



February 27, 2024

Rosemary Chiavetta, Secretary  
Pennsylvania Public Utility Commission  
400 North Street  
Harrisburg, PA 17105-3265

Re: PUC No. A-20203022688

Dear Secretary Rosemary Chiavetta:

Attached for approval is one copy of the signed Plans for the Acquisition of Right-of-Way for State Route 68, Section 253 R/W in Butler Township and Summit Township, Butler County, consisting of sheets 1 through 37 of 37 for total of 37 sheets. These Plans were recorded in the Butler County Recorder of Deeds Office in Map Book No. 66, Page 96 (Instrument Number 202208260018410) on August 26, 2022.

Also attached is one color-coded copy of sheet(s) 1 through 3 of 3 of the Plans for the Acquisition of Right-of-Way and one copy of the Property Description(s) to be appropriated by the Commission from The Baltimore and Ohio Railroad Company, a Maryland Corporation; and manufacturers Hanover Trust Company, a New York Corporation; and D.B. Herterich, as trustees under B&O's refunding and general mortgage dated December 1, 1915, as supplemented and amended & Allegheny & Western Railroad Company, a corporation organized and existing under the laws of the state of Pennsylvania (CSX Transportation, Inc.).

Also attached is one color-coded copy of sheet(s) 1 through 2 of 2 of the Plans for the Acquisition of Right-of-Way and one copy of the Property Description(s) to be appropriated by the Commission from Pittsburgh Bessemer & Lake Erie Railroad Company (BLE/Canadian National).

The Department of Transportation hereby avers that a set of the aforesaid final Plans and a copy of the Property Description(s) are being sent to the parties of record as indicated on the Certificate of Service for examination simultaneously with this submission to the Public Utility Commission.

PennDOT respectfully request the approval of these Plans and the appropriation of the property. Should you have any questions or concerns, please feel free to contact Jeffrey Matko, P.E., Grade Crossing Engineer, at 724.357.2526.

Sincerely,

A handwritten signature in blue ink that reads "Alice M. Hammond".

for: Brian N. Allen, P.E.  
District Executive  
Engineering District 10-0

Attachments

1000/JMatko/sms

J:\Design\DL Shared\JMatko\PUC Letters\SR 68 Karns Bridge Project\Final RW Plan  
Submission to the PUC\_CSX\_BLE\_2-27-24.docx

ecc: Parties of Record

Barry J. Basom, P.E., Acting Chief, Right-of-Way and Utilities & Grade Crossing  
Section, 7<sup>th</sup> Floor, CKB

Daniel D. Leonard, P.E., Grade Crossing Engineer, Right-of-Way and Utilities &  
Grade Crossing Section, 7<sup>th</sup> Floor, CK

Karen Cummings, Senior Council in Charge, Office of Chief Counsel,  
9<sup>th</sup> Floor, CKB

William Sinick, P.E., C.B.S.I., Rail Safety Engineering Section, PUC,  
3<sup>rd</sup> Floor, CKB

Brian N. Allen, P.E., District Executive, Engineering District 10-0  
Route: AMH/CAM/APP/JM-file



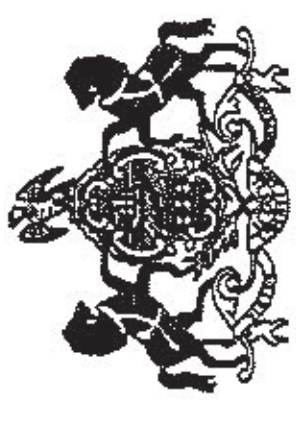
Instr: 202208260018410 8/26/2022 10:25 AM  
Pg: 37 of 373-00  
Michele Mustello  
Butler County Recorder PA

DISTRICT	COUNTY	TOWNSHIP	BOROUGH	ROUTE	SECTION	TOTAL SHEETS
10-0	BUTLER	BUTLER		0068	253 R/W	37
	BUTLER	SUMMIT		0068	253 R/W	

SR 0068 PREVIOUSLY KNOWN AS LR 214

ECMS/MPMS NO 86105

# COMMONWEALTH OF PENNSYLVANIA

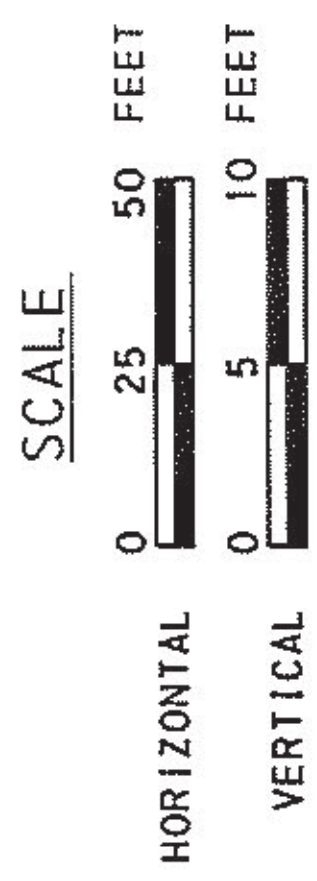


## DEPARTMENT OF TRANSPORTATION

### DRAWINGS AUTHORIZING ACQUISITION OF RIGHT-OF-WAY FOR

STATE ROUTE 0068 SECTION 253 R/W  
IN BUTLER COUNTY

FROM STA 98+00.00 TO STA 123+55.00 LENGTH 2555.00 FT Q.484 MI  
FROM SEGMENT 500 OFFSET 0138 TO SEGMENT 0520 OFFSET 0224



#### DESIGN DESIGNATION

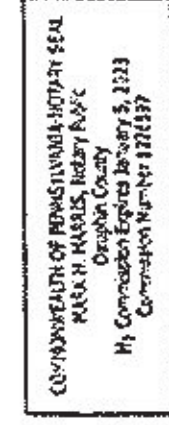
- HIGHWAY CLASSIFICATION - PRINCIPAL ARTERIAL
- HIGHWAY TYPOLOGY - REGIONAL ARTERIAL, SUBURBAN CORRIDOR
- DESIGN SPEED - 45 MPH
- PAVEMENT WIDTH - 11'-0" LANES
- SHOULDER WIDTH - 8'-0"
- MEDIAN WIDTH - VARIES

#### TRAFFIC DATA

- CURRENT YEAR ADT - 10,700 (2022)
- DESIGN YEAR ADT - 12,900 (2042)
- DAILY VOLUME - 1,300
- PERCENT PEAK HOUR - 65%
- PERCENT TRUCKS - 4%

THE PUBLIC UTILITY COMMISSION SHALL APPROPRIATE PROPERTY IN APPLICATION DOCKET NO. A-2020-3022688 BETWEEN STATION 104+63 AND STATION 121+62 PURSUANT TO THE PROVISIONS OF SECTION 2702(b) OF THE ACT OF JULY 1, 1978, P.L. 598, NO. 116 (66 P.S. 2702).

THIS PLAN PREPARED PURSUANT TO SECTION 2003(e) OF THE ADMINISTRATIVE CODE, AS AMENDED, 71 P.S. SECTION 513(e), AND SECTION 302(b)(3) OF THE EMINENT DOMAIN CODE, 26 Pa. C.S., SECTION 302(b)(3).



COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF DAUPHIN SS

BEFORE ME, a NOTARY PUBLIC, PERSONALLY CAME  
*Mark Cignarecc*, KNOWN TO ME OR  
SATISFACTORILY PROVEN TO BE THE PERSON WHO  
HAS BEEN AUTHORIZED BY WRITTEN DELEGATION  
TO AFFIX THE FACSIMILE SIGNATURE OF  
YASSMIN GRAMIAN P.E., SECRETARY OF  
TRANSPORTATION, ON PLANS AUTHORIZING  
ACQUISITION OF RIGHT-OF-WAY BY THE DEPARTMENT  
OF TRANSPORTATION, AND AS SUCH AUTHORIZED  
REPRESENTATIVE ACKNOWLEDGED THE WITHIN PLAN,  
COMPRISING 37 SHEETS, TO BE AN OFFICIAL  
PLAN OF THE DEPARTMENT OF TRANSPORTATION  
AND DESIRED THAT THE SAME BE RECORDED AS SUCH.

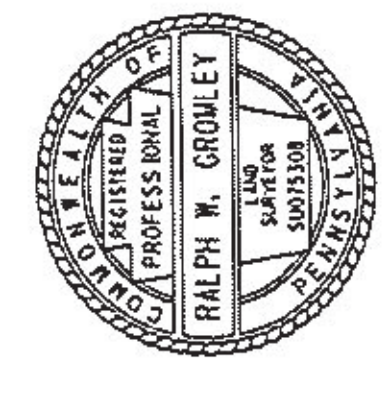
WITNESS MY HAND AND NOTARIAL SEAL  
*Mark Cignarecc*, 8/16/2022

RECORDED IN THE OFFICE FOR THE  
RECORDING OF DEEDS, ETC. IN  
BUTLER COUNTY, PA.  
INSTRUMENT NUMBER 202208260018410  
WITNESS MY HAND AND SEAL OF OFFICE  
*Michele Mustello*, 8/26/22  
MICHELE M. MUSTELLO  
RECORDER OF DEEDS

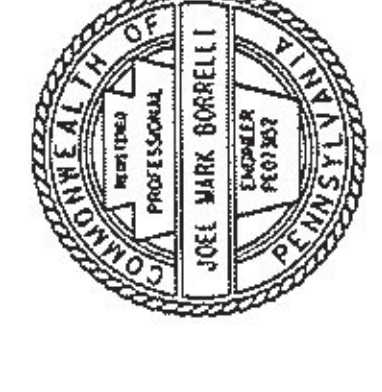


My Commission Expires First Monday in January 2024

**Michael Baker INTERNATIONAL**  
AIRSIDE BUSINESS PARK  
100 AIRSIDE DRIVE  
MOON TOWNSHIP, PA 15108  
Phone (412) 269-6300



*John R. Reel*, 11/23/2021  
ENGINEER  
REGISTERED PROFESSIONAL  
LAND SURVEYOR



*John R. Reel*, 11/23/2021  
ENGINEER  
REGISTERED PROFESSIONAL  
LAND SURVEYOR

RECOMMENDED  
*John R. Reel*, 11/23/2021  
DATE: 12-01-2021  
DISTRICT EXECUTIVE

RECOMMENDED  
*John R. Reel*, 11/23/2021  
DATE: 8/16/2022  
DEPUTY SECRETARY

APPROVED  
*John R. Reel*, 11/23/2021  
DATE: 8/16/2022  
SECRETARY OF TRANSPORTATION

(ON BEHALF OF THE GOVERNOR AS WELL AS THE SECRETARY)

**PROPERTY OWNERS**

- ① BUTLER COUNTY MEMORIAL HOSPITAL  
TAX PARCEL #053-24-14-0000
- ② JEANEAN FRANCFESE  
TAX PARCEL #053-24-1-0000
- ③ BRENT C. BENOIT, A SINGLE MAN  
TAX PARCEL #053-24-2-0000
- ④ JOHN D. WHITTINGTON, SR.  
AND LORNA M. WHITTINGTON,  
HUSBAND AND WIFE, AS TENANTS  
BY THE ENTIRETY  
TAX PARCEL #053-24-3-0000
- ⑤ MARTIN MEDIA, A CALIFORNIA  
LIMITED PARTNERSHIP, A CALIFORNIA  
PARTNERSHIP  
TAX PARCEL #053-24-4-0000
- ⑥ WILLIAM A. KLINE AND  
LUCY M. KLINE, HIS WIFE  
TAX PARCEL #053-24-5-0000
- ⑦ KEVIN J. KRIEBEL,  
A SINGLE MAN  
TAX PARCEL #053-16-45B-0000
- ⑧ KATIE J. ROBERTS,  
AN UNMARRIED WOMEN  
TAX PARCEL #053-16-45A-0000
- ⑨ JACOB A. PFAB AND HEATHER L. PFAB,  
HUSBAND AND WIFE  
TAX PARCEL #053-16-45-0000
- ⑩ WILLIAM G. KAMERER, III  
AND JESSICA M. KAMERER,  
HUSBAND AND WIFE  
TAX PARCEL #053-16-44/1-0000
- ⑪ FLOYD W. OSBORNE AND  
JOAN G. OSBORNE, HIS WIFE  
TAX PARCEL #053-16-34A-0000
- ⑫ THE BUTLER WATER COMPANY, A CORPORATION  
CREATED BY AND EXISTING UNDER THE LAWS OF  
THE COMMONWEALTH OF PENNSYLVANIA  
TAX PARCEL #053-16-34AC-0000
- ⑬ NIXSAR CORPORATION, A PENNSYLVANIA  
NOT-FOR-PROFIT CORPORATION  
TAX PARCEL #053-16-34AB-0000
- ⑭ WEINEL ENTERPRISES, LLC  
TAX PARCEL #053-16-34-0000
- ⑮ THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND  
CORPORATION; AND MANUFACTURERS HANOVER TRUST COMPANY  
A NEW YORK CORPORATION; AND D. B. HEPTERICH, AS TRUSTEES  
UNDER BBO'S REFUNDING AND GENERAL MORTGAGE, DATED DECEMBER 1,  
1915, AS SUPPLEMENTED AND AMENDED, & ALLEGHEY & WESTERN RAILROAD COMPANY, A CORPORATION  
ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA  
TAX PARCEL #053-16-35-0000
- ⑯ JEROME P. OLIVER  
TAX PARCEL #290-2F18-13-0000
- ⑰ KENNETH C. HESPENHEIDE  
TAX PARCEL #053-24-17-0000
- ⑱ KENNETH C. HESPENHEIDE  
TAX PARCEL #053-24-16-0000
- ⑳ BACHER HOLDINGS, LLC, A  
PENNSYLVANIA LIMITED LIABILITY COMPANY  
TAX PARCEL #053-24-6-0000
- ㉑ KENNETH C. HESPENHEIDE  
TAX PARCEL #053-24-15-0000
- ㉒ PITTSBURGH BESSEMER & LAKE  
ERIE RAILROAD COMPANY  
TAX PARCEL #053-24-15-0000
- ㉓ UNKNOWN OWNER
- ㉔ KRIS T. KENNEDY AND  
KATHY J. KENNEDY, HIS WIFE  
TAX PARCEL #053-24-B11-0000

