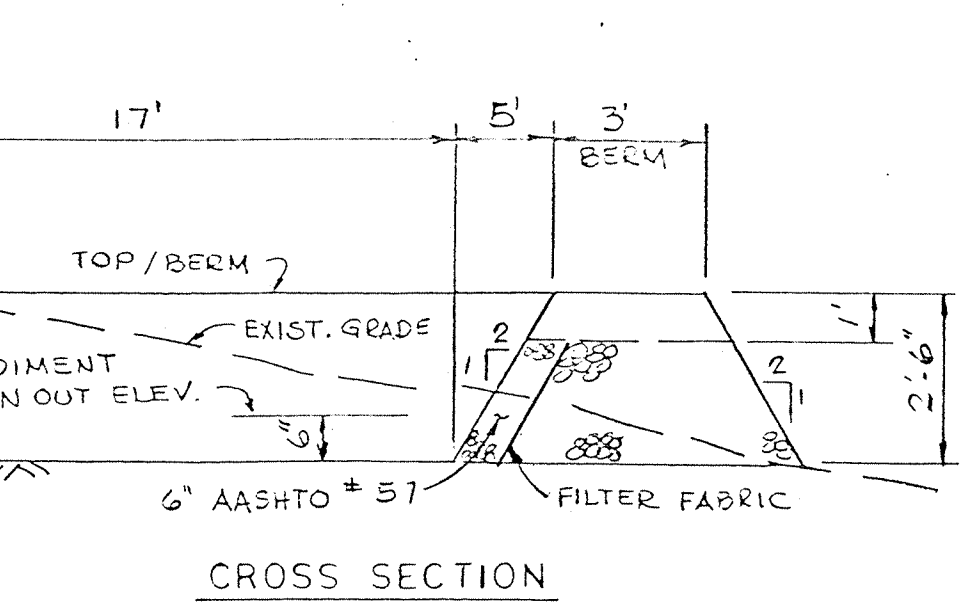
FLARED END SECTION SPECIFICATIONS 48\"/>



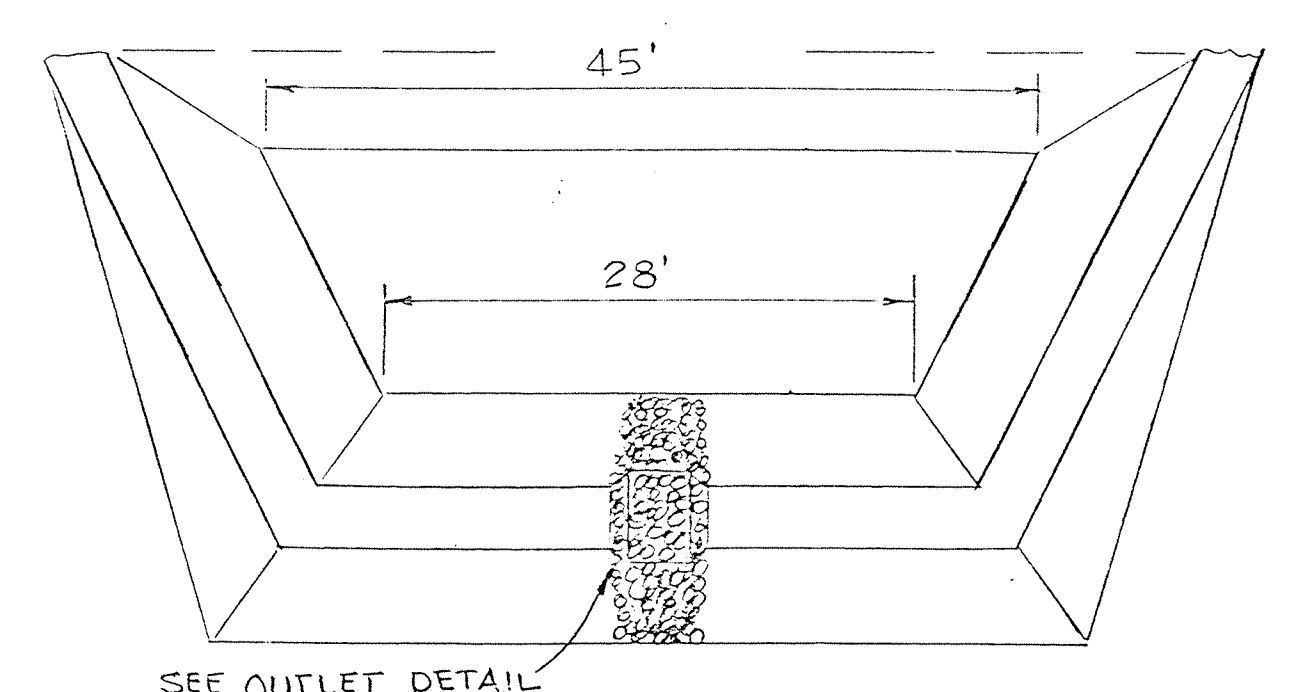
SANITARY SEWER TRENCH BACKFILL



72\"/>



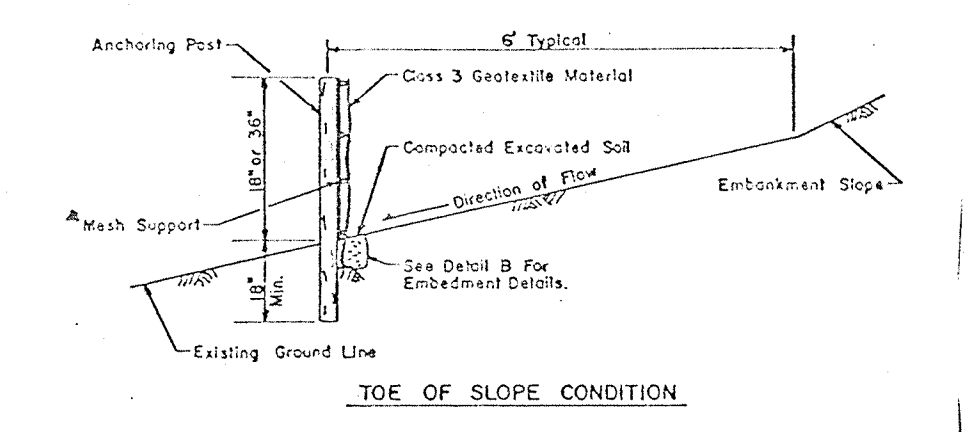
CROSS SECTION



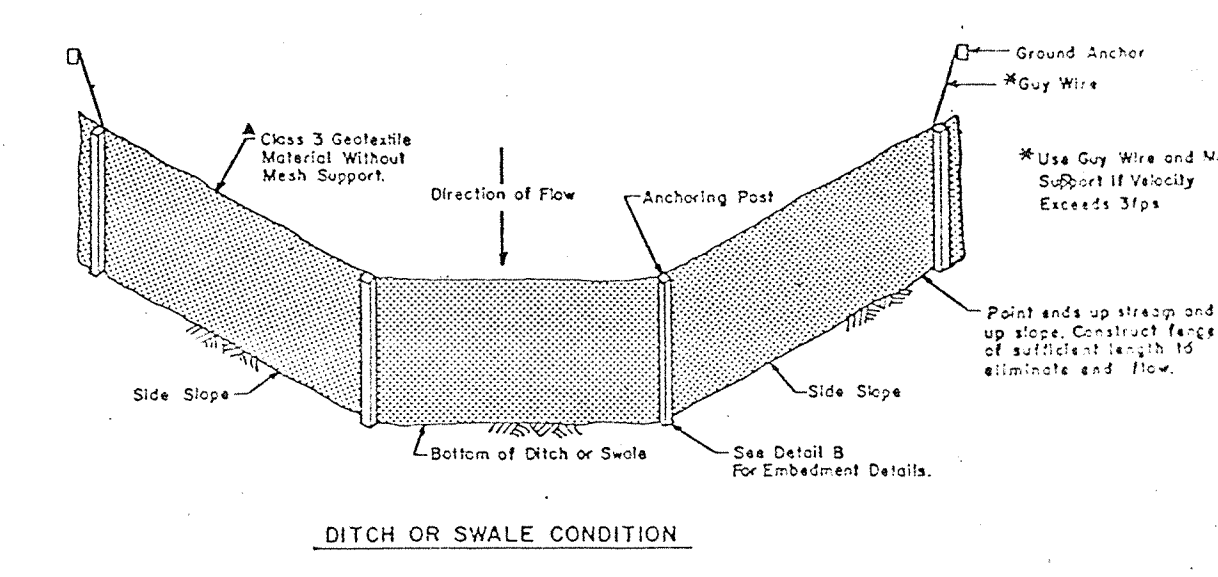
TEMPORARY SEDIMENT TRAP

- PERMANENT CONTROL MEASURES:**
- Construct permanent water management retention basins.
 - Grade all cut and fill areas to 2% or flatter. Retention basin embankments or berms slopes must be 3:1 sand and mulch.
 - Drives and roads to be paved.
 - Permanent grass, and or ground cover shall be established following final grading operations. Seeded and sodded areas shall be fertilized using a 10-6-4 fertilizer at a rate of 25 lbs./1000 S.F.

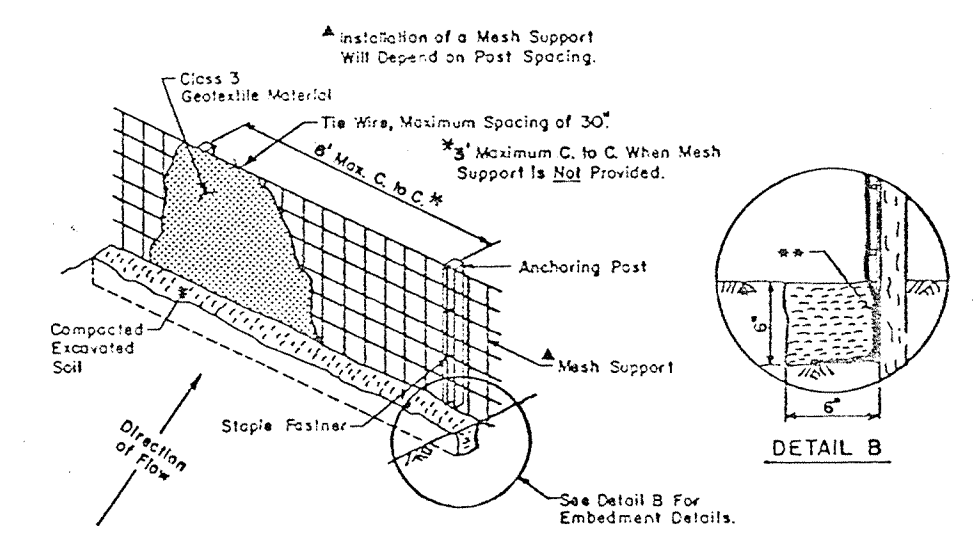
- SEEDING AND MULCHING NOTES:**
- Any disturbed area on which activity has ceased and which will remain exposed for more than 30 days must be seeded and mulched immediately. During non-planting periods, mulch must be applied at the recommended rates. Disturbed areas which are not at finished grade and which will be re-disturbed within 1 year may be seeded and mulched with quick growing temporary seeding mixture and mulch. Disturbed areas which are either at finished grade or will not be re-disturbed with 1 year must be seeded and mulched with a permanent seed mixture and mulch.
 - Diversion, channels, sedimentation basins, sediment traps, and stockpiles must be seeded and mulched immediately.
 - Seeding, mulching and fertilizing shall be applied in accordance with the Penn State Agronomy Guide Section IX.
 - Hay or straw mulch shall be applied at rates of at least 3.0 tons per acre.
 - Temporary seeding for stockpiles and disturbed areas shall consist of annual eye grass applied at 40 lbs./acre.
 - Seeding for temporary and permanent erosion controls and storm water management facilities (basins, swales, traps, etc.) shall consist of a mixture of winter eye (66 lbs./acre), tall fescue (60 lbs./acre), and perennial ryegrass (15 lbs./acre).
 - Permanent seeding shall be applied immediately after final grading in all areas. Permanent seeding for lawn areas shall consist of a mixture of 10% annual ryegrass, 30% perennial ryegrass, and 60% Fine Fescue. Seed and fertilizer rates and requirements shall be based on soil tests.



TOE OF SLOPE CONDITION

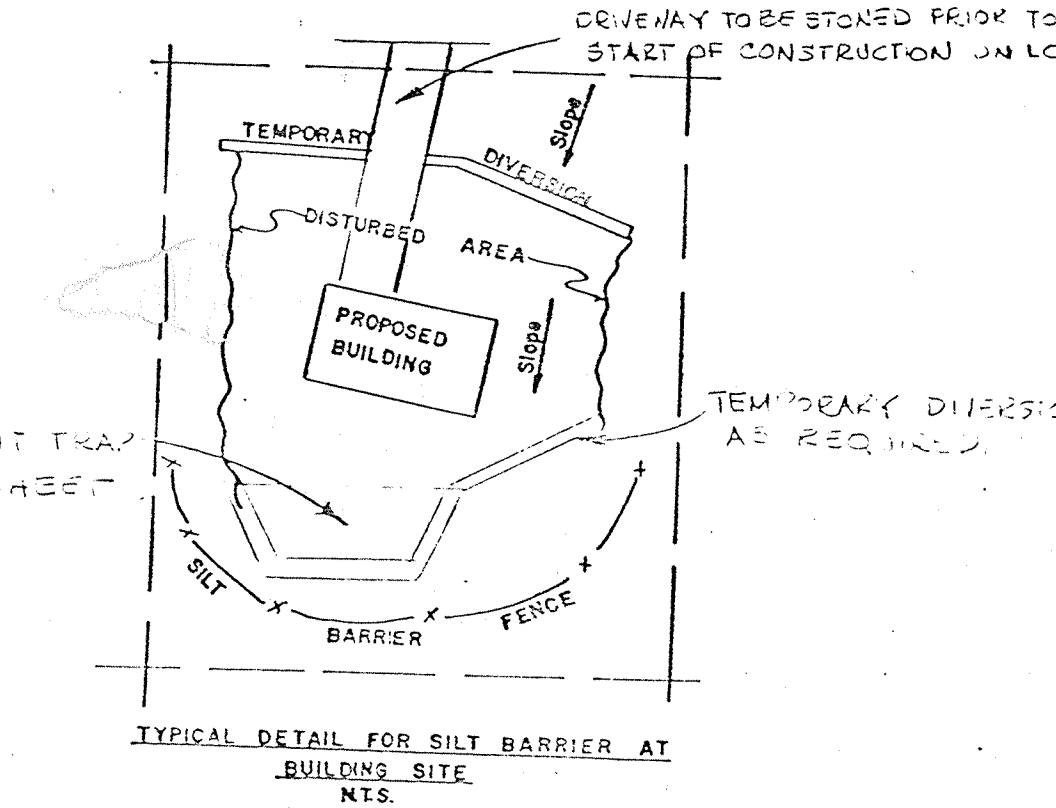


DITCH OR SWALE CONDITION

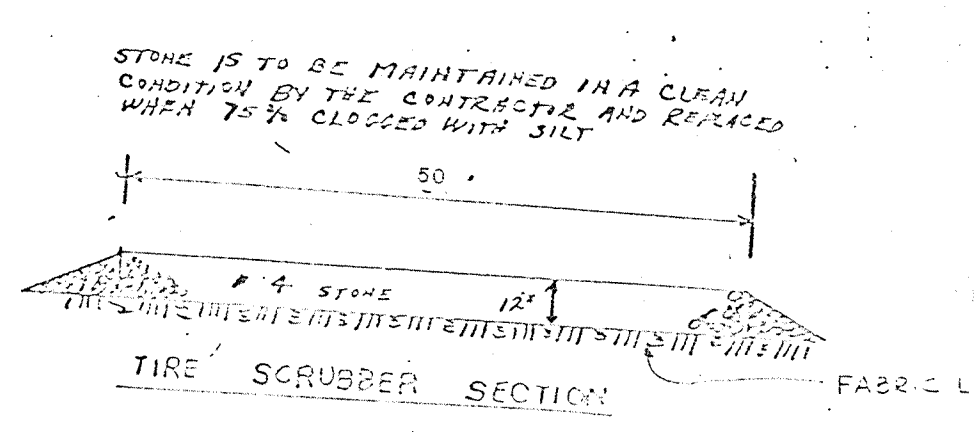


SILT BARRIER FENCE

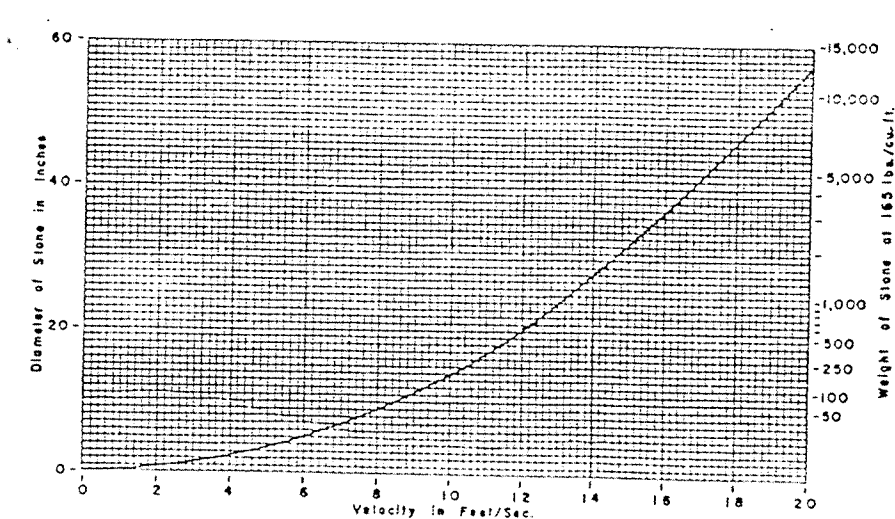
- NOTES:**
- Silt fencing must be installed parallel to existing contours or constructed final alignments. Rows of fencing must be installed 10 feet, travelling upslope at 45 degrees to the alignment of the main fencing section.
 - Sediment must be removed where accumulations reach the above ground height of silt fencing.
 - Any silt fencing which has been undamaged or topped must be replaced with rock filter outlets immediately.



TYPICAL DETAIL FOR SILT BARRIER AT BUILDING SITE



TIRE SCRUBBER SECTION



RIP RAP PER FOOT 400 Sect. 800

Class	Bank Slope (Vertical:Horizontal)	Weight of Stone (lb./ft.)
1	1:1	1000
2	1.5:1	1500
3	2:1	2000
4	2.5:1	2500
5	3:1	3000
6	4:1	4000
7	5:1	5000
8	6:1	6000
9	7:1	7000
10	8:1	8000
11	9:1	9000
12	10:1	10000

3	REVISED DETAILS, ADD NOTES & DETAILS	2-21-10	LRA
2	ADD 72\"/>	7-19-05	LRA
1	FINAL PLAN SUBMITTED	4-26-07	LRA

COUNTRY RIDGE

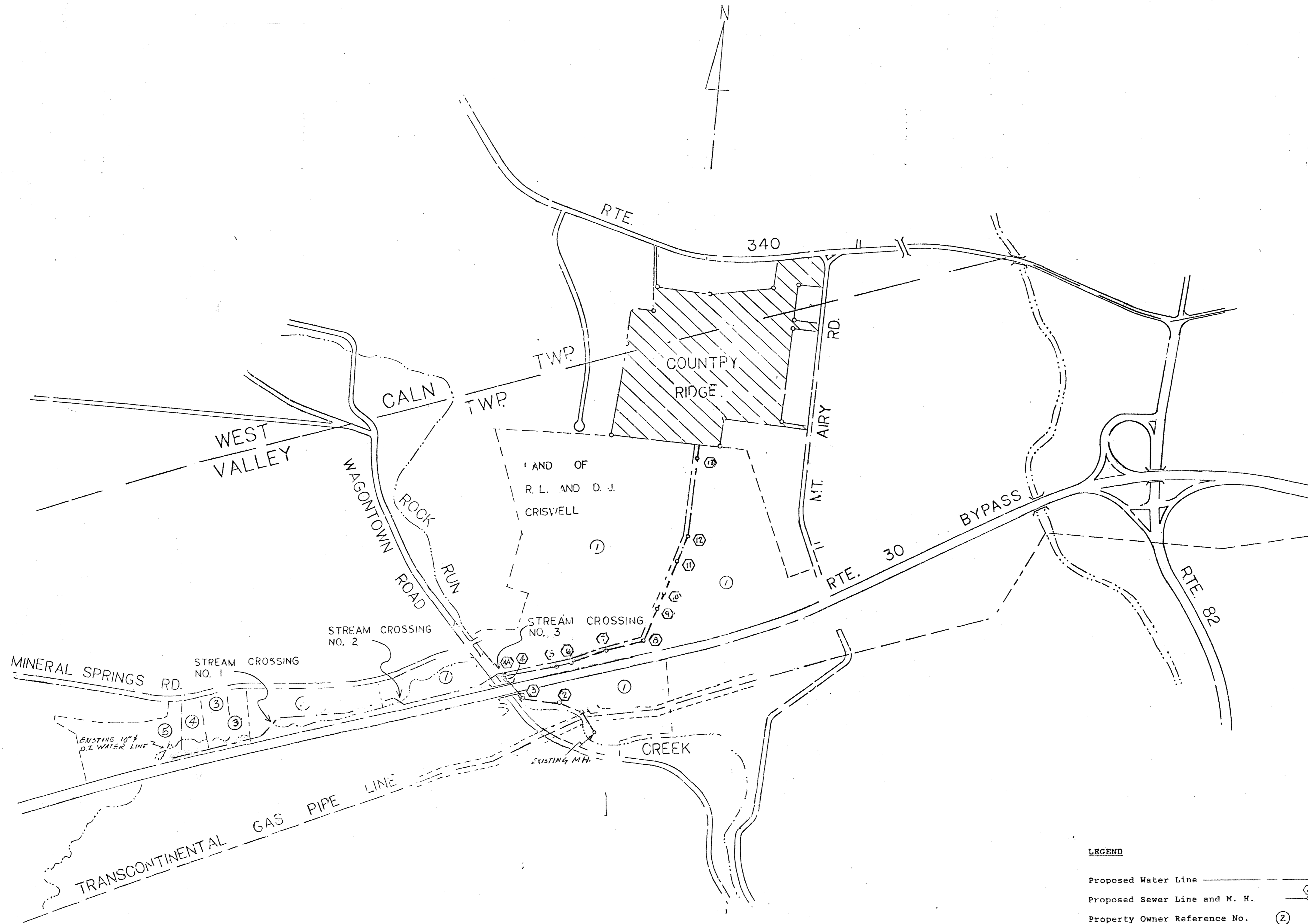
DETAILS

VALLEY and WEST CALN TWP, CHESTER COUNTY, PA

LESTER R. ANDES, P.E.
6 WHISSEL DRIVE, DRAWING C
THORNDALE, PA. 19372

JA NO. 87-25

DRAWN BY GLL SCALE NONE SHEET 8 OF 17
CHECKED BY LRA DATE November 4, 1988 DWG. NO. 87-25



NOTES:
 1. For applicable notes, see Dwg. 87-25, sheet 11 of 17.

- LAND OWNERS**
- ① Robert L. Criswell
 - ② David Steuber
 - ③ Stephen J. Lander
 - ④ Lawrence E. Barrage
 - ⑤ Valley Springs Subdivision Open Space

LEGEND

Proposed Water Line ————

Proposed Sewer Line and M. H. ————

Property Owner Reference No. ②

REV.	DATE	DESCRIPTION
CHESTERLAND ASSOCIATES INC. 460 W. GAY ST., WEST CHESTER, PA. 19380		
DRAWN BY	SCALE	DRAWING NUMBER
DATE	CHECK	REV.
4-7-89	JMH	C-106 001-1

NO.	REVISION	DATE	BY
1	REVISED MH 4 Loc. From Added MH 4A	8-18-89	JMH

COUNTRY RIDGE
OFFSITE WATER AND SEWER
SITE PLAN

VALLEY AND WEST CALN TOWNS, CHESTER COUNTY, PA.

LESTER R. ANDES, P.E.
 6 WHISSEL DRIVE, DRAWER C
 THORNDALE, PA. 19372

JOB NO.
87-25

DRAWN BY	SCALE	SHEET
CHECKED BY	HORIZ. : 1" = 50'	10 OF 17
DATE	VERT. : 1" = 5'	DWG. NO.
		87-25

GENERAL NOTES:

- Where underground utilities are shown on the drawings, location is only approximate. It is the contractors responsibility to verify the exact location of all underground utilities and structures before start of construction in compliance with Pennsylvania Act No. 287.
- Elevations shown on the drawings for Country Ridge Subdivision are 9.60 feet higher than the "As Built" elevations of the Valley Spring Subdivision Sanitary Sewer Extension shown on Walter B. Satterthwaite Associates drawings 423.00-004 through 006.
- Country Ridge datum was established from a PK nail at the fork in Mt. Airy Road near Rte. 340 given as elev. 434.87.
- All construction within Penn DOT right-of-way shall conform to Department Transportation specifications including Title 67 chapter 459, "Occupancy of Highways by Utilities", (Pub. 459), and "Specifications", (Pub. 408).
- Work zone traffic control plan submitted by Valley Township Authority with Application for Highway Occupancy Permit shall be used, unless alternate plan is submitted to Penn DOT and approved.

WATER LINE NOTES:

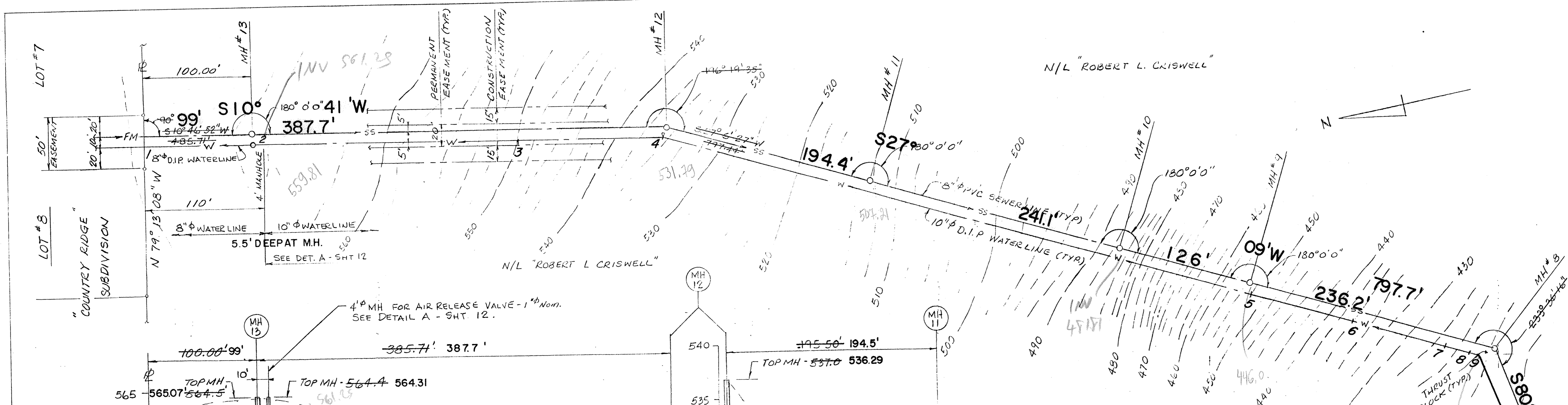
- All work including materials, construction and details for waterlines shall be in accordance with Valley Township Authority Water Specifications dated September, 1987 and DER Public Water Supply Manual Part II Chapter 8 (Sept. 1986).
- Pipe for water lines shall be ductile iron conforming to ANSI-A 21.5, AWNA C 151, class 52.
- Stream crossings, bank rehabilitation and temporary road crossings of streams shall be done in accordance with the drawings and DER Bureau of Dams and Waterway Management General Permit BDWM-GP-5, BDWM-GP-3 and BDWM-GP-8, respectively.
- Thrust blocks based on a maximum working pressure of 150 psig shall be provided at all tees and bends over 5 degrees.
- Existing grades shown on profiles are typically at centerline of sewer. Water lines must be a minimum of 4 ft. below grade.
- Water lines shall be sloped to prevent air pockets.

SEWER LINE NOTES:

- All work including materials, construction and details for sanitary sewers shall be in accordance with Valley Township Authority Sanitary Sewer Specifications dated February, 1987.
- Pipe for gravity sewers shall conform to ASTM D 3034-SDR35.
- Sewer manholes, covers and frames shall be as shown in Section 4 of Valley Township Authority Sanitary Sewer Specifications.
- Manhole Nos. 1 through 4A shall be furnished with waterproof frames and covers.
- Sewer pipes on 20 percent or greater slopes shall be securely anchored in cast in place concrete blocks, (1'x2'x2'), spaced on maximum 36 foot centers.

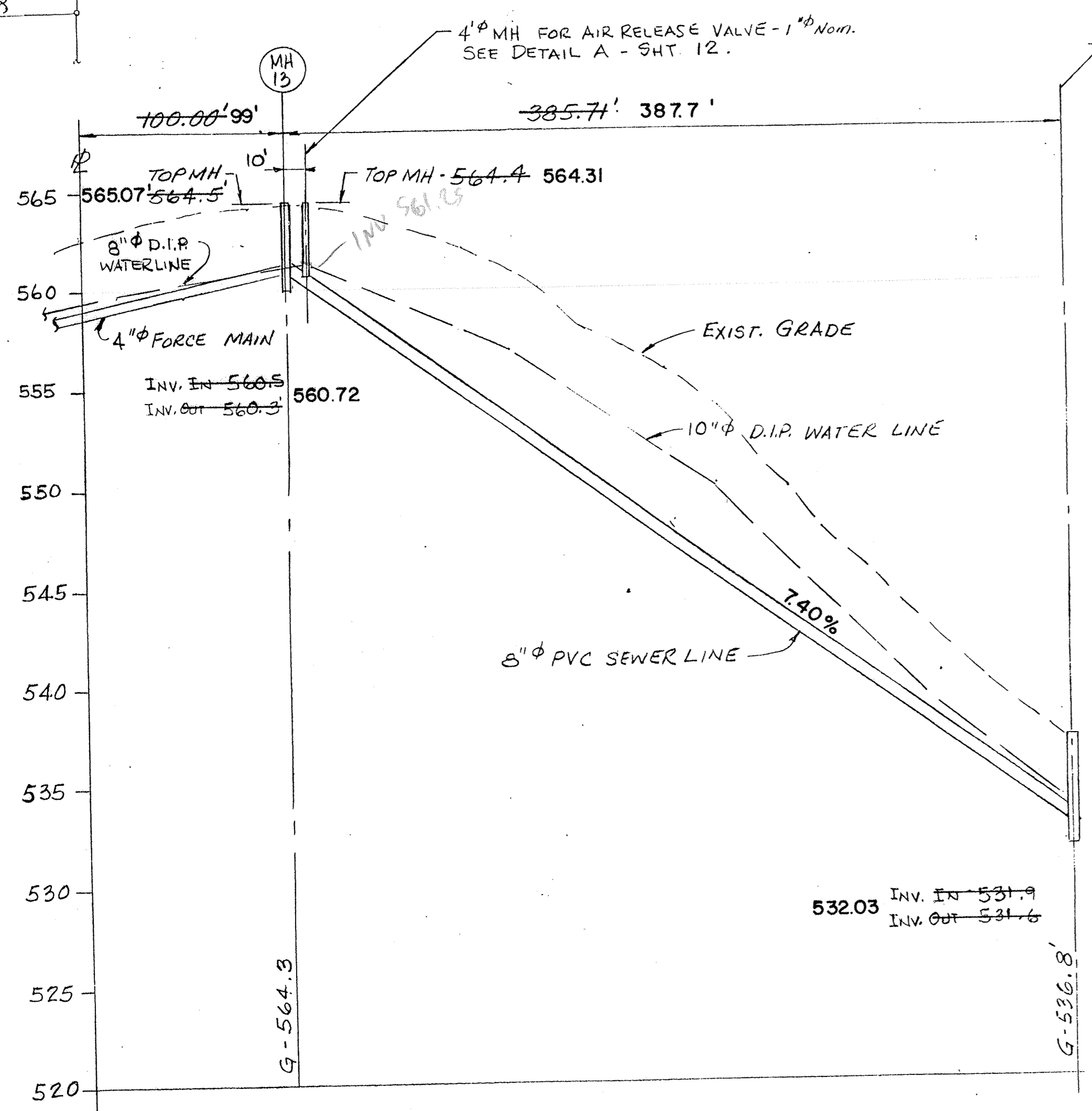
SOIL EROSION & SEDIMENT CONTROL

- All work shall be done in accordance with standards for soil erosion and sedimentation control of Pennsylvania DER.
- Top soil shall be removed, stock piled and replaced in the upper 6 inches of the trench during back filling.
- All stock piles shall be at locations where erosion can be controlled on site.
- Provide temporary sediment barriers, (hay bale or filter fabric), along contour lines as required.
- Seeding shall be placed on exposed areas within 10 days of final grading.
- All erosion control facilities and final graded areas shall be checked after each rainstorm until turf is established. Damaged areas shall be repaired immediately.