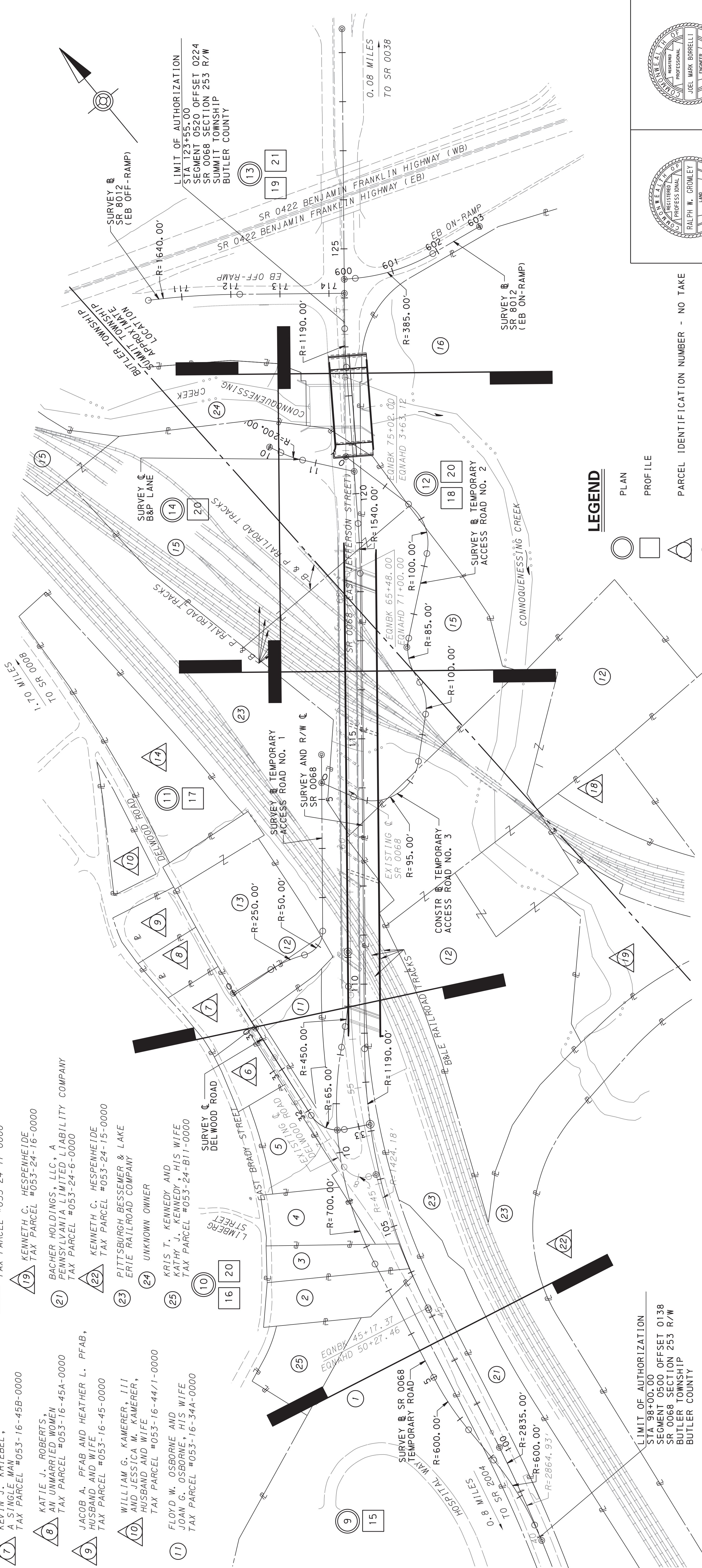
**SHEET INDEX BLOCK**

TITLE SHEET	SHEET
INDEX MAP	1
GENERAL NOTES AND LOCATION MAP	2
PROJECT COORDINATES	3
GEOMETRIC LAYOUT	4
TYPICAL SECTIONS	5
PLAN SHEETS	6 TO 8
PROFILE SHEETS	9 TO 14
PROPERTY PLOTS	15 TO 21
	22 TO 31

**TABULATION OF SEGMENT EQUALITIES**

SEGMENT 0490, OFFSET 2694 =
SEGMENT 0500, OFFSET 0000 =
STA 96+62.00
SEGMENT 0500, OFFSET 1331 =
SEGMENT 0510, OFFSET 0000 =
STA 109+93.00
SEGMENT 0510, OFFSET 1138 =
SEGMENT 0520, OFFSET 0000 =
STA 121+31.00

ALL REQUIRED RIGHT-OF-WAY FOR THIS PROJECT SHALL BE ACQUIRED IN FEE SIMPLE UNLESS OTHERWISE NOTED. AREAS, IF ANY, NOT TO BE ACQUIRED IN FEE SIMPLE SHALL BE ACQUIRED IN THE LESSER ESTATE OR INTEREST NOTED ON THE PLAN SHEET.



**LEGEND**

- PLAN
- PROFILE
- △ PARCEL IDENTIFICATION NUMBER - NO TAKE
- PARCEL IDENTIFICATION NUMBER
- SHEET BREAK



DES: TJM    DWG: BSP    CKD: JMB

LIMIT OF AUTHORIZATION  
STA 98+00.00  
SEGMENT 0500 OFFSET 0138  
SR 0068 SECTION 253 R/W  
BUTLER TOWNSHIP  
BUTLER COUNTY

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

**INDEX MAP**

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	3 OF 37
REVISION NUMBER	REVISIONS	DATE	BY	
	BUTLER TOWNSHIP AND SUMMIT TOWNSHIP			

### GENERAL NOTES

THE LEGAL RIGHT-OF-WAY ON SR 0068 FROM STATION 98+00.00 TO STATION 118+35.88 IS VARIABLE WIDTH, BASED ON PLAN OF ROUTE 214, SECTION R-1, SIGNED ON JULY 26, 1936.

THE LEGAL RIGHT-OF-WAY ON SR 0068 FROM STATION 118+35.88 TO STATION 122+38.89 IS VARIABLE WIDTH, BASED ON PLAN OF ROUTE 214, SECTION R-6, SIGNED ON JUNE 11, 1956.

THE LEGAL RIGHT-OF-WAY ON SR 0068 FROM STATION 122+38.89 TO STATION 123+55.00 IS VARIABLE WIDTH, BASED ON PLAN OF STATE ROUTE 0422, 291 R/W, SIGNED ON JANUARY 14, 2002 AND RECORDED ON FEBRUARY 28, 2002 IN THE BUTLER COUNTY RECORDERS OFFICE IN HWY PLAN BOOK 65, PAGE 48.

THE LEGAL RIGHT-OF-WAY ON DELWOOD ROAD FROM STATION 5+00.00 TO STATION 8+36.95 VARIES IN WIDTH, BASED ON PLAN OF ROUTE 214, SECTION R-1, SIGNED ON JULY 26, 1936.

ALL REQUIRED RIGHT-OF-WAY FOR THIS PROJECT SHALL BE ACQUIRED IN FEE SIMPLE UNLESS OTHERWISE NOTED. AREAS, IF ANY, NOT TO BE ACQUIRED IN FEE SIMPLE SHALL BE ACQUIRED IN THE LESSER ESTATE OR INTEREST NOTED ON THE PLAN SHEET.

ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.

THE HORIZONTAL CONTROL IS TIED TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (SPSC 83) (SOUTH ZONE). THE COMBINED GRID FACTOR IS 0.99994268.

THE VERTICAL CONTROL IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) GEOID 12B.

ALL CURVE DATA IS BASED ON THE ARC DEFINITION.

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER REINQUISHED IN WRITING BY THE DEPARTMENT.

DRAINAGE EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF THE HIGHWAY DRAINAGE FACILITIES. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO THE NECESSARY FLOW OF WATER. HOWEVER, NO STRUCTURE OF ANY KIND MAY BE ERRECTED IN THE AREA, NOR ANY PIPE OR DITCH BE CONNECTED TO THE DEPARTMENT'S PIPE OR DITCH WITHOUT ADVANCED WRITTEN APPROVAL BY THE DEPARTMENT OF TRANSPORTATION.

CHANNEL EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF THE COURSE OF THE CHANNEL. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO THE NECESSARY FLOW OF WATER.

SLOPE EASEMENT. AN EASEMENT FOR THE SUPPORT AND THE PROTECTION OF THE HIGHWAY INCLUDING THE RIGHT TO CONSTRUCT, INSPECT, MAINTAIN, REPAIR, RECONSTRUCT AND ALTER DRAINAGE FACILITIES AND THE CONTOUR OF THE LAND. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO THE NECESSARY SUPPORT AND PROTECTION OF THE HIGHWAY-RIGHT-OF-WAY AND THE SAFETY OF THE TRAVELING PUBLIC.

THE FILLING OF THIS PLAN IS NOT A CONDEMNATION OF THE PROPERTIES DESIGNATED THEREIN AND DOES NOT IN ANY MANNER WHATSOEVER RESTRICT THE USE OR DISPOSAL THEREOF. AUTHORIZATION TO CONDEMN UNDER THIS PLAN EXTENDS FOR ONLY ONE YEAR FROM THE DATE OF THE SECRETARY'S SIGNATURE, INITIALLY AUTHORIZING ACQUISITION OR SUBSEQUENTLY REVISING THE PLAN OR REAUTHORIZING ACQUISITION THEREUNDER.

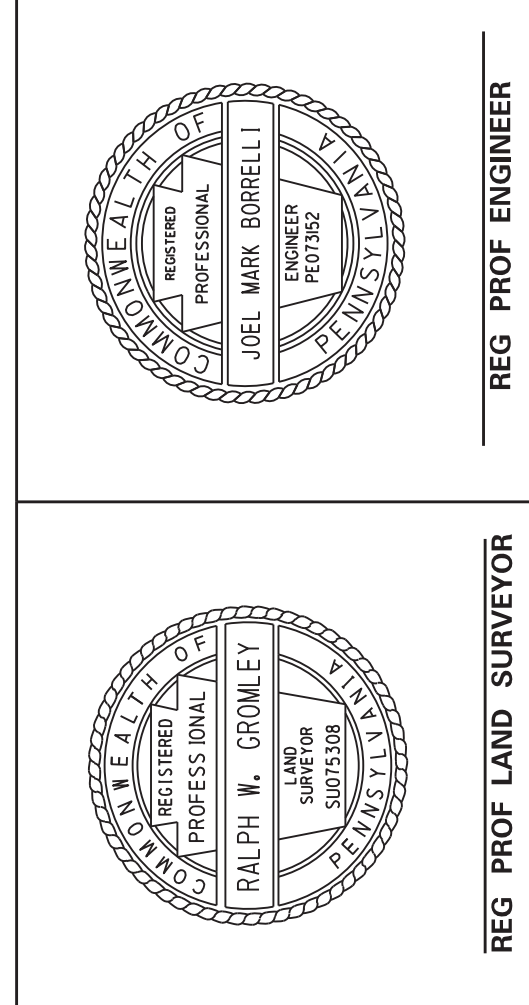
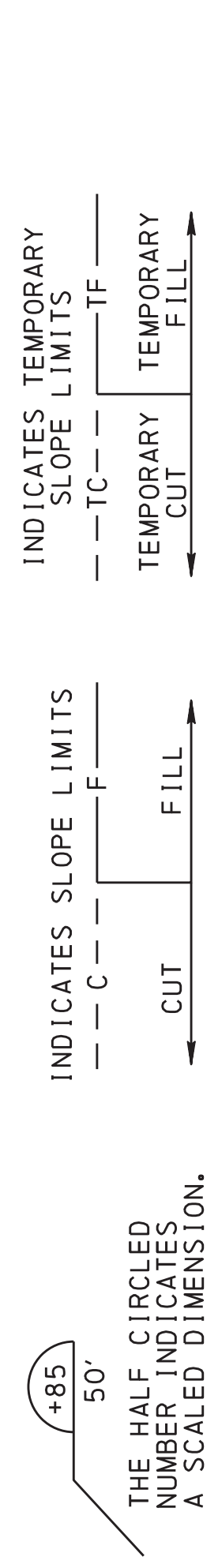
SR 0068 IS AN NHS ROUTE.

SR 0068 PREVIOUSLY KNOWN AS LR 214.

THERE ARE NO NAVIGABLE STREAMS WITHIN THE PROJECT LIMITS.

BUILDINGS AND STRUCTURES MARKED C HAVE BEEN OR ARE TO BE REMOVED OR ALTERED BY THE DEPARTMENT OR OTHER AUTHORITY RESPONSIBLE FOR THE PAYMENT OF PROPERTY DAMAGES.

BUILDINGS AND STRUCTURES MARKED O ARE ENCROACHMENTS WHICH ARE THE RESPONSIBILITY OF THE PROPERTY OWNERS TO REMOVE.