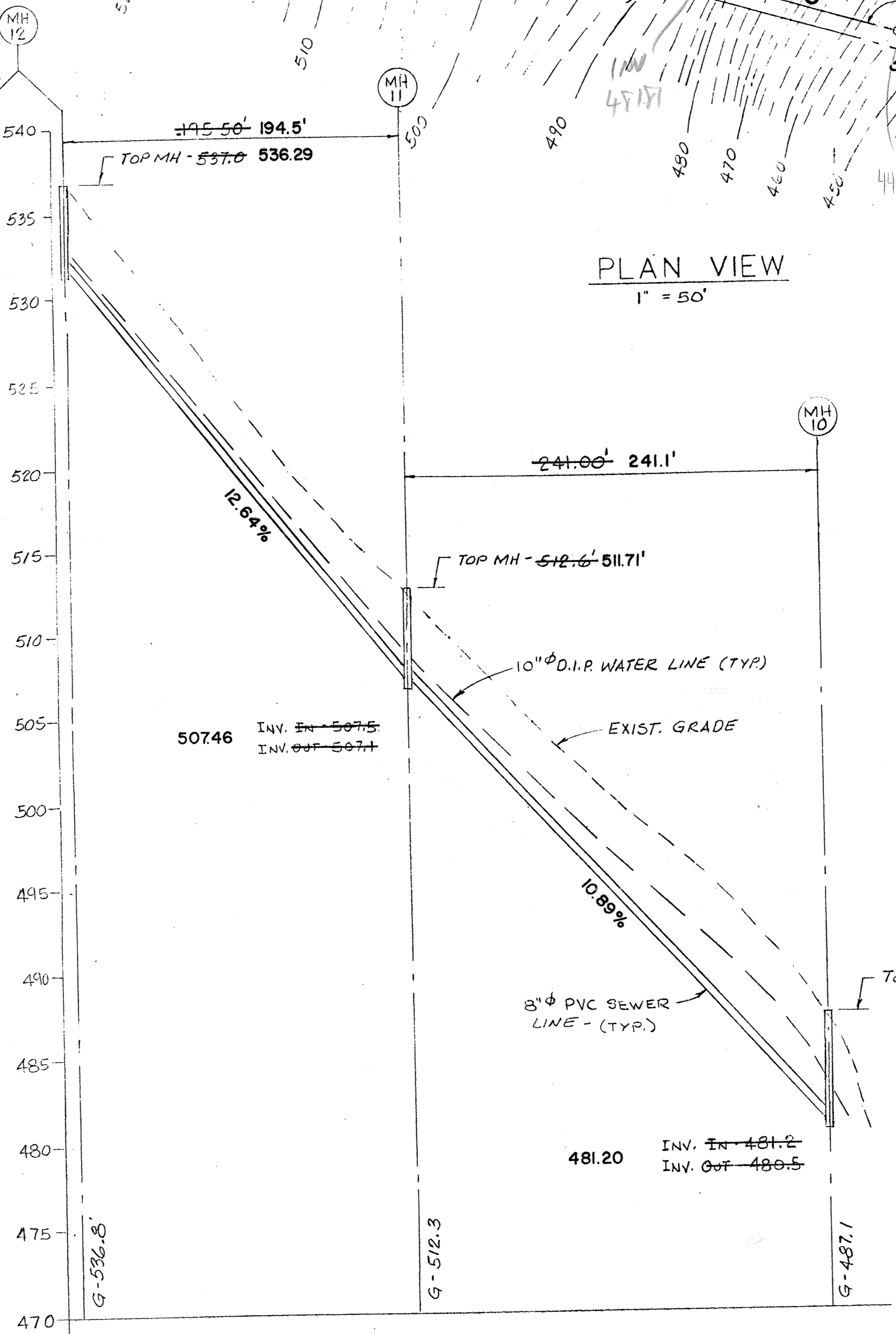


PLAN VIEW
1" = 50'

CENTERLINE WATER LINE		
1-2	S 9-31-38 W	98.41'
2-3	S 11-43-44 W	251.14'
3-4	S 9-17-52 W	129.57'
4-5	S 27-05-38 W	568.83'
5-6	S 28-31-25 W	100.21'
6-7	S 25-08-06 W	88.70'
7-8	S 29-14-02 W	23.15'
8-9	S 42-45-53 W	11.77'



PROFILE MH 12 TO R
VERT: 1" = 5'
HORIZ: 1" = 50'



PROFILE - MH 10 TO 12
VERT: 1" = 5'
HORIZ: 1" = 50'

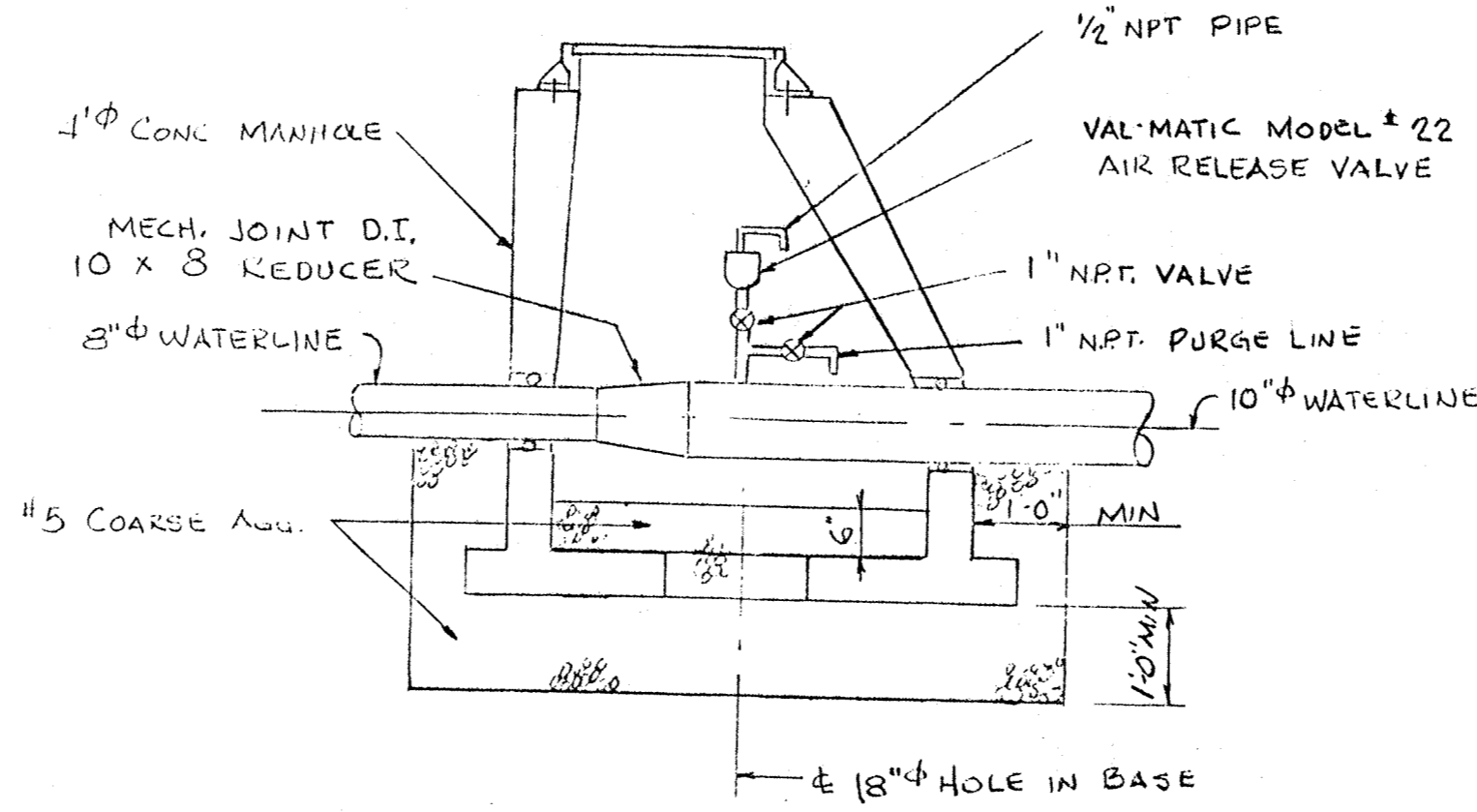
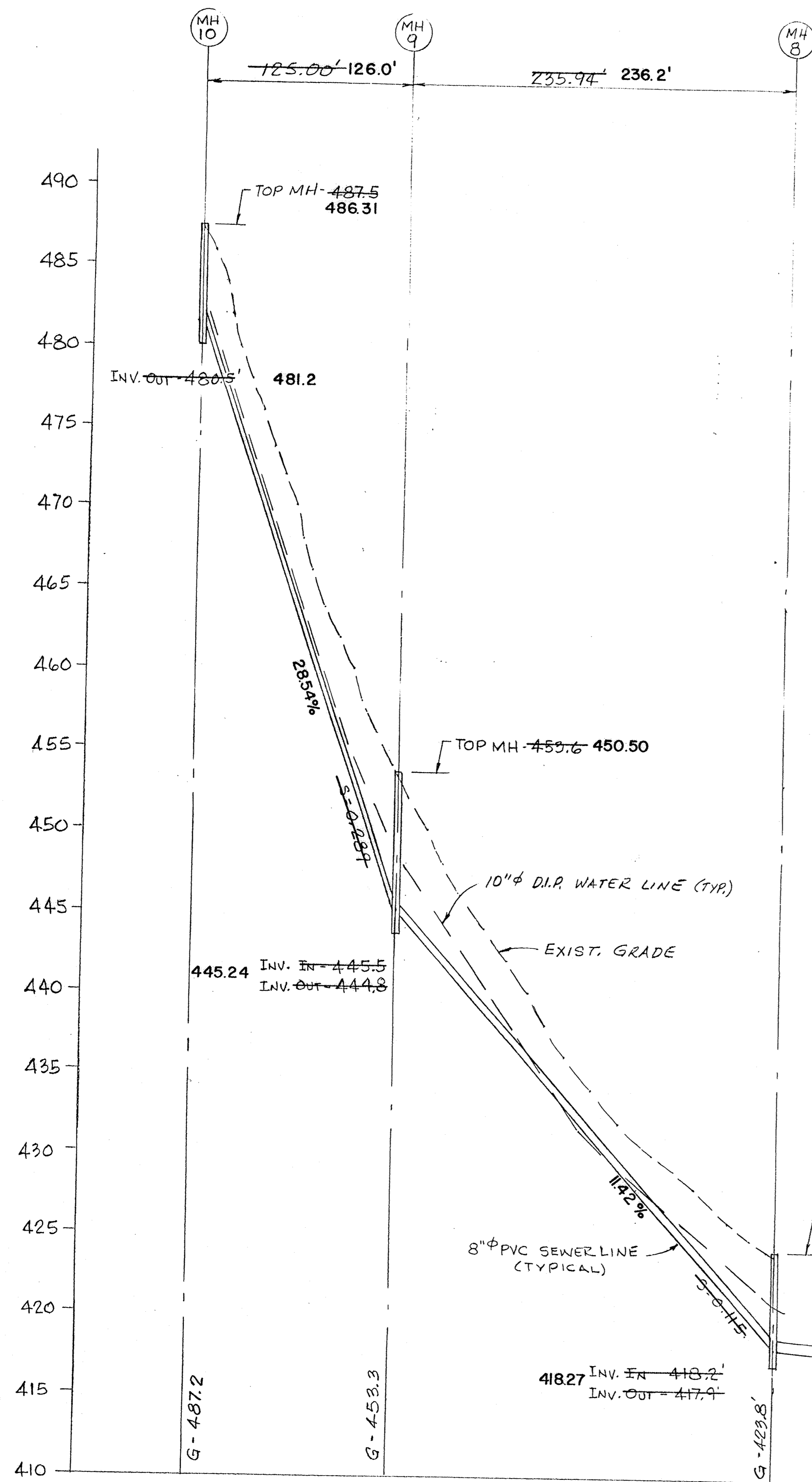
SANITARY, WATER LINE AS BUILT

THE WATER LINE WAS FLAGGED ON THE SURFACE BY OTHERS THE ABOVE REPRESENTS THE ACCURACIES/INACCURACIES THERE IN ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO VERIFY LOCATION & DEPTH OF UTILITIES.

BRUBACHER EXCAVATING INC. BOMANSVILLE, PA.
MARCH 15, 1991 CHRIS ALAN LAMSON, P.L.S.

REV.	DATE	DESCRIPTION
CHESTERLAND ASSOCIATES INC. 480 W. GAY ST., WEST CHESTER, PA. 19380		
DRAWN BY JMH SCALE _____ DRAWING NUMBER C-106 001-2 REV. _____		
DATE 4-7-89 CHECK _____		

COUNTRY RIDGE OFFSITE WATER AND SEWER		
VALLEY AND WEST CALN TWPS., CHESTER COUNTY, PA.		
LESTER R. ANDES, P.E. 6 WHISSEL DRIVE, DRAWER C THORNDALE, PA. 19372		JOB NO. 87-25
DRAWN BY	SCALE	SHEET 11 OF 17
CHECKED BY	HORIZ: 1" = 50' VERT: 1" = 5'	DWG. NO. 87-25



DETAIL A
AIR RELEASE VALVE
MANHOLE
1" = 2"

NOTES:
1. For applicable notes, see Dwg. 87-25, sheet 11 of 17

PROFILE - MH 8 TO 10
VERT - 1" = 5'
HORIZ - 1" = 50'

SANITARY, WATER LINE AS BUILT

THE WATER LINE WAS FLAGGED ON THE SURFACE BY OTHERS
THE ABOVE REPRESENTS THE ACCURACIES/INACCURACIES THERE IN

ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO
VERIFY LOCATION & DEPTH OF UTILITIES.

BRUBACHER EXCAVATING INC. BOMANSVILLE, PA.
MARCH 13, 1991 CHRIS ALAN LAMISON, P.L.S.

REV.	DATE	DESCRIPTION
CHESTERLAND ASSOCIATES INC. 460 W. GAY ST., WEST CHESTER, PA. 19380		
1	4-7-89	ADD SLOPE S=0.115 BETWEEN MH 8 & 9
2	9-8-89	CHANGED WATERLINE TO 10" UP TO MH, ADDED 10" x 8 REDUCER AT DETAIL A

COUNTRY RIDGE
OFFSITE WATER AND SEWER

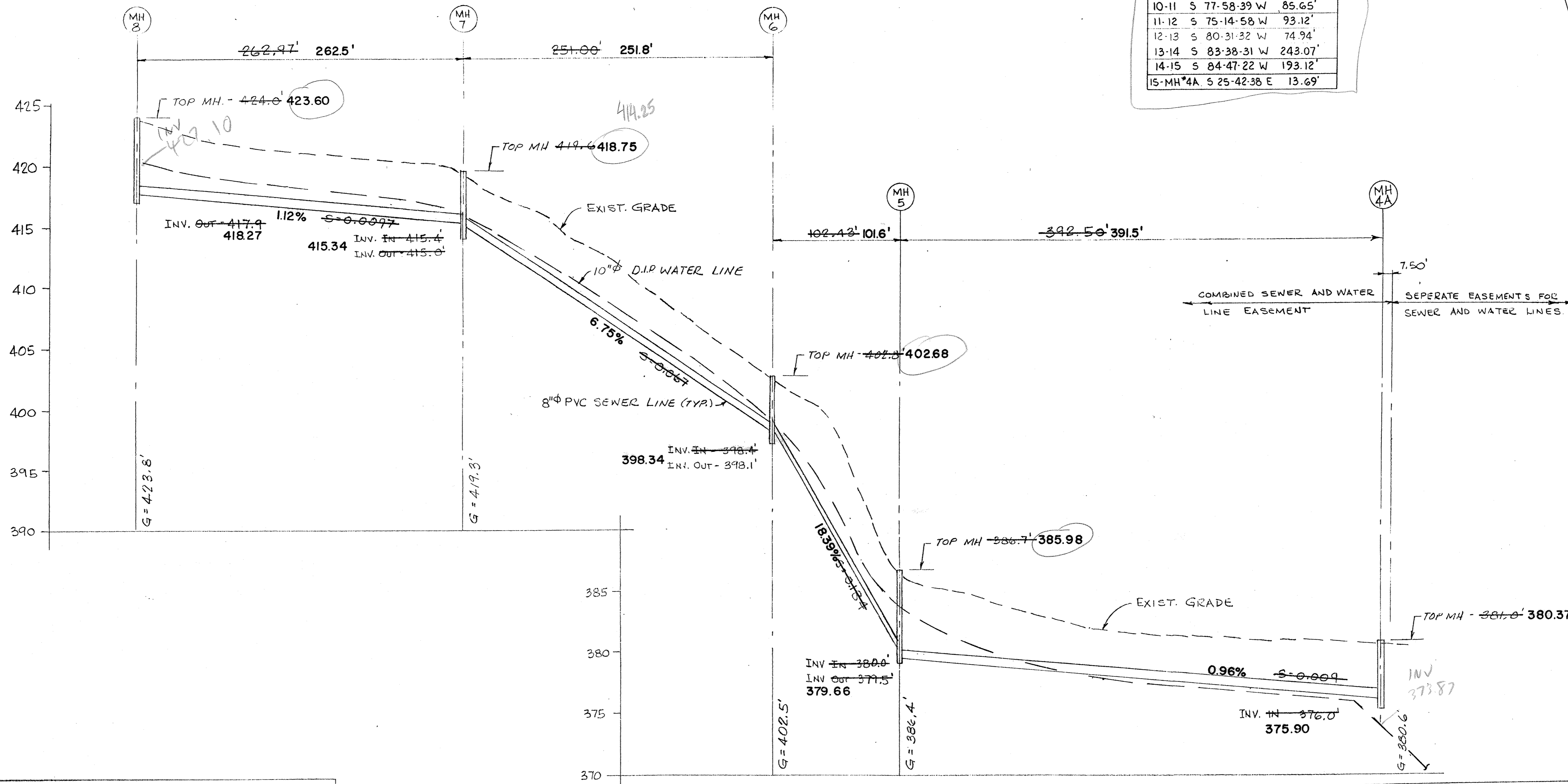
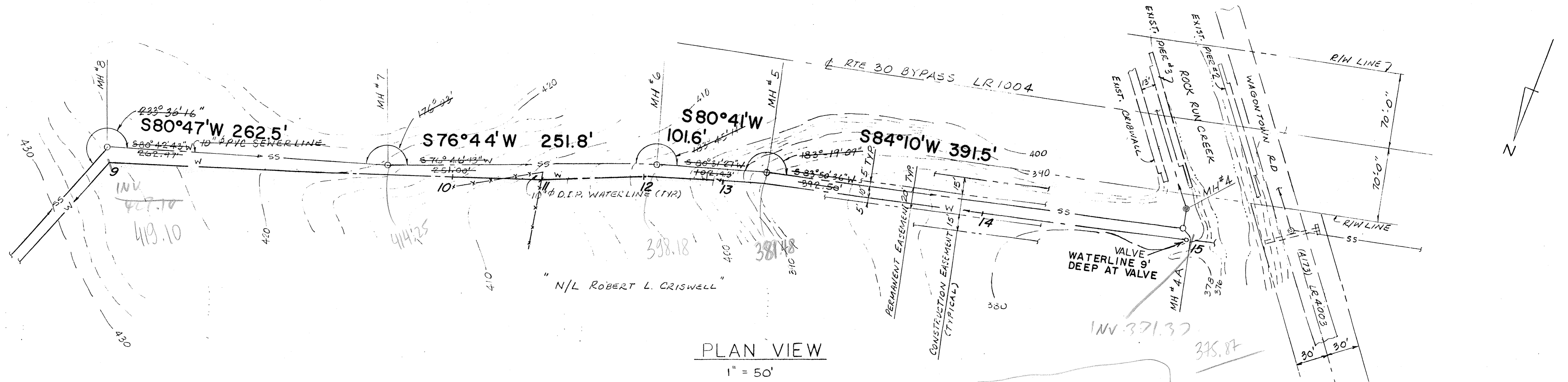
VALLEY AND WEST CALN TWP., CHESTER COUNTY, PA

LESTER R. ANDES, P.E.
6 WHISSEL DRIVE, DRAWER C
THORNDALE, PA. 19372

JOB NO. 87-25

DRAWN BY: JMH	SCALE: HORIZ. 1" = 50' UN. VERT. 1" = 5'	DRAWING NUMBER: C-106 001-3	REV.
DATE: 4-7-89	CHECKED		

SHEET 12 OF 17
DWG. NO. 87-25



NOTES:
1. For applicable notes, see Dwg. 87-25, sheet 11 of 17.

NO.	REVISION	DATE	BY
2	CHANGED WATERLINE DIAM. FROM 8" TO 10"	9-8-89	JMH
1	REVISED MH #4 LOCATION, INV. ELEV'S @ MH #5, S.S. SLOPE S. MH #4 TO MH #7. ADDED MH #4A NAME FOR EASEMENT SPLIT.	8/18/89	JMH

COUNTRY RIDGE
OFFSITE WATER AND SEWER

VALLEY AND WEST CALN TOWNS, CHESTER COUNTY, PA

LESTER R. ANDES, P.E.
6 WHISSEL DRIVE, DRAWER C
THORNDALE, PA. 19372

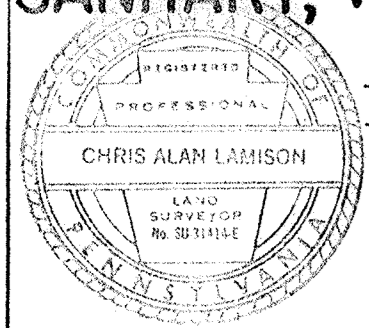
JOB NO. 87-25

DRAWN BY: JMH
CHECKED BY: []
DATE: 4-7-89

SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

DRAWING NUMBER: C-106 001-4
SHEET 13 OF 17
DWG. NO. 87-25

SANITARY, WATER LINE AS BUILT

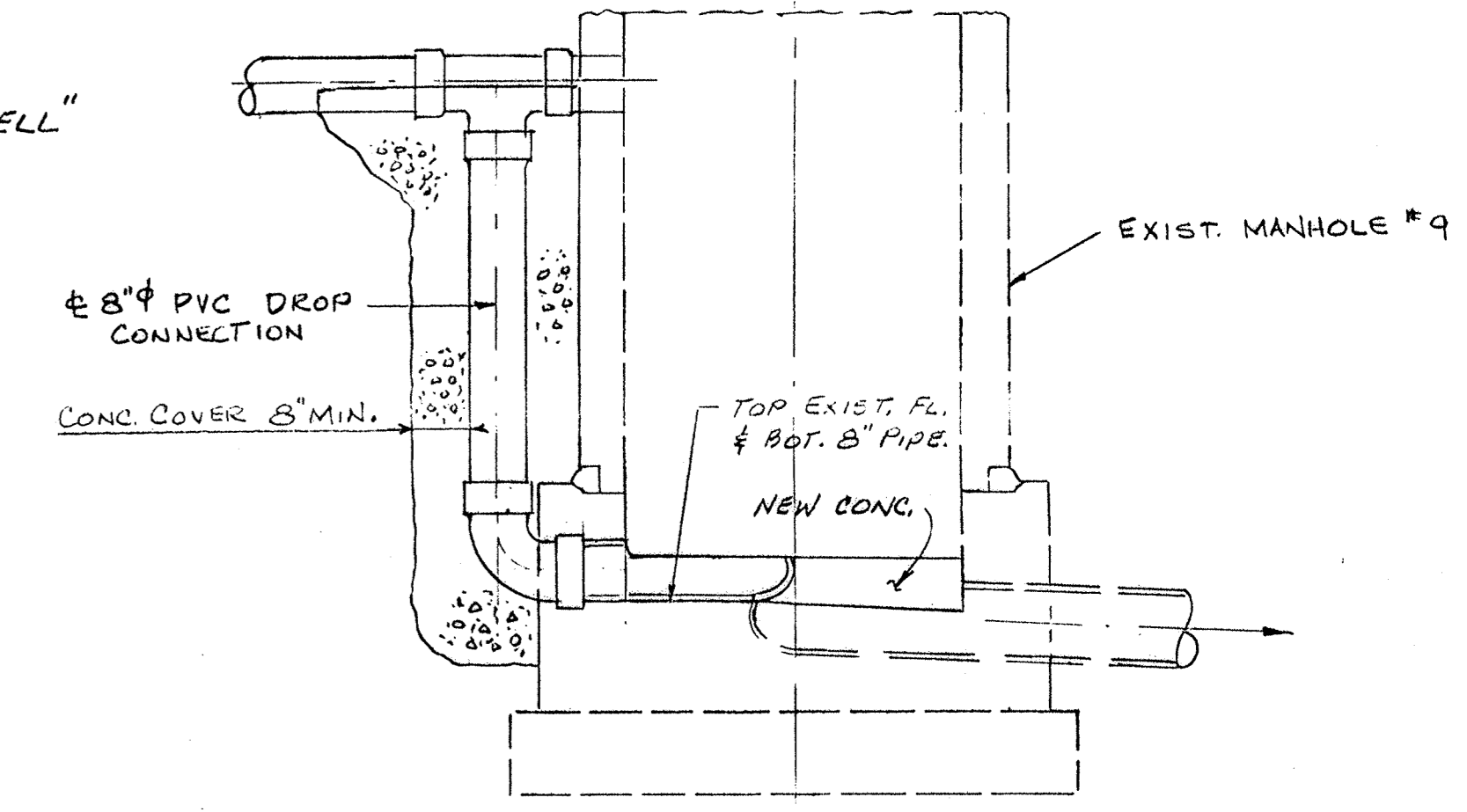
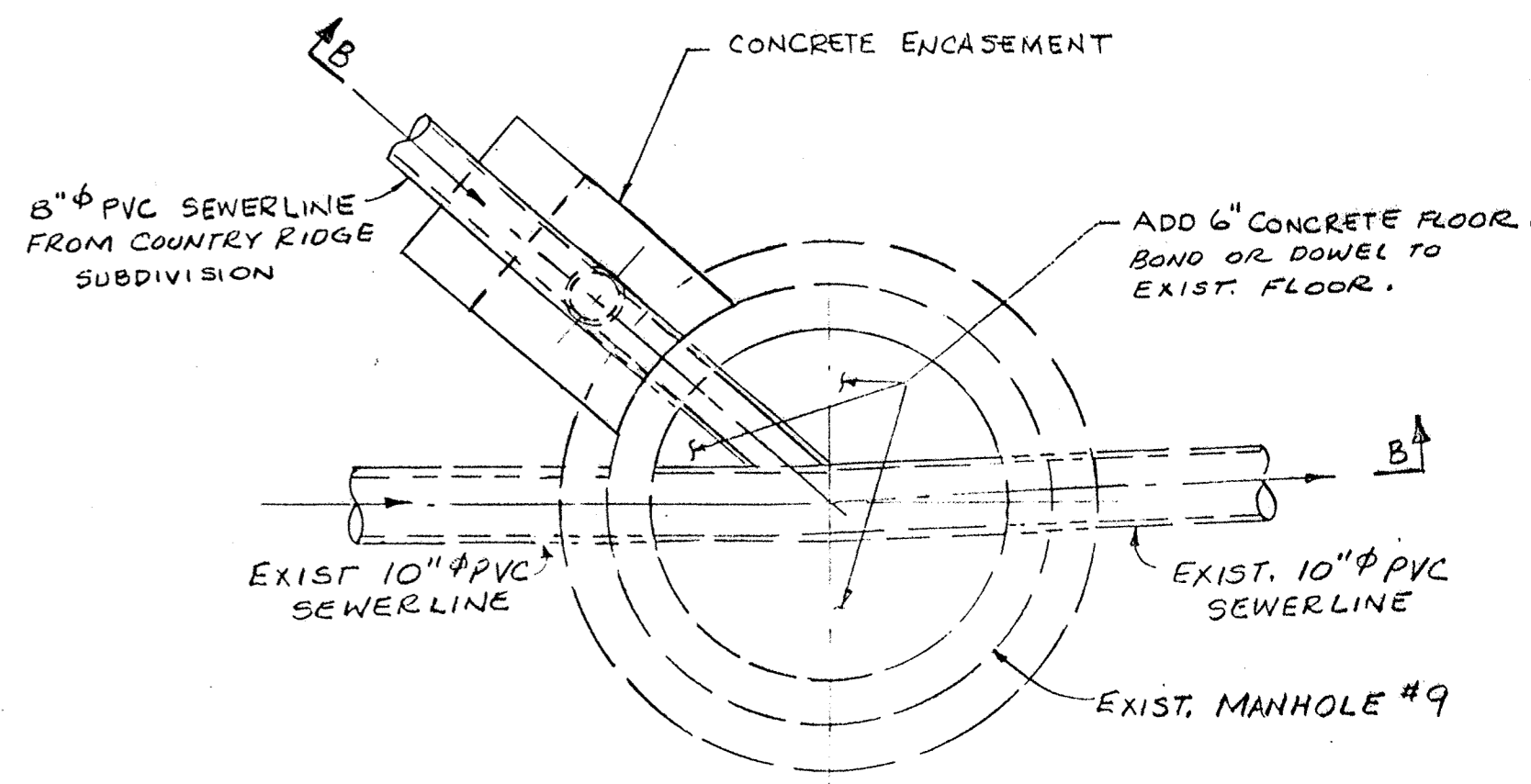
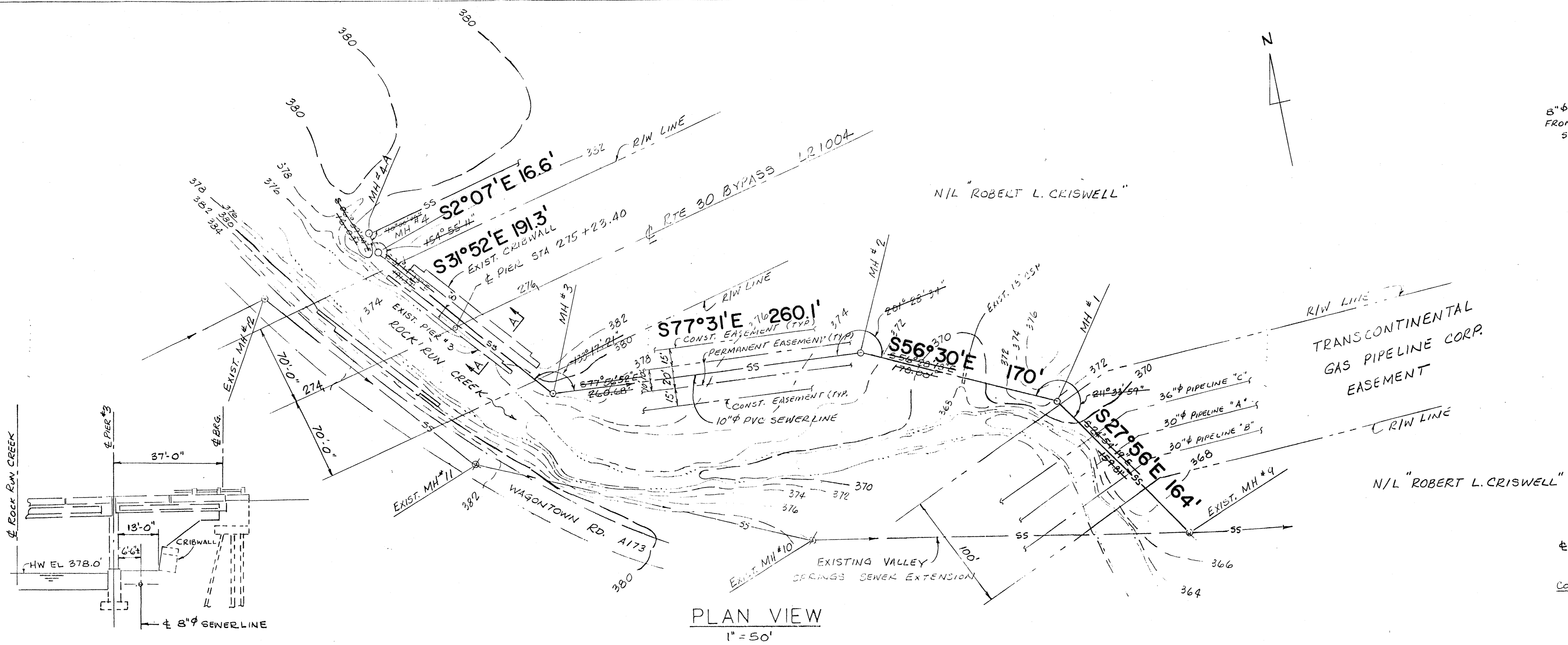


THE WATER LINE WAS FLAGGED ON THE SURFACE BY OTHERS THE ABOVE REPRESENTS THE ACCURACIES/INACCURACIES THERE IN ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO VERIFY LOCATION & DEPTH OF UTILITIES.

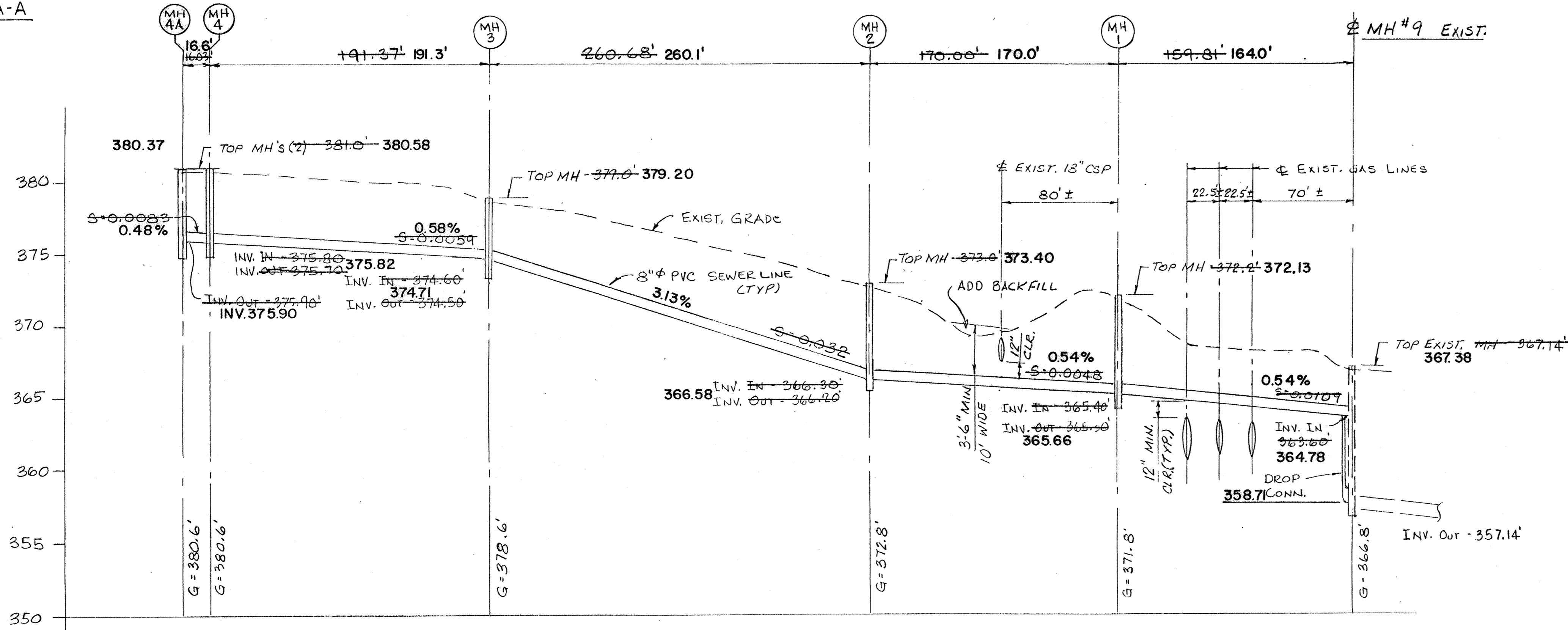
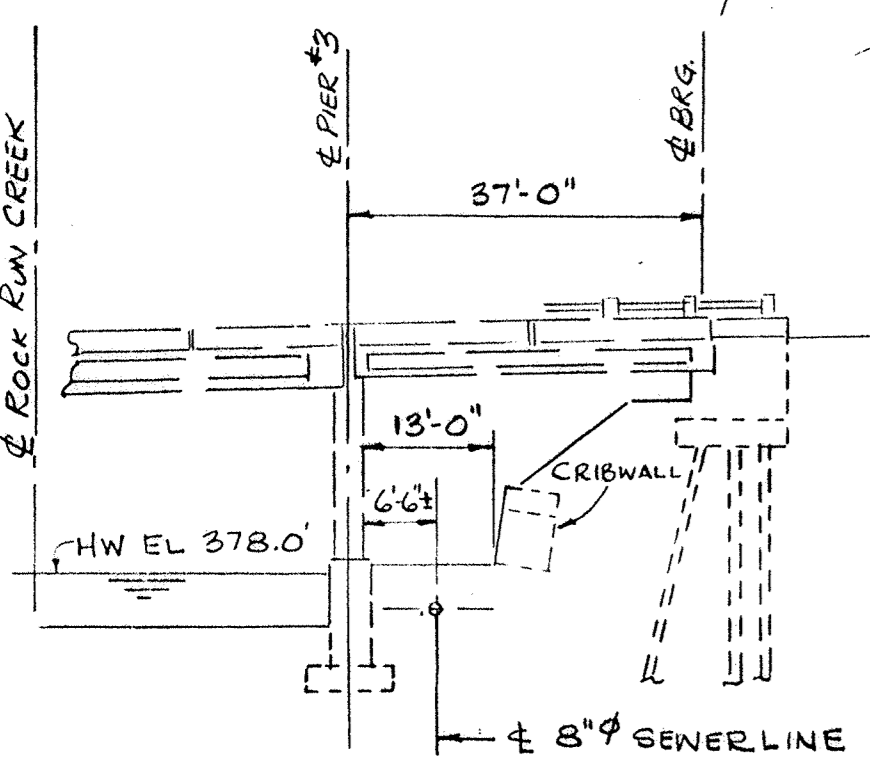
BRUBACHER EXCAVATING INC. BOMANSVILLE, PA.
MARCH 13, 1991 CHRIS ALAN LAMISON, P.L.S.