REG. PROF. LAND SURVEYOR  
REG. PROF. ENGINEER

### TABULATION OF OVERALL AND AUTHORIZATION LENGTH

SR 0068 STA 98+00.00 TO STA 123+55.00 = 2555.00 FT = 0.484 MI

### LIST OF STATION EQUALITIES

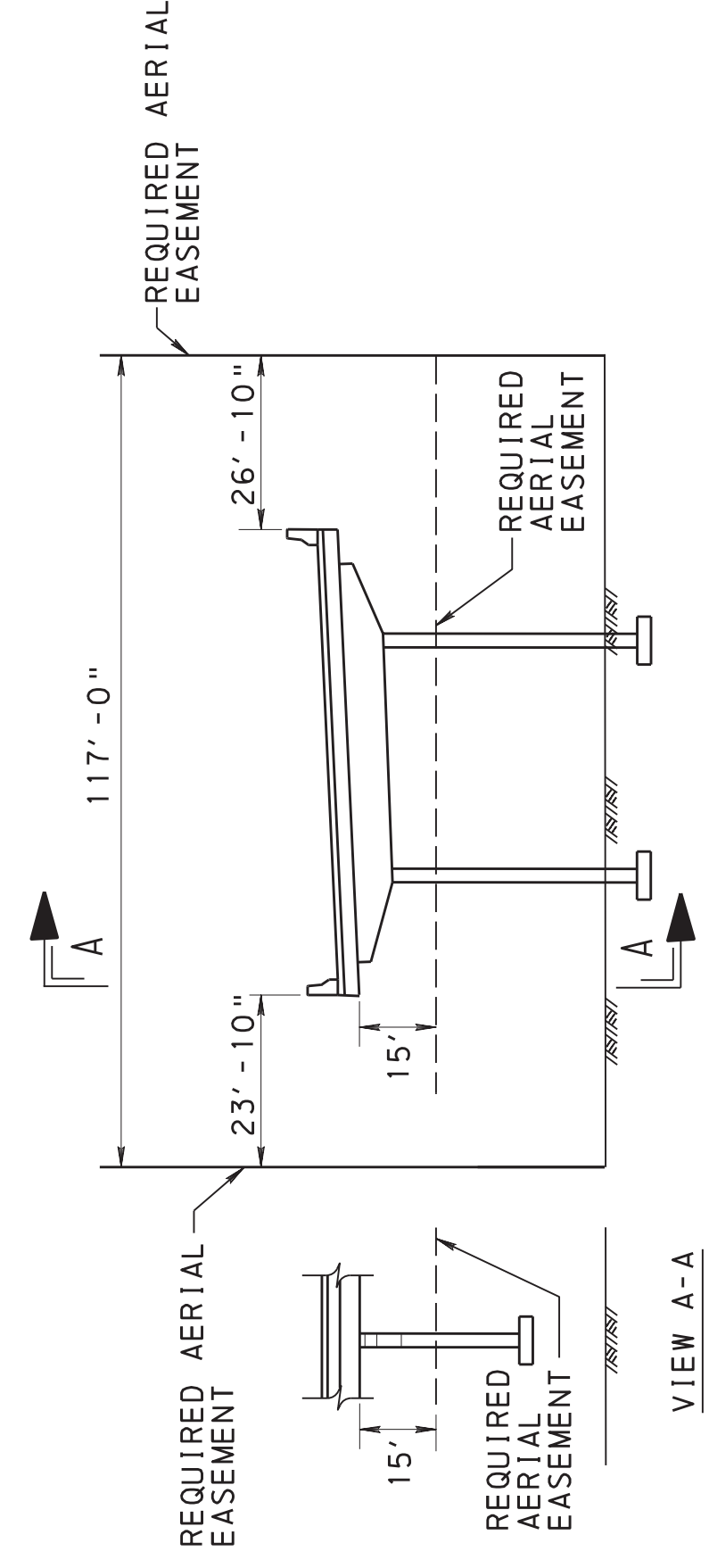
STA 45+17.37 BK = STA 50+27.46 AHD EXISTING SR 0068  
STA 65+48.00 BK = STA 71+00.00 AHD EXISTING SR 0068  
STA 75+02.00 BK = STA 3+63.12 AHD EXISTING SR 0068

### GENERAL NOTES (CONT.)

UNDERGROUND STRUCTURE SUPPORT EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF UNDERGROUND STRUCTURE SUPPORT ELEMENTS. THE EASEMENT SHALL NOT PREVENT THE OWNER FROM MAKING USE OF THE SURFACE FOR FARMING, PARKING AND SIMILAR LEGAL PURPOSES WHICH SHALL NOT INJURE THE STRUCTURE SUPPORT ELEMENTS. HOWEVER, NO STRUCTURE OF ANY KIND MAY BE ERRECTED THEREON NOR IS ANY EXCAVATION OR DRILLING ALLOWED WITHOUT ADVANCED WRITTEN APPROVAL BY THE DEPARTMENT OF TRANSPORTATION.

### AERIAL EASEMENT NOTES

- WHERE AN AERIAL EASEMENT IS ACQUIRED, IT SHALL INCLUDE AN EASEMENT IN THE AIR FOR THE ACCOMMODATION OF THE ELEVATED HIGHWAY STRUCTURE UNLIMITED IN VERTICAL DIMENSION ABOVE THE STRUCTURE. A SURFACE EASEMENT UNLIMITED IN VERTICAL DIMENSION FOR THE ACCOMMODATION OF PIERS AND OTHER APPURTENANCES AND A TEMPORARY EASEMENT FOR CONSTRUCTION PURPOSES INCLUDING THE STORAGE OF MATERIALS DURING CONSTRUCTION FOR THE ENTIRE AREA. THE FOLLOWING LIMITATIONS SHALL BE IMPOSED ON THE PROPERTY BENEATH THE AREA AFFECTED BY THE AERIAL EASEMENT.
- NO USE SHALL BE MADE OF THE PROPERTY WHICH SHALL ENDANGER THE STRUCTURE OR THE HEALTH, SAFETY OR WELFARE OF THE TRAVELING PUBLIC.
- NO FLAMMABLE, EXPLOSIVE, DANGEROUS OR HAZARDOUS MATERIAL SHALL BE USED, PLACED OR STORED ON THE PROPERTY.
- NO BUILDING OR OTHER FACILITY SHALL BE CONSTRUCTED ON THE PROPERTY WITHOUT PRIOR AUTHORITY OF THE DEPARTMENT OF TRANSPORTATION. IF AND WHEN SUCH AUTHORITY IS GRANTED, THE PLANS FOR THE BUILDING OR FACILITY AND CONSTRUCTION METHODS SHALL BE SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF TRANSPORTATION.
- NO INTERFERENCE SHALL BE MADE WITH THE RIGHT OF THE DEPARTMENT OF TRANSPORTATION TO ENTER UPON THE PROPERTY FOR THE PURPOSES OF INSPECTION, MAINTENANCE, REPAIR, PAINTING, RECONSTRUCTION OR ALTERATION OF THE STRUCTURE OR APPURTENANCES. MOVEABLE ITEMS MAY HAVE TO BE REMOVED BY THE OWNER DURING SOME OR ALL OF THE ABOVE OPERATIONS.
- ANY SUBSTANTIAL CHANGE IN PROPERTY USE TO BE MADE SUBSEQUENT TO THE ACQUISITION OF THE EASEMENT SHALL BE SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF TRANSPORTATION.
- THE NOTES ON THIS DRAWING SHALL NOT BE CONSTRUED AS LIMITING OR INTERFERING IN ANY WAY WITH THE PRESENT AND FUTURE OPERATION, USE, MAINTENANCE, REPAIR, RENEWAL, CHANGE, ADDITION, BETTERMENT OR ALTERATION OF THE RAILROAD AND ITS SUPPORTING FACILITIES.



SKETCH SHOWING ESTATE TO BE ACQUIRED FOR A LIMITED AERIAL EASEMENT

USE OF AIRSPACE BENEATH THE ESTABLISHED GRADE LINE OF THE HIGHWAY SHALL PROVIDE SUFFICIENT VERTICAL AND HORIZONTAL CLEARANCES FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, VENTILATION AND SAFETY OF THE HIGHWAY FACILITY. THE ESTATE ACQUIRED ABOVE THE AERIAL EASEMENT LINE MAY BE ENTERED ON BY MOVING VEHICLES SUCH AS TRUCKS OR RAILROAD ROLLING STOCK.

LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT. PROPERTY IN WHICH THE DEPARTMENT INTENDS TO VACATE ITS EXISTING SURFACE EASEMENT FOR HIGHWAY PURPOSES AND RETAIN AN AERIAL EASEMENT AS DEFINED ELSEWHERE ON THIS PLAN, SUBJECT TO THE APPROVAL OF THIS PLAN BY THE GOVERNOR, THE FILING OF THIS PLAN AS A PUBLIC RECORD IN THE OFFICE OF THE DEPARTMENT AND THE RECORDING OF THIS PLAN IN THE COUNTY RECORDER OF DEEDS OFFICE. THIS NOTE SHALL CONSTITUTE AN ORDER OF VACATION PURSUANT TO SECTION 210 OF THE STATE HIGHWAY LAW, 36 P.S. SECTION 670-210, AS TO THE SURFACE EASEMENT FOR HIGHWAY PURPOSES, EFFECTIVE WHEN THE CONSTRUCTION IS COMPLETED.

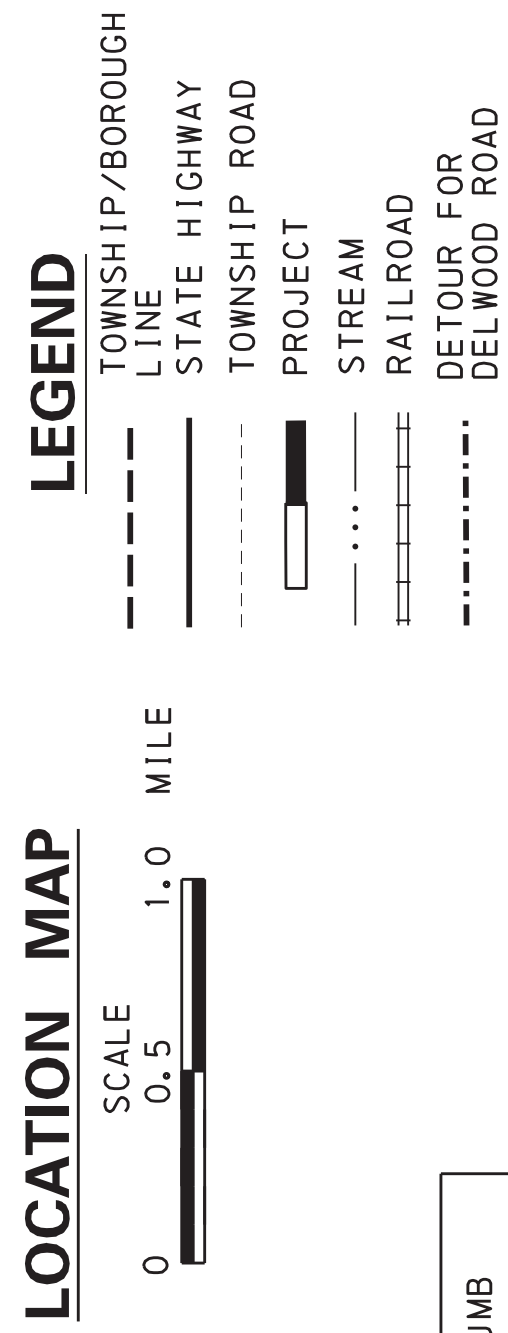
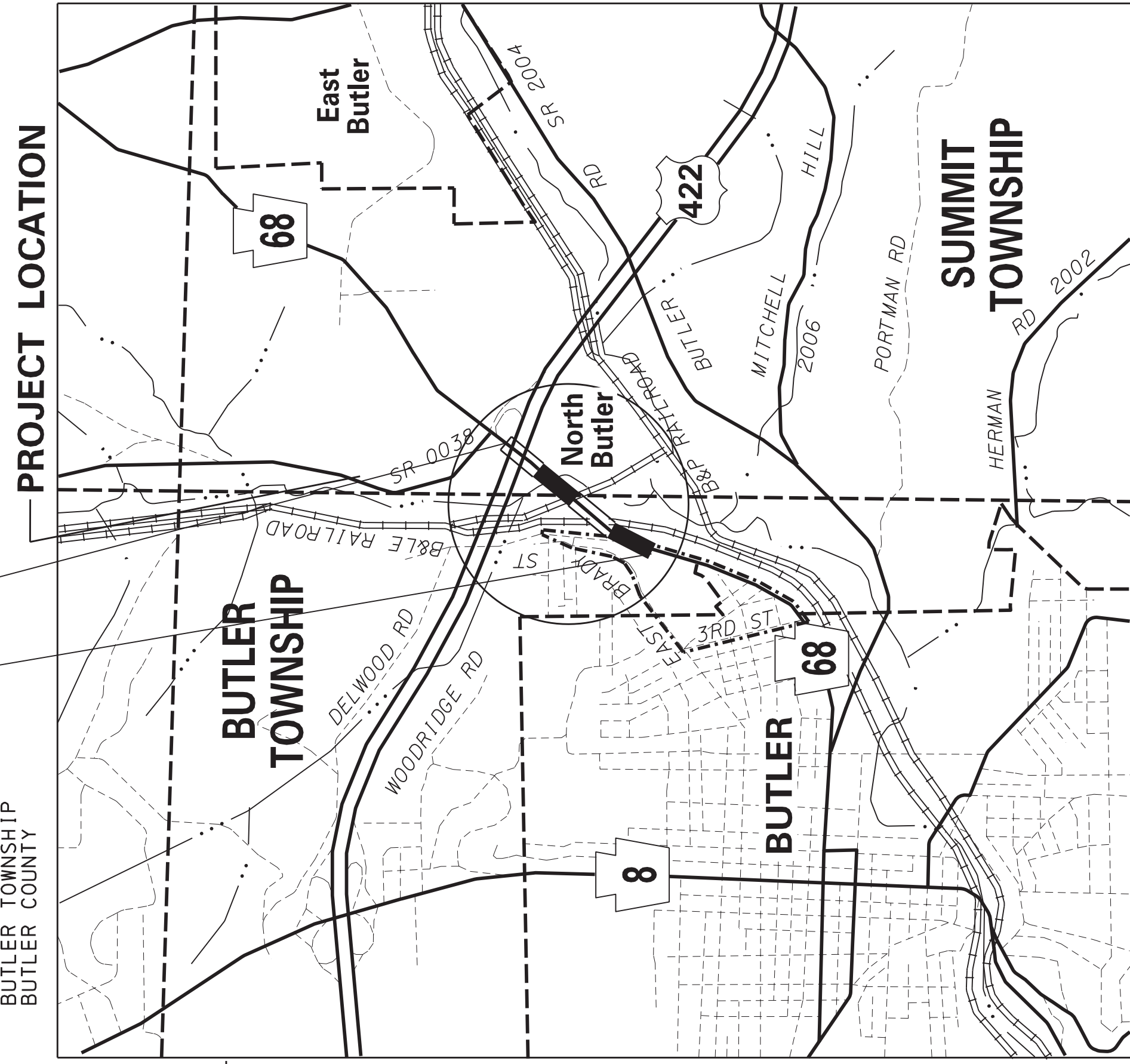
### LIST OF PUBLIC UTILITIES