CHESTERLAND ASSOCIATES INC.
480 W. GAY ST., WEST CHESTER, PA. 19380

DATE: 4-7-89
CHECK: []



SECTION A-A
1" = 20'



- NOTES:
- For applicable notes, see Dwg. 87-25, sheet 11 of 17.
 - Crossing of the gas pipeline right-of-way shall be in conformance with the requirements of Transcontinental Gas Pipeline Corporation. Contractors shall contact the pipeline company prior to start of any construction. (215-647-7830)

SANITARY, WATER LINE AS BUILT

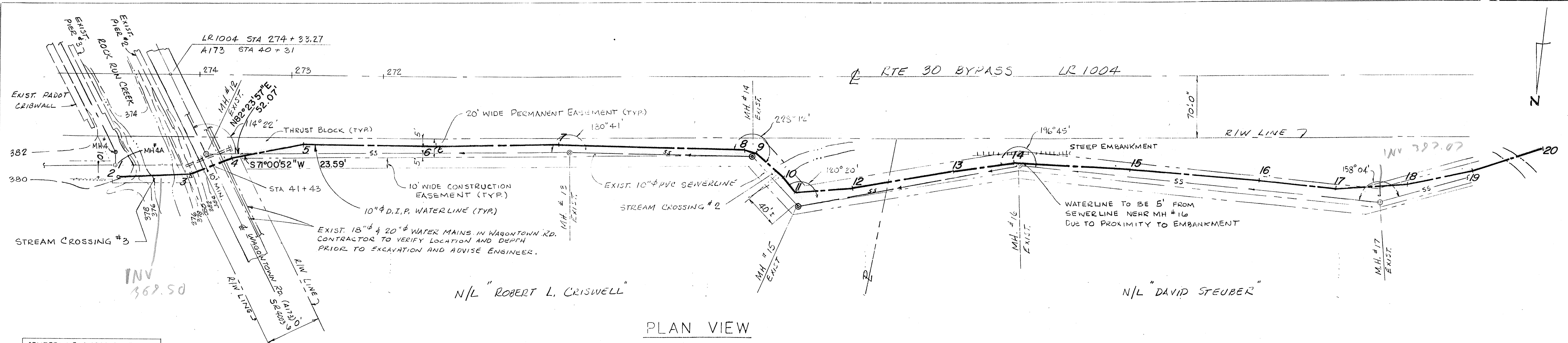
THE WATER LINE WAS FLAGGED ON THE SURFACE BY OTHERS THE ABOVE REPRESENTS THE ACCURACIES/INACCURACIES THERE IN ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO VERIFY LOCATION & DEPTH OF UTILITIES.

BRUBACHER EXCAVATING INC. BOMANSVILLE, PA. MARCH 15, 1991
CHRIS ALAN LAMISON, P.L.S.

PROFILE
VERT: 1" = 5'
HORIZ: 1" = 50'

REV.	DATE	DESCRIPTION
CHESTERLAND ASSOCIATES INC. 460 W. GAY ST., WEST CHESTER, PA. 19380		
DRAWN BY	SCALE	DRAWING NUMBER
DATE 4-7-89	CHECK	C-106 001-5

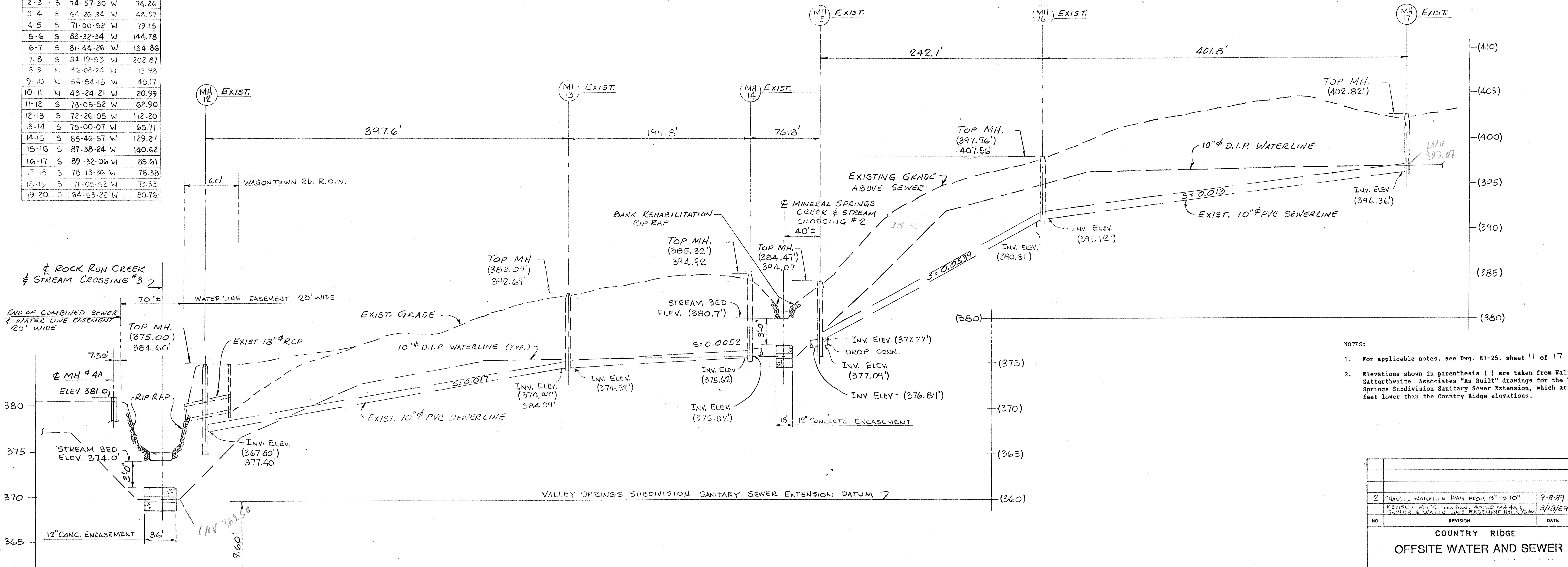
NO.	REVISION	DATE	BY
COUNTRY RIDGE OFFSITE WATER AND SEWER			
VALLEY AND WEST CALN TWPS., CHESTER COUNTY, PA.			
LESTER R. ANDES, P.E. 6 WHISSEL DRIVE, DRAWER C THORNDALE, PA. 19372			JOB NO. 87-25
DRAWN BY	SCALE	HORIZ: 1" = 50'	SHEET 14 OF 17
CHECKED BY	DATE	VERT: 1" = 5'	DWG. NO. 87-25



CENTERLINE WATER LINE

1-2	N	25-42-38	W	13.69
2-3	S	74-57-30	W	74.26
3-4	S	64-26-34	W	48.97
4-5	S	71-00-52	W	79.15
5-6	S	83-32-34	W	144.78
6-7	S	81-44-26	W	134.86
7-8	S	84-19-53	W	202.87
8-9	N	26-08-24	W	13.98
9-10	N	54-54-15	W	40.17
10-11	N	43-24-21	W	20.99
11-12	S	78-05-52	W	62.90
12-13	S	72-26-05	W	112.20
13-14	S	75-00-07	W	65.71
14-15	S	85-46-57	W	129.27
15-16	S	87-38-24	W	140.62
16-17	S	89-32-06	W	85.61
17-18	S	78-13-36	W	78.38
18-19	S	71-05-52	W	73.33
19-20	S	64-53-22	W	80.76

PLAN VIEW
1"=50'



- NOTES:
- For applicable notes, see Dwg. 87-25, sheet 11 of 17.
 - Elevations shown in parenthesis () are taken from Walter B. Satterthwaite Associates "As Built" drawings for the Valley Springs Subdivision Sanitary Sewer Extension, which are 9.60 feet lower than the Country Ridge elevations.

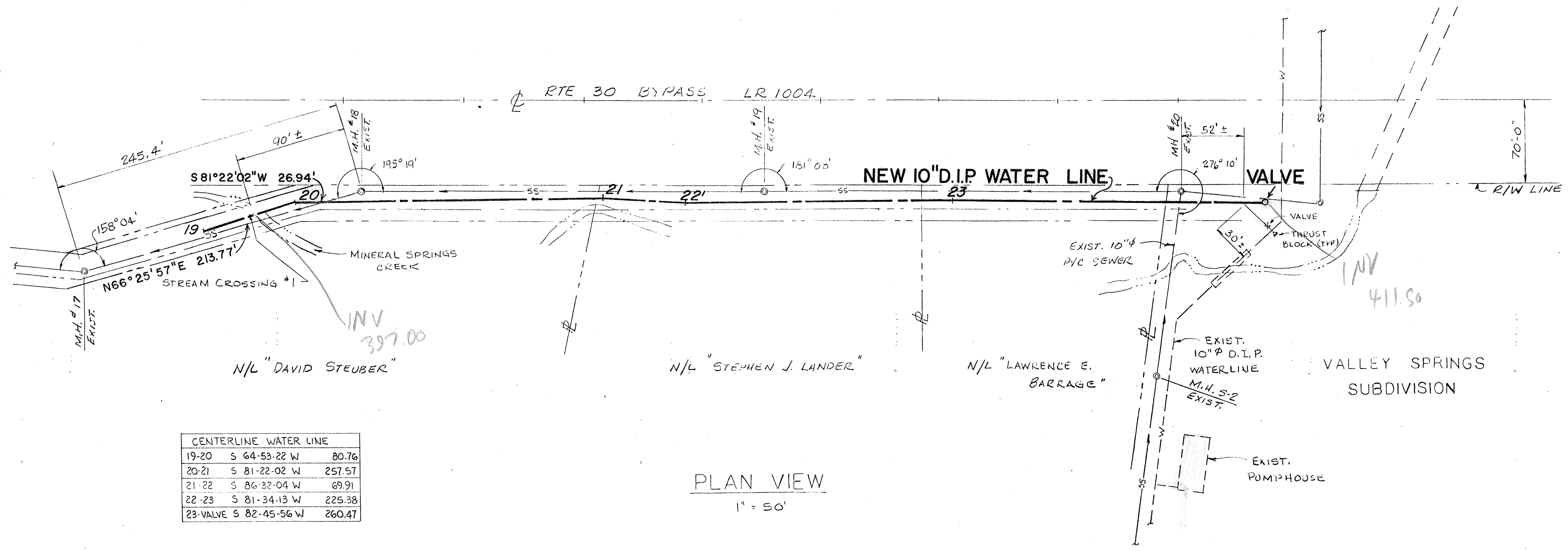
SANITARY, WATER LINE AS BUILT

THE WATER LINE WAS FLAGGED ON THE SURFACE BY OTHERS THE ABOVE REPRESENTS THE ACCURACIES/INACCURACIES THERE IN ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO VERIFY LOCATION & DEPTH OF UTILITIES.

BRUBACHER EXCAVATING INC. BOMANSVILLE, PA. MARCH 15, 1991. CHRIS ALAN LAMISON, P.L.S.

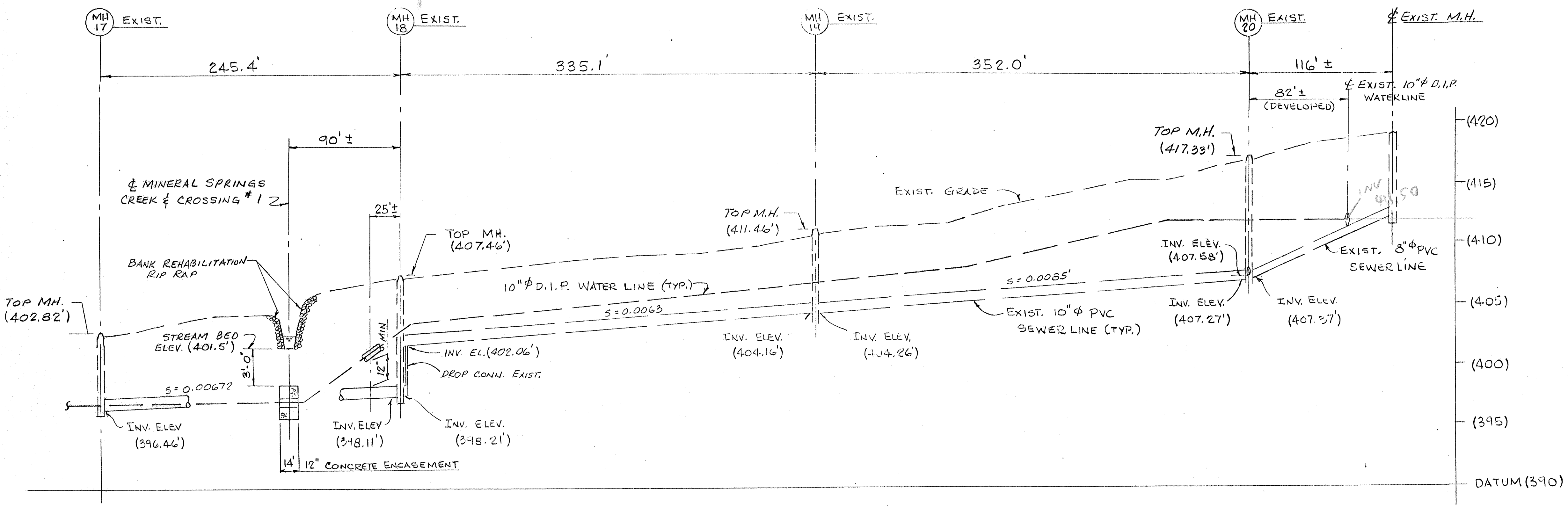
PROFILE
HORIZ.: 1"=50'
VERT.: 1"=5'

REV.	DATE	DESCRIPTION
<p>CHESTERLAND ASSOCIATES INC. 460 W. GAY ST., WEST CHESTER, PA. 19380</p>		
<p>VALLEY AND WEST CALN TWPS., CHESTER COUNTY, PA.</p>		
<p>LESTER R. ANDES, P.E. 6 WHISSEL DRIVE, DRAWER C THORNDALE, PA. 19372</p>		<p>JOB NO. 87-25</p>
<p>DRAWN BY JM/H</p>	<p>SCALE HORIZ.: 1"=50' VERT.: 1"=5'</p>	<p>SHEET 15 OF 17 DWG. NO. 87-25</p>
<p>DATE 4-7-81</p>	<p>CHECKED C-106 001-6</p>	<p>DATE</p>



CENTERLINE WATER LINE			
19-20	S 64-53-22 W	80.76	
20-21	S 81-22-02 W	257.57	
21-22	S 86-32-04 W	69.91	
22-23	S 81-34-13 W	225.38	
23-VALVE	S 82-45-56 W	260.47	

PLAN VIEW
1" = 50'



- NOTES:
- For applicable notes, see Dwg. 87-25, sheet 11 of 17.
 - Elevations shown in parenthesis () are taken from Walter B. Satterthwaite Associates "As Built" drawings for the Valley Springs Subdivision Sanitary Sewer Extension, which are 9.60 lower than the Country Ridge elevations.

WATER LINE AS BUILT

THE WATER LINE WAS FLAGGED ON THE SURFACE BY OTHERS. THE ABOVE REPRESENTS THE ACCURACIES/INACCURACIES THERE IN.

ANY FUTURE WORK SHOULD BE DONE IN ACCORDANCE WITH ACT 287 TO VERIFY LOCATION & DEPTH OF UTILITIES.

BRUBACHER EXCAVATING INC. BOMANSVILLE, PA.
MARCH 15, 1991 CHRIS ALAN LAMISON, P.L.S.

PROFILE
HORIZ : 1" = 50'
VERT : 1" = 5'

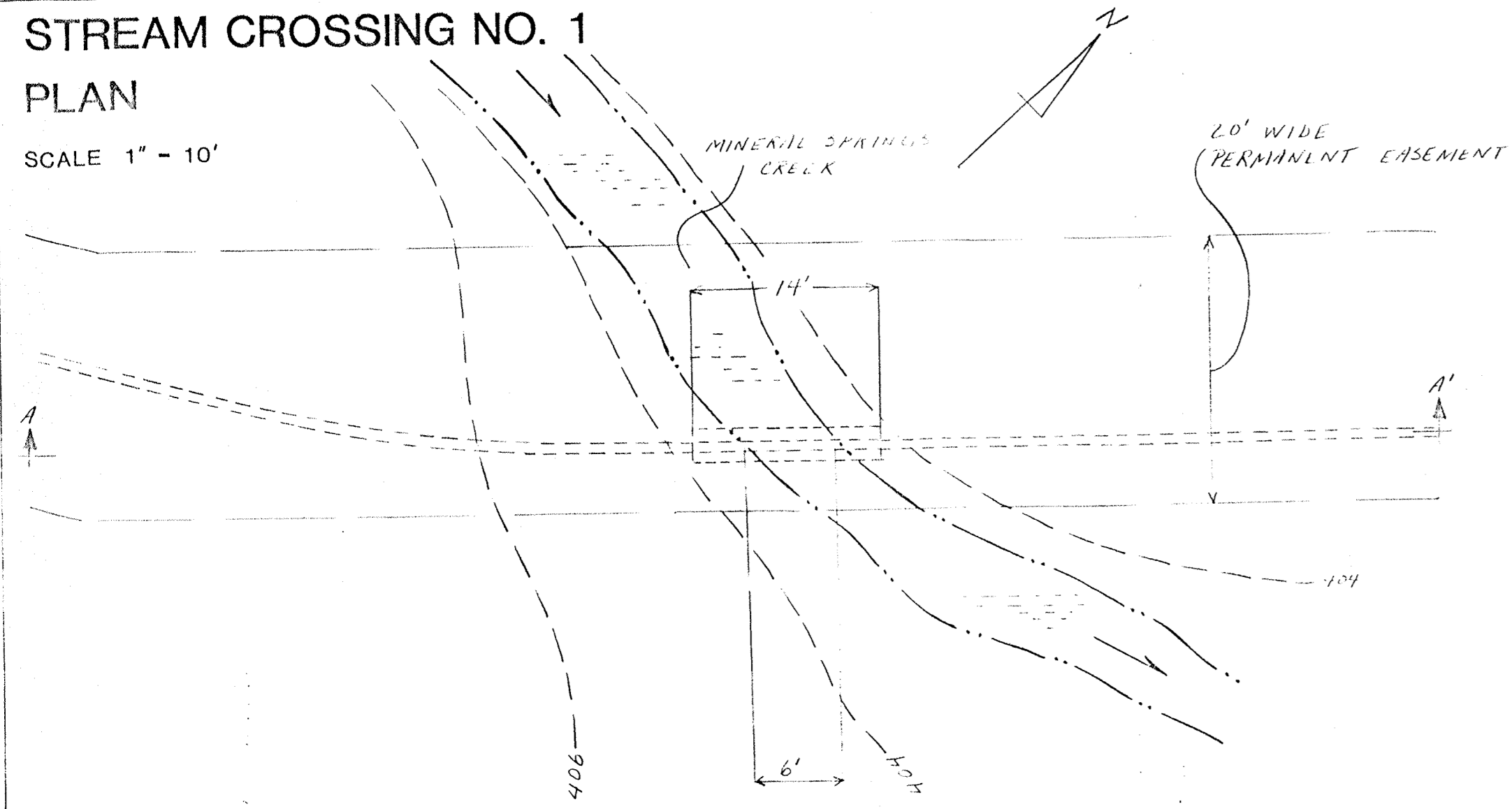
REV.	DATE	DESCRIPTION
CHESTERLAND ASSOCIATES INC. 480 W. GAY ST., WEST CHESTER, PA. 19380		
DATE	4-7-89	CHECK
DRAWN BY	JMH	SCALE
DWG. NO.	C-106 001-7	REV.

COUNTRY RIDGE OFFSITE WATER AND SEWER	
VALLEY AND WEST CALN TWP., CHESTER COUNTY, PA.	
LESTER R. ANDES, P.E. 6 WHISSEL DRIVE, DRAWER C THORNDALE, PA. 19372	JOB NO. 87-25
DRAWN BY CHECKED BY	SCALE HORIZ. : 1" = 50' VERT. : 1" = 5' SHEET 16 OF 17 DWG. NO. 87-25

STREAM CROSSING NO. 1

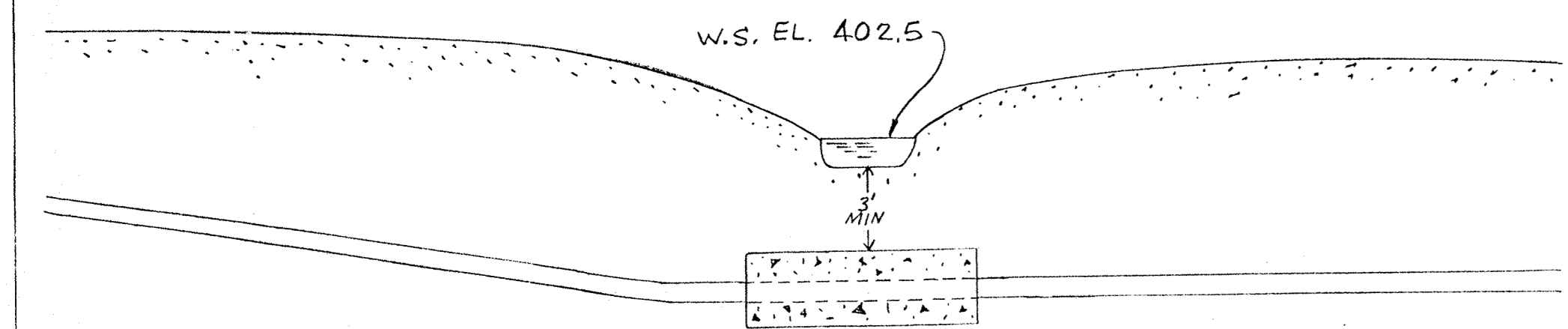
PLAN

SCALE 1" = 10'



SECTION A - A'

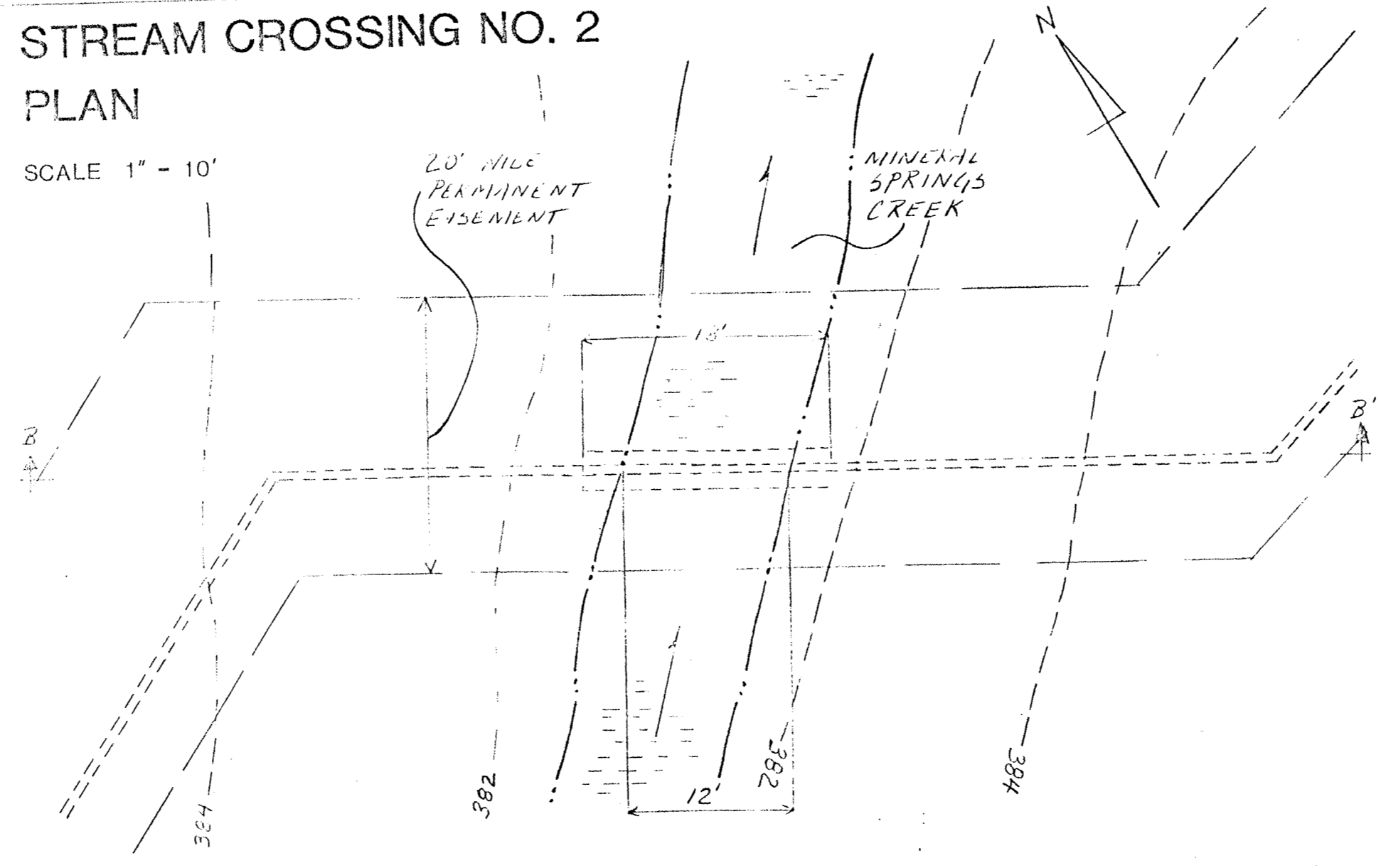
HOR. SCALE 1" = 10'
VERT. SCALE 1" = 5'



STREAM CROSSING NO. 2

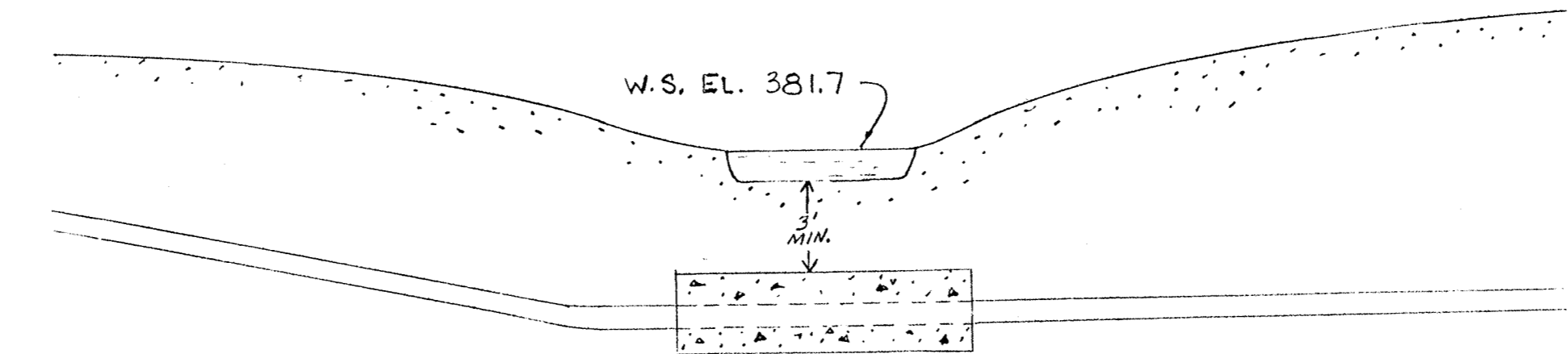
PLAN

SCALE 1" = 10'



SECTION B - B'

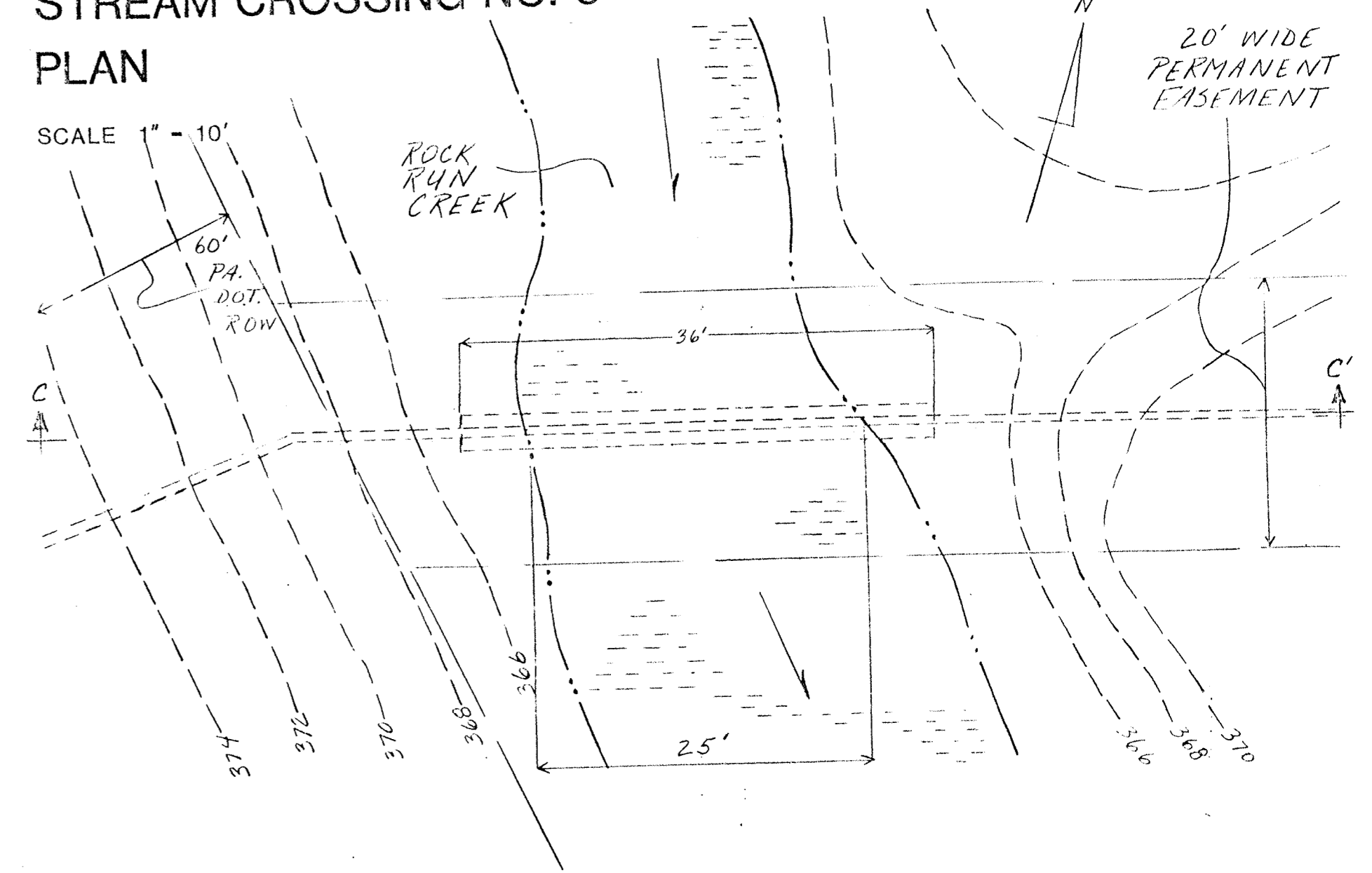
HOR. SCALE 1" = 10'
VERT. SCALE 1" = 5'



STREAM CROSSING NO. 3

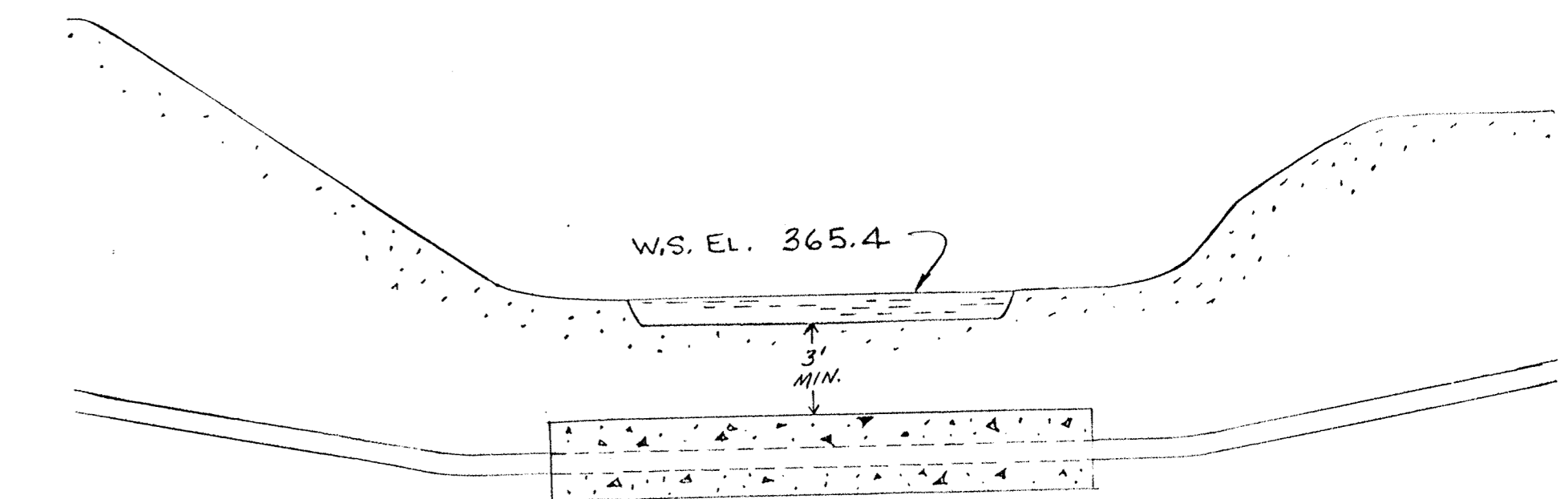
PLAN

SCALE 1" = 10'