- G- PEOPLES GAS COMPANY LLC  
4536 ROUTE 136, SUITE 1  
GREENSBURG, PA 15601  
ATTN: GARY BAIRD  
PHONE: (724) 837-1057  
EMAIL: gbaird@isse.com
- S- BUTLER AREA SEWER AUTHORITY  
100 LITMAN ROAD  
BUTLER, PA 16001  
ATTN: EVAN OSWALD  
PHONE: (724) 282-1978  
EMAIL: eoswald@pasopa.org
- W- PENNSYLVANIA AMERICAN WATER COMPANY  
205 ONEIDA VALLEY ROAD  
BUTLER, PA 16001  
ATTN: DAVID DROZD  
PHONE: (412) 780-6693  
EMAIL: david.drozdz@amwater.com
- T- ARMSTRONG CABLE  
660 SOUTH BENBROOK ROAD  
BUTLER, PA 16001  
ATTN: ROB WOLTERS  
PHONE: (724) 482-4885  
EMAIL: rwolther@aqoc.com
- TU- CENTURY LINK  
218 SOUTH WASHINGTON STREET  
BUTLER, PA 16001  
ATTN: MICHAEL MONTAG  
PHONE: (724) 284-7235  
EMAIL: Michael.C.Montag@centurylink.com
- E- WEST PENN POWER  
501 HANSEN AVENUE  
BUTLER, PA 16001  
ATTN: SCOTT CURZI  
PHONE: (724) 284-3531  
EMAIL: scurzi@firstenergycorp.com

PENNSYLVANIA ONE CALL SYSTEM, INC 1-800-242-1776  
DESIGN SERIAL NO. 20201411337 BUTLER TOWNSHIP, BUTLER COUNTY  
DESIGN SERIAL NO. 20201411338 SUMMIT TOWNSHIP, BUTLER COUNTY

LIMIT OF AUTHORIZATION  
STA 123+55.00  
SEGMENT 0520 OFFSET 0224  
SR 0068 SECTION 253 R/W  
SUMMIT TOWNSHIP  
BUTLER COUNTY

LIMIT OF AUTHORIZATION  
STA 98+00.00 OFFSET 0138  
SR 0068 SECTION 253 R/W  
BUTLER TOWNSHIP  
BUTLER COUNTY



DES: TJM DWG: BSP CKD: JMB

### GENERAL NOTES AND LOCATION MAP

### SUMMARY OF PROJECT COORDINATES

BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, SPSC 83

ROUTE	CURVE NUMBER	STATION	POINT	COORDINATES		BEARING	
				NORTH	EAST		
SURVEY AND R/W ☉ SR 0068	SR-1	93+49.37	POT	565372.3356	1379662.6374	N 21°04'02"E	
		96+02.21	PC	565608.2793	1379753.5256		
		98+15.73	PI	565807.5202	1379830.2755		
	SR-2	100+28.43	PT	566016.0089	1379876.3180	N 12°27'12"E	
		103+15.36	PC	566296.1857	1379938.1920		
		105+96.86	PI	566571.0577	1379998.8946		
	SR-3	108+68.19	PT	566789.6016	1380176.3148	N 39°04'14"E	
		118+37.56	PC	567542.1940	1380787.2910		
		118+88.36	PI	567581.6332	1380819.3089		
	SR-4	119+39.13	PT	567623.0968	1380848.6582	N 35°17'31"E	
		122+58.77	PC	567883.9975	1381033.3318		
		122+98.03	PI	567916.0376	1381056.0108		
	SURVEY AND R/W ☉ SR 0068	SR-1	123+37.25	PT	567946.5134	1381080.7519	N 39°04'14"E
			129+48.54	POT	568421.0960	1381466.0317	
			30+00.00	POT	566963.8615	1380031.7740	S 7°01'06"W
SURVEY ☉ DELWOOD ROAD	D-1	32+11.09	PC	566754.3515	1380005.9818		
		32+55.52	PI	566710.2520	1380000.5528		
		32+89.04	PT	566689.1823	1380039.6719	S 61°41'34"E	
SURVEY ☉ B&P LANE	BP-1	33+42.79	POT	566663.6933	1380086.9960		
		10+00.00	POT	567858.1406	1380808.8278	S 24°36'08"E	
		10+25.78	PC	567834.7006	1380819.5605		
SURVEY ☉ SR 0068 TEMPORARY ROAD	T-1	10+49.31	PI	567813.3111	1380829.3544		
		10+72.62	PT	567794.7779	1380843.8442	S 38°01'10"E	
		11+80.27	POT	567709.9701	1380910.1498		
	T-2	1+00.00	POT	56787.1043	1379815.6380	N 14°52'54"E	
		1+34.72	PC	565820.6584	1379824.5546		
		2+13.62	PI	565896.9173	1379844.8196		
	T-3	2+91.63	PT	565975.8228	1379844.6790	N 0°06'08"W	
		3+71.76	PC	566055.9569	1379844.5362		
		4+36.41	PI	566120.6021	1379844.4210	N 12°11'48"E	
	T-4	5+00.56	PT	566183.7882	1379858.0787		
		7+60.64	PC	566438.0033	1379913.0271		
		9+96.66	PI	566668.6962	1379962.8912		
	SURVEY ☉ TEMPORARY ACCESS ROAD NO. 1	A1-1	12+15.93	PT	566822.0978	1380142.2612	N 49°27'44"E
			12+58.57	PC	566849.8171	1380174.6730	
			12+99.77	PI	566876.5958	1380205.9848	
SURVEY ☉ TEMPORARY ACCESS ROAD NO. 2	A2-1	13+40.75	PT	566908.6152	1380231.9132	N 38°59'58"E	
		14+11.13	POT	566963.3104	1380276.2038		
		0+00.00	POT	567047.5085	1380042.1878		
SURVEY ☉ TEMPORARY ACCESS ROAD NO. 3	A3-1	0+90.61	PC	567035.7551	1380132.0367	S 82°32'50"E	
		1+28.48	PI	567030.8439	1380169.5797		
		1+65.77	PRC	567015.0361	1380203.9848	S 65°19'23"E	
	A3-2	2+04.47	PI	566998.8781	1380239.1521		
		2+31.64	PT	567028.8720	1380263.6099	N 39°11'41"E	
		5+91.19	POT	567307.5278	1380490.8339		
	SURVEY ☉ TEMPORARY ACCESS ROAD NO. 4	A3-3	0+00.00	POT	567743.9719	1380916.3228	S 13°14'26"E
			1+60.24	PC	567587.9899	1380953.0248	
			2+23.84	PI	567526.0786	1380967.5923	S 51°40'26"W
	SURVEY ☉ TEMPORARY ACCESS ROAD NO. 3 (EB OFF-RAMP)	A3-1	2+73.54	PT	567486.6365	1380917.6969	
			4+68.99	POT	567365.4292	1380764.3660	
			0+00.00	POT	567263.1065	1380454.6116	
		A3-2	0+70.95	PC	567199.6359	1380486.3181	S 26°32'39" E
			1+95.26	PI	567088.4322	1380541.8694	
			2+45.42	PT	567171.2340	1380634.5844	N 48°13'57" E
A3-3		3+42.50	PC	567235.9016	1380706.9940		
		3+77.48	PI	567259.2058	1380733.0882		
		4+09.81	PT	567293.6946	1380738.9632	N 9°40'02" E	
SURVEY ☉ SR 8012 (EB OFF-RAMP)		EB-1	4+31.97	PC	567315.5385	1380742.6841	
			4+70.36	PI	567353.3863	1380749.1313	
			5+05.28	PT	567377.1952	1380779.2504	N 51°40'26" E
SURVEY ☉ SR 8012 (EB ON-RAMP)		EB-2	710+31.39	PC	568246.0654	1380809.2379	N 57°27'21" W
			711+24.90	PI	568195.7643	1380888.0604	
			712+18.20	PT	568136.8301	1380960.6548	N 50°55'46" W
SURVEY ☉ SR 8012 (EB ON-RAMP)	EB-2	714+31.39	POT	568002.4596	1381126.1706		
		600+00.00	POT	568024.6416	1381144.1786		
		600+22.63	PC	568011.8764	1381162.8679	N 55°39'58" W	
SURVEY ☉ SR 8012 (EB ON-RAMP)	EB-2	601+07.47	PI	567964.0274	1381232.9231		
		601+89.64	PT	567950.0542	1381316.6011		
		602+99.50	POT	567931.9591	1381424.9630	N 80°31'11" W	