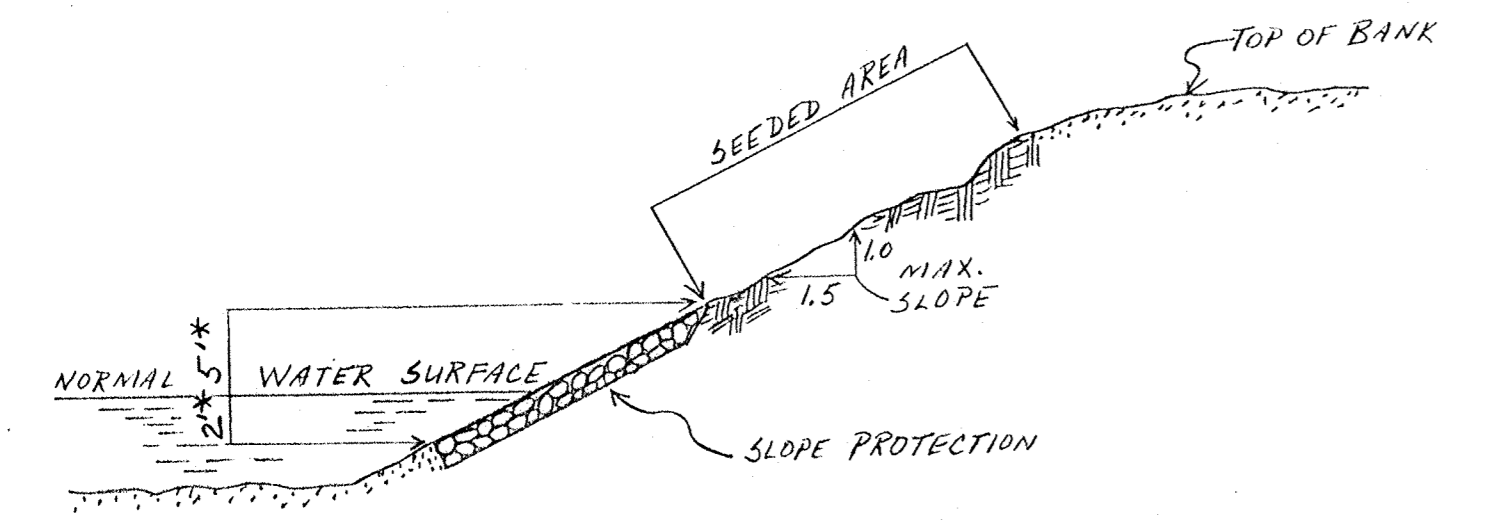


SECTION C - C'

HOR. SCALE 1" = 10'
VERT. SCALE 1" = 5'

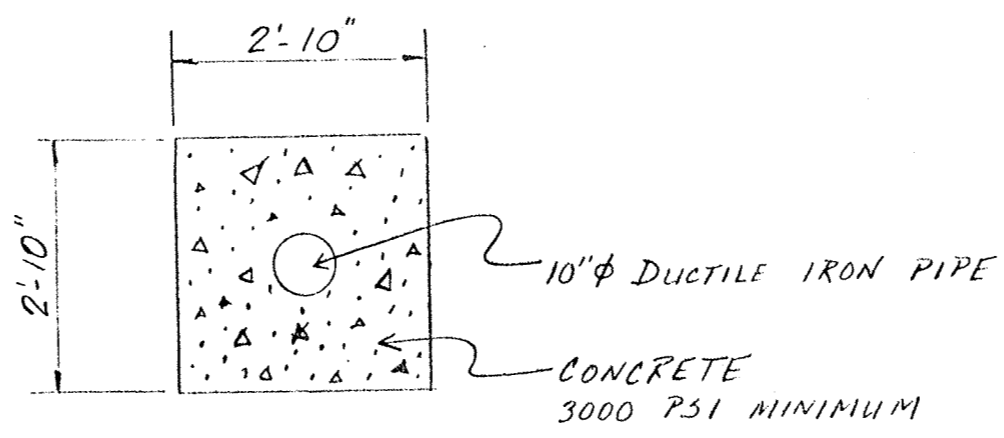


BANK REHAB / SLOPE PROTECTION TYPICAL



*DIMENSIONS GIVEN ARE MINIMUMS, UNLESS GREATER THAN THE HEIGHT OF THE BANK OR DEPTH OF THE WATER

CONCRETE ENCASEMENT CROSS SECTION



NOTES

OWNER: VALLEY TOWNSHIP AUTHORITY
NAME OF STREAM:
CROSSING 1&2 - MINERAL SPRINGS CREEK
CROSSING 3 - ROCK RUN CREEK
MUNICIPALITY: VALLEY TOWNSHIP
COUNTY: CHESTER

- NOTES:
- For Location Map, see drawing 87-25, sheet 10 of 17.
 - Elevations shown are based on Walter B. Satterthwaite Associates "As Built" drawings for the Valley Springs Subdivision Sanitary Sewer Extension, which are 9.60 feet lower than the Country Ridge Elevations, and 8.40 lower than NGVD Elevations.
 - Stream crossings, bank rehabilitation and temporary road crossings of streams shall be done in accordance with the drawings and DER Bureau of Dams and Waterway Management General Permit BDWM-GP-5, BDWM-GP-3 and BDWM-GP-8, respectively.

NO.	REVISION	DATE	BY
1	CHANGED PIPE DIAM FROM 8" TO 10" AND ENCASEMENT FROM 2'-10" TO 2'-10"	9-8-87	JMH

**COUNTRY RIDGE
OFFSITE WATER AND SEWER
STREAM CROSSINGS**

VALLEY AND WEST CALN TWPS., CHESTER COUNTY, PA

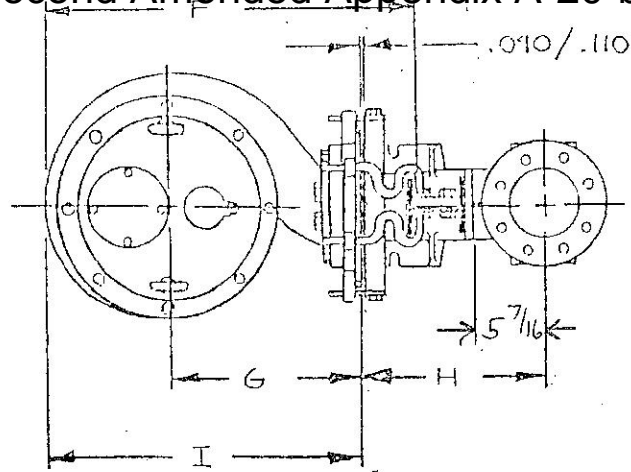
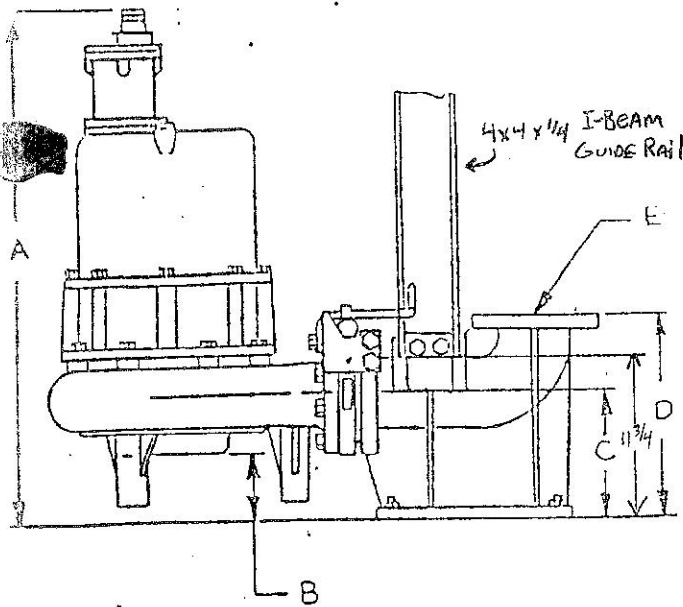
JOB NO. 67-25

LESTER R. ANDES, P.E.
6 WHISSEL DRIVE, DRAWER C
THORNDALE, PA. 19372

REV.	DATE	DESCRIPTION
CHESTERLAND ASSOCIATES INC. 480 W. GAY ST., WEST CHESTER, PA. 19380		
DRAWN BY	SCALE	DRAWING NUMBER
ELW	AS SHOWN	C-106 001-8
DATE	CHECK	REV.
4-7-87	JMH	

DRAWN BY	SCALE	SHEET
ELW	AS SHOWN	17 OF 17
CHECKED BY	DATE	ENC. NO.
JMH		87-25

Second Amended Appendix A-20-b



PUMP MODEL	A	B	C	D	E	F	G	H	I
S4L *	39 7/8" / 43 7/8"	4 3/4"	9"	14 7/16"	4" 125 FLG.	26 3/4"	13 13/16"	12 5/8"	22 9/16"
S4LM	35 1/8"	4 3/4"	9"	14 7/16"	4" 125 FLG.	26 3/4"	13 13/16"	12 5/8"	22 9/16"
S4M	34 7/8"	5 13/16"	9"	14 7/16"	4" 125 FLG.	25"	13 13/16"	12 5/8"	20 13/16"
S4MN	31 5/8"	5 13/16"	9"	14 7/16"	4" 125 FLG.	25"	13 13/16"	12 5/8"	20 13/16"
S4LRC *	40 1/2" / 45 1/4"	5 1/4"	9"	14 7/16"	4" 125 FLG.	26 3/16"	13 13/16"	12 5/8"	22"
S4MRC	35 7/8"	5 3/4"	9"	14 7/16"	4" 125 FLG.	24 5/16"	13 13/16"	12 5/8"	20 1/8"
S4NRC	31 7/16"	6 3/16"	9"	14 7/16"	4" 125 FLG.	24 3/8"	13 13/16"	12 5/8"	20 3/16"
S4HRC	35 3/16"	6"	9"	14 7/16"	4" 125 FLG.	24 5/16"	13 13/16"	12 5/8"	20 1/8"
S4NX	31 1/2"	3 1/8"	9"	14 7/16"	4" 125 FLG.	24 15/16"	13 13/16"	12 5/8"	20 3/4"

NOTE -
 * UP TO 20 HP / 25 - 35 HP - COLUMN A.

				MARLEY THE MARLEY PUMP COMPANY		MATERIAL SPEC:	
						MATERIAL DESIGNATION	
PROPRIETARY NEITHER THE DRAWING NOR INFORMATION CONTAINED HEREIN MAY BE COPIED, REPRODUCED, OR OTHERWISE USED WITHOUT WRITTEN PERMISSION FROM THE MARLEY PUMP COMPANY							
A 866029	4/18/86	RELEASED FOR PRODUCTION	CEP	PR SYS. - DIMENSIONAL CHART AND ILLUSTRATION			
C.N. No.	DATE	REVISION DESCRIPTION	BY	DATE	DRAWN BY	CHECKED BY	SHEET OF
				3-26-85	DG		1 OF 1
DIMENSIONS AND TOLERANCING PER THE MARLEY PUMP DRAFTING MANUAL AND ANSI Y14.5 UNLESS OTHERWISE SPECIFIED				PART NUMBER		DRAWING NUMBER	
FABRICATIONS • DIMENSIONS UP TO 12" ± 1/32, 12" AND UP 1/16 • ANGLES ± 2° • MACHINED, CAST, MOLDED AND OTHER • FRACTIONAL DIMENSIONS ± 1/64 • DECIMAL X ± .020, XX ± .010, XXX ± .005 • • FINISHES RMS STD 250 MAX. • BREAK EDGE - .005/.013 CHAMFER OR RADIUS • ANGLES ± 1° • • DEBURR - SHARP EDGE TO 1/32 CHAMFER • UNDERCUT - 1/16 MAX. WIDE 1/64 MAX. DEEP CONFIGURATION OF TOOL • THREADS UNIFIED CLASS 2 FIT •				5625-215-1		A 5625-215-1	
						REV. A	

**HYDROMATIC
PUMPS**

A Marley Pump Company



Bulletin S-527

Electrical Data

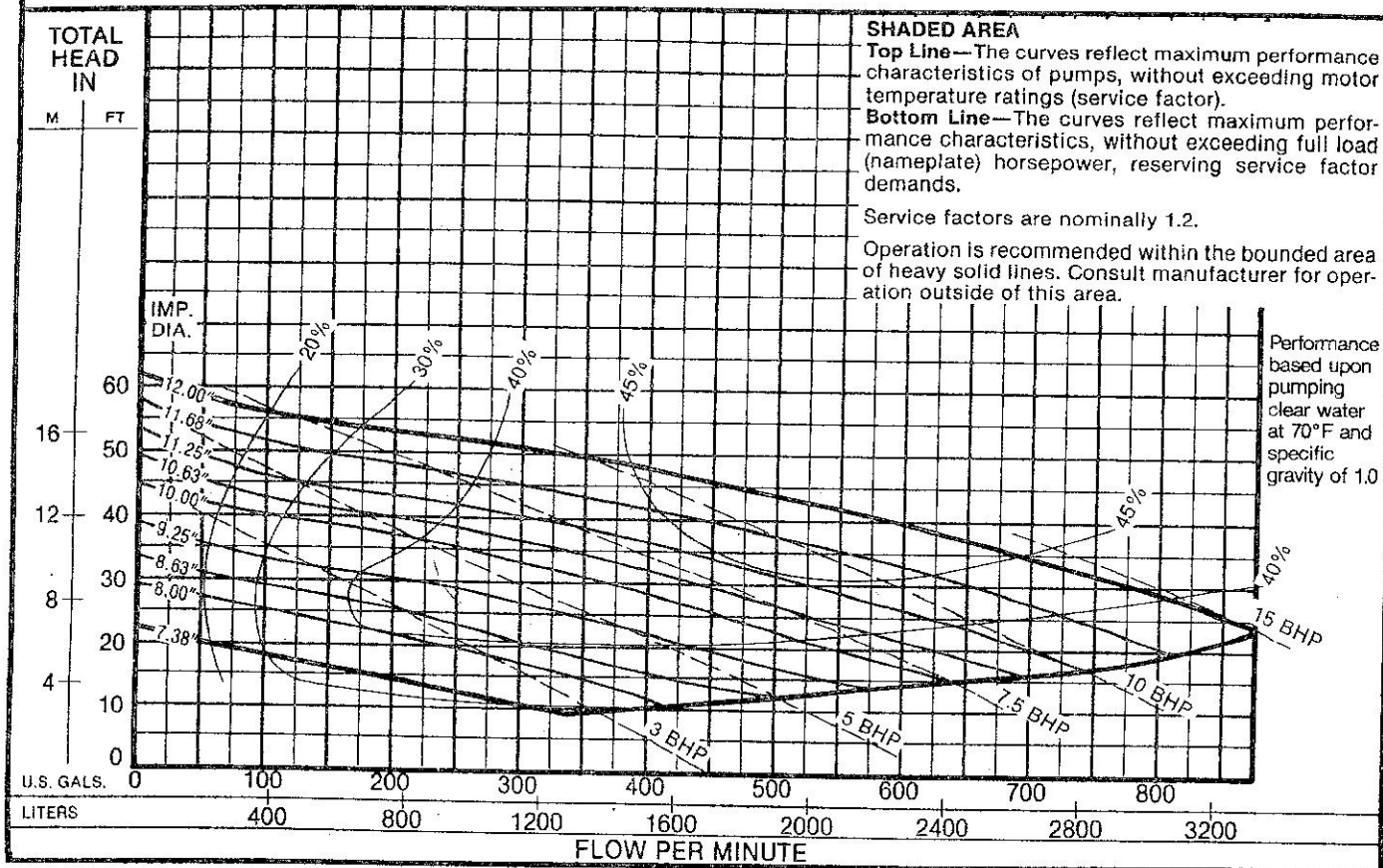
MODEL: S4LRC; 60Hz

MOTOR ELECTRICAL DATA										
HP	PHASE	RPM	VOLTS	START AMPS	RUN AMPS	RUN KW	START KVA	RUN KVA	NEC CODE LETTER	SERVICE FACTOR
15	3	1750	200	334	48.3	13.4	116	16.7	J	1.2
15	3	1750	230	290	42	13.4	116	16.7	J	1.2
15	3	1750	460	145	21	13.4	116	16.7	J	1.2
15	3	1750	575	116	16.8	13.4	116	16.7	J	1.2
20	3	1750	200	334	62.1	17.7	116	21.5	G	1.2
20	3	1750	230	290	54	17.7	116	21.5	G	1.2
20	3	1750	460	145	27	17.7	116	21.5	G	1.2
20	3	1750	575	116	21.6	17.7	116	21.5	G	1.2
25	3	1750	200	575	78	21.7	199	27.1	J	1.2
25	3	1750	230	500	68	21.7	199	27.1	J	1.2
25	3	1750	460	250	34	21.7	199	27.1	J	1.2
25	3	1750	575	200	27.2	21.7	199	27.1	J	1.2
30	3	1750	230	500	80	25.6	199	31.9	H	1.2
30	3	1750	460	250	40	25.6	199	31.9	H	1.2
30	3	1750	575	200	32	25.6	199	31.9	H	1.2

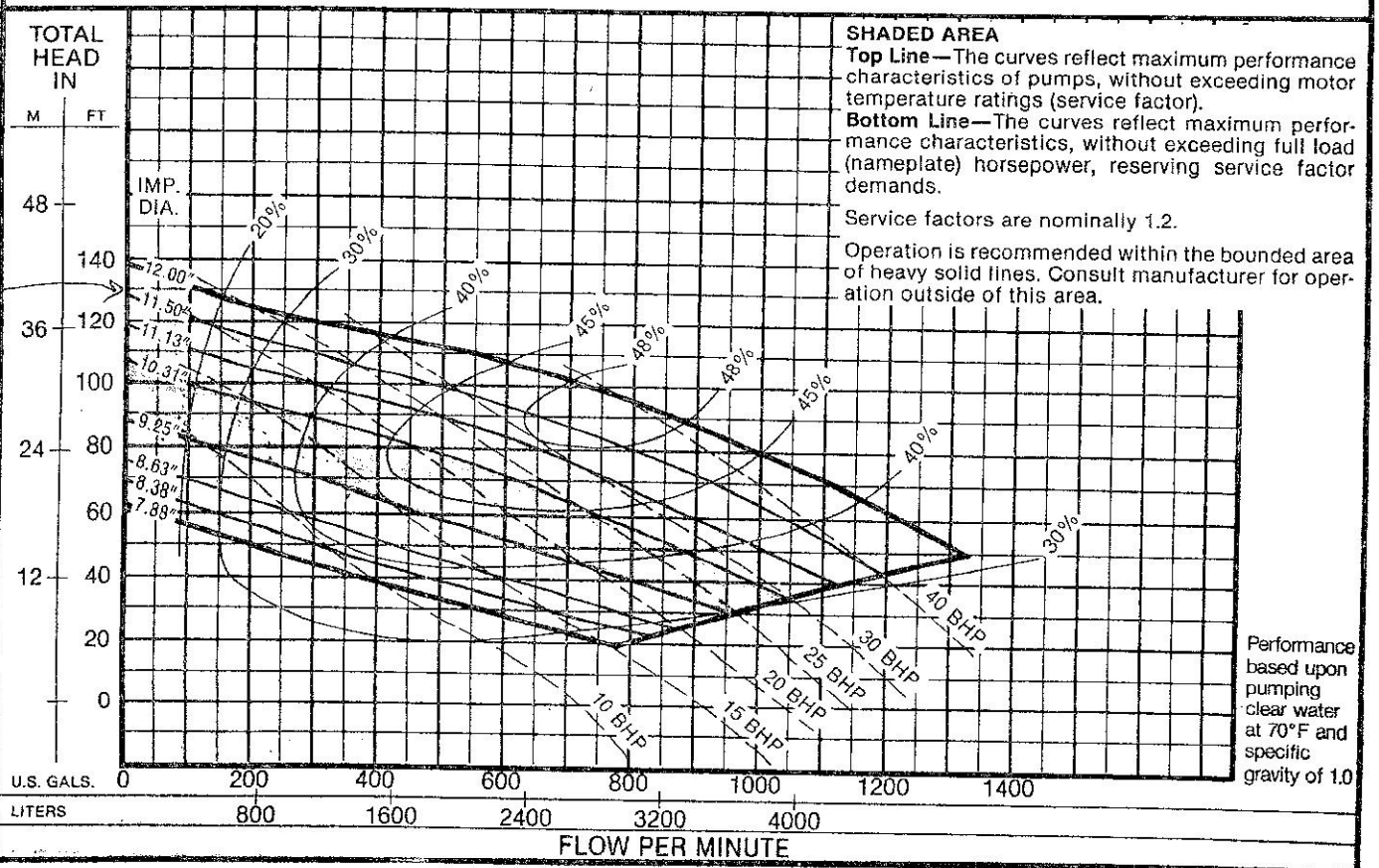
MOTOR EFFICIENCIES AND POWER FACTOR								
HP	PHASE	RPM	MOTOR EFFICIENCY			POWER FACTOR		
			100% LOAD	75% LOAD	50% LOAD	100% LOAD	75% LOAD	50% LOAD
15	3	1750	.83	.80	.74	.80	.78	.72
20	3	1750	.84	.83	.78	.82	.80	.76
25	3	1750	.86	.84	.70	.80	.77	.70
30	3	1750	.87	.85	.82	.80	.79	.73

Run Amperes, Run KW and Run KVA are based on 100% load; values will be higher when operated on service factor.

S4LRC/S4LVX—MAX. SOLIDS 3 1/4" SPHERE—1150 RPM



S4LRC/S4LVX—MAX. SOLIDS 3 1/4" SPHERE—1750 RPM



PERFORMANCE CERTIFIED

PUMP CAT. NO. SALRC2000M3-4
 SPEED 1750 VOLTAGE 230 PH 3
 WATTS 13760 AMPS 43.3 IMP. DIA. 11.5"
 CUSTOMER J.T. SEELIN & ASSOCIATES
 THEIR ORDER # 90-999Z H.P.C. # 54519-04-00

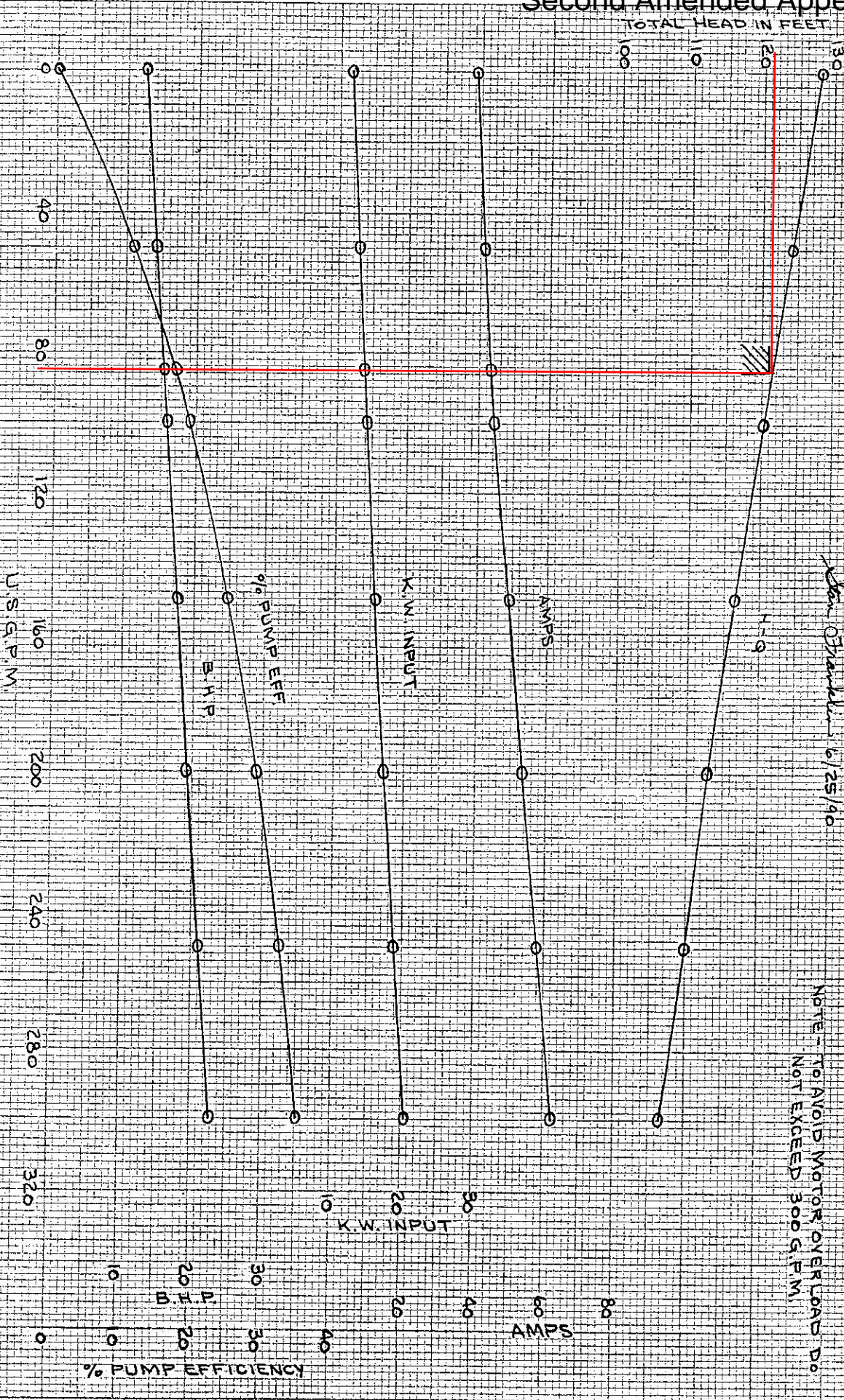
John O'Sullivan 6/25/90

AURORA/HYDROMATIC PUMPS
 ASHLAND, OHIO

PUMP-S/N S3141, TEST No. 5358

CONDITION OF SERVICE 85 G.P.M. @ 121 FT.

NOTE - TO AVOID MOTOR OVERLOAD DO NOT EXCEED 300 G.P.M.



CV413A

RENEFER & PETER CO. • 1000 N. 10th St. • Ashland, Ohio 44805

PERFORMANCE CERTIFIED

PUMP CAT. NO. SALRC2000M3-4

SPEED 1750 VOLTAGE 230 PH. 3

WATTS 13600 AMPS 44.8 IMP. DIA. 1.5"

CUSTOMER JT SEELY & ASSOCIATES

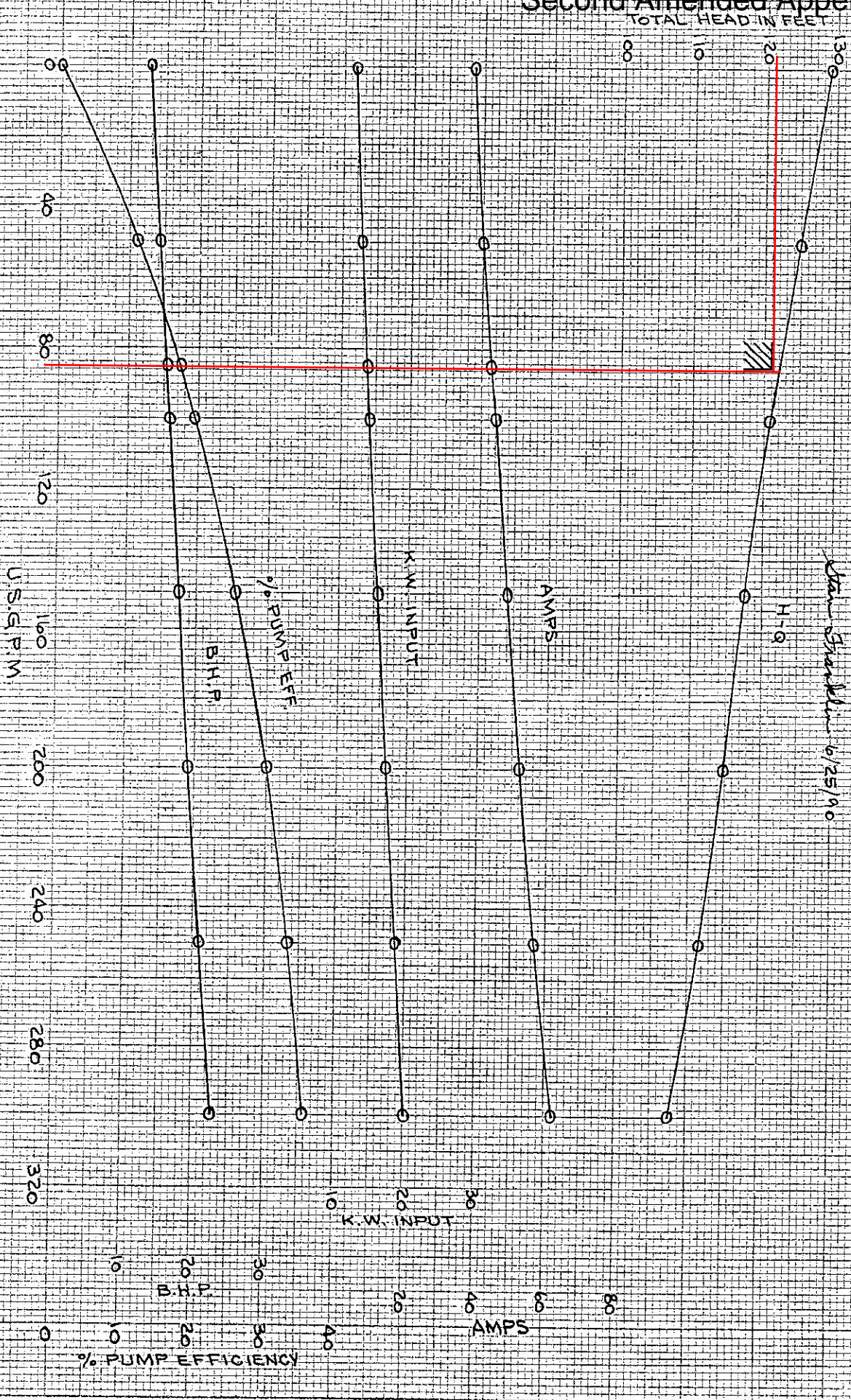
THEIR ORDER # 90-499Z HPC # 5451A-04-00

John Shanahan 6/25/90

AURORA/HYDROMATIC PUMPS
ASHLAND, OHIO

PUMP - S/N S314Z, TEST No. 5358-11

CONDITION OF SERVICE 85 G.P.M. @ 121 FT.



02917A



Second Amended Appendix A-20-b

Christiana Executive Campus
121 Continental Drive, Suite 207
Newark, DE 19713
T: 302-655-4451
F: 302-654-2895

www.pennoni.com

Act 14 Notifications

February 4, 2021

VLTWP24028

CERTIFIED MAIL/RETURN RECEIPT

Valley Township Board of Supervisors
1145 West Lincoln Highway
Coatesville, PA 19320

**Re: Act 14 Notification - Water Quality Management Permit Application
Country Ridge Pump Station**

Dear Supervisors:

In accordance with Pennsylvania Act 14 we are hereby notifying the Township that an Application for a Water Quality Management Permit shall be submitted to the Pennsylvania Department of Environmental Protection (PADEP) by Pennoni Associates on behalf of Valley Township. The Application seeks approval for a permit for the existing Country Ridge Pump Station. No changes are proposed to the existing pump station.

Acts 67 and 68 of 2000, which amended the Municipalities Planning Code (MPC) to support sound land use practices and planning efforts, direct state agencies to consider comprehensive plans and zoning ordinances when reviewing applications for permitting of facilities or infrastructure, and specify that state agencies may rely upon comprehensive plans and zoning ordinances under certain conditions as described in sections 619.2 and 1105 of the MPC.

Enclosed is a Notice of Intent (NOI) completed by the applicant for this project. PADEP invites you to review the attached NOI and comment on the land use aspects of this project; please be specific when identifying any area of conflict. If you wish to submit comments for PADEP to consider in a land use review of this project, you must respond within 30 days to the PADEP Southeast Regional Office. If there are no land use comments received by the end of the comment period, PADEP will assume that there are no substantive land use conflicts and proceed with the normal application review process.

Sincerely,

PENNONI ASSOCIATES INC.



Michael J. Ellis, PE
Senior Engineer

/ela

February 4, 2021

VLTWP24028

CERTIFIED MAIL/RETURN RECEIPT

West Caln Township Board of Supervisors
721 West Kings Highway
P.O. Box 175
Wagontown, PA 19376

**Re: Act 14 Notification - Water Quality Management Permit Application
Country Ridge Pump Station**

Dear Supervisors:

In accordance with Pennsylvania Act 14 we are hereby notifying the Township that an Application for a Water Quality Management Permit shall be submitted to the Pennsylvania Department of Environmental Protection (PADEP) by Pennoni Associates on behalf of Valley Township. The Application seeks approval for a permit for the existing Country Ridge Pump Station. No changes are proposed to the existing pump station.

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Sincerely,

PENNONI ASSOCIATES INC.



Michael J. Ellis, P.E.
Senior Engineer

/ela

February 4, 2021

VLTWP24028

CERTIFIED MAIL/RETURN RECEIPT

Brian N. O'Leary, AICP, Executive Director
Chester County Planning Commission
601 Westtown Road, Suite 270
P.O. Box 2747
West Chester, PA 19382

**Re: Act 14 Notification - Water Quality Management Permit Application
Country Ridge Pump Station**

Dear Mr. O'Leary:

In accordance with Pennsylvania Act 14 we are hereby notifying the Commission that an Application for a Water Quality Management Permit shall be submitted to the Pennsylvania Department of Environmental Protection (PADEP) by Pennoni Associates on behalf of Valley Township. The Application seeks approval for a permit for the existing Country Ridge Pump Station. No changes are proposed to the existing pump station.

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Sincerely,

PENNONI ASSOCIATES INC.



Michael J. Ellis, P.E.
Senior Engineer

/ela

February 4, 2021

VLTWP24028

CERTIFIED MAIL/RETURN RECEIPT

Jeanne E. Casner, MPH, PMP - County Health Director
Chester County Health Department
601 Westtown Road, Suite 290
West Chester, PA 19380-0990

**Re: Act 14 Notification - Water Quality Management Permit Application
Country Ridge Pump Station**

Dear Ms. Casner:

In accordance with Pennsylvania Act 14 we are hereby notifying the Commission that an Application for a Water Quality Management Permit shall be submitted to the Pennsylvania Department of Environmental Protection (PADEP) by Pennoni Associates on behalf of Valley Township. The Application seeks approval for a permit for the existing Country Ridge Pump Station. No changes are proposed to the existing pump station.

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Sincerely,

PENNONI ASSOCIATES INC.

Michael J. Ellis, P.E.
Senior Engineer

/ela