NOTE: FOUR (4) PLACE COORDINATES ARE USED FOR COMPUTATIONAL PURPOSES ONLY AND DO NOT IMPLY A PRECISION BEYOND TWO (2) PLACES.

### SUMMARY OF REQUIRED RIGHT-OF-WAY BREAK POINT COORDINATES

BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, SPSC 83

SURVEY AND R/W ☉ SR 0068	ROUTE	STATION	OFFSET	COORDINATES		EAST
				NORTH	EAST	
EXISTING ☉ SR 0068	DR-1	98+00	* 30' LT	565803.9580	1379789.5251	
		98+00	45' LT	565808.3839	1379775.1116	
		99+00	45' LT	565902.9512	1379802.3346	
		101+25	110' LT	566134.0241	1379789.7299	
		102+25	155' LT	566241.3752	1379767.3530	
		104+15	165' LT	566441.3987	1379806.1465	
		104+75	105' LT	566485.4481	1379884.3742	
		105+75	110' LT	566588.0337	1379921.5559	
		105+95	135' LT	566618.6912	1379908.4542	
		106+60	135' LT	566682.8901	1379941.8485	
		106+70	128' LT	566689.1513	1379953.3861	
		107+25	160' LT	566758.4834	1379957.5376	
		107+65	175' LT	566804.8888	1379969.9231	
		108+00	* 171' LT	566835.4039	1379996.2365	
		108+25	* 141' LT	566840.3516	1380037.1821	
		* 108+64	* 167' LT	566890.6164	1380043.5453	
		* 108+62	* 170' LT	566891.0559	1380040.0730	
		109+20	* 206' LT	566959.8688	1380048.7843	
		109+50	160' LT	566953.9615	1380103.6594	
		110+40	90' LT	566979.7152	1380214.7303	
		110+50	* 57' LT	566966.6797	1380246.6533	
		118+30	* 57' LT	567572.2475	1380738.2706	
		118+75	95' LT	567629.6082	1380735.3420	
		119+25	95' LT	567667.1989	1380763.4100	
		119+25	* 75' LT	567655.2834	1380779.9206	
		121+00	* 93' LT	567808.2812	1380865.4872	
		121+25	170' LT	567873.0268	1380817.2886	
		122+10	165' LT	567939.5166	1380870.4780	
		* 122+55	* 93' LT	567934.6171	1380955.1699	
		101+00	* 30' RT	566079.3555	1379921.3465	
		101+00	35' RT	566078.3439	1379925.9273	
		101+50	35' RT	566127.1675	1379936.7095	
		101+70	50' RT	566143.4623	1379955.6694	
		103+00	50' RT	566270.4033	1379983.7030	
		105+50	55' RT	566496.6980	1380061.3200	
107+00	60' RT	566621.1021	1380131.3181			
109+00	60' RT	566776.4814	1380242.9464			
109+60	40' RT	566835.6695	1380265.2360			
110+00	* 3' RT	566890.0445	1380261.7215			
117+75	* 3' RT	567491.7302	1380750.1872			
117+75	60' RT	567455.8043	1380794.4402			
118+10	135' RT	567435.7066	1380874.7279			
119+00	165' RT	567492.7334	1380957.8607			
119+55	135' RT	567558.0577	1380968.0185			
121+00	120' RT	567685.0755	1381039.5482			
122+25	110' RT	567792.8801	1381103.6040			
123+40	* 47' RT	567918.7549	1381119.3037			

NOTE: FOUR (4) PLACE COORDINATES ARE USED FOR COMPUTATIONAL PURPOSES ONLY AND DO NOT IMPLY A PRECISION BEYOND TWO (2) PLACES.

\* SCALED DIMENSION

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	4 OF 37
REVISION NUMBER	BUTLER TOWNSHIP AND SUMMIT TOWNSHIP			
	REVISIONS	DATE	BY	

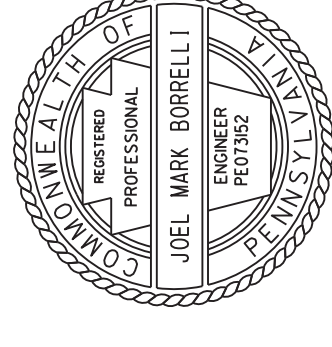
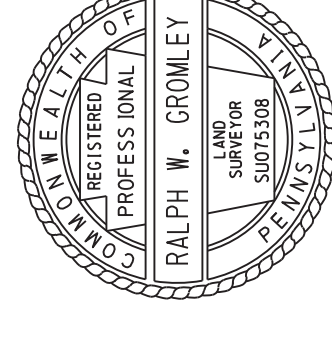
NOTE:  
FOR GEOMETRIC LAYOUT  
SEE SHEET 5

### SUMMARY OF EXISTING PROJECT COORDINATES

BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, SPSC 83

ROUTE	CURVE NUMBER	STATION	POINT	COORDINATES		BEARING
				NORTH	EAST	
EXISTING ☉ SR 0068	EX-1	35+47.03	POT	565372.3356	1379662.6374	N 21°04'02"E
		37+99.96	PC	565608.3556	1379753.5550	
		40+16.62	PI	565810.5354	1379831.4370	
		42+32.46	PT	566022.1284	1379878.0271	N 12°25'04"E
		45+17.37	PC	566300.3732	1379939.2932	
		53+64.82	PI	566629.8387	1380011.8375	
		50+27.46	EQNBK	566300.3732	1379939.2932	
		56+89.96	PT	566891.7527	1380224.4668	
		69+50.00	EQNBK	567870.0055	1381018.6406	
		3+63.12	EQNBK	567870.0055	1381018.6406	
EXISTING ☉ DELWOOD ROAD	DR-1	5+80.93	POT	568039.1053	1381155.9207	
		5+00.00	POT	566892.2530	1380023.5929	S 7°12'54"W
		7+64.05	PC	566630.2978	1379990.4311	
		7+97.37	PI	566597.2350	1379986.2456	
		8+21.42	PT	566583.5905	1380016.6511	
		8+36.95	POT	566577.2319	1380030.8207	

NOTE: FOUR (4) PLACE COORDINATES ARE USED FOR COMPUTATIONAL PURPOSES ONLY AND DO NOT IMPLY A PRECISION BEYOND TWO (2) PLACES.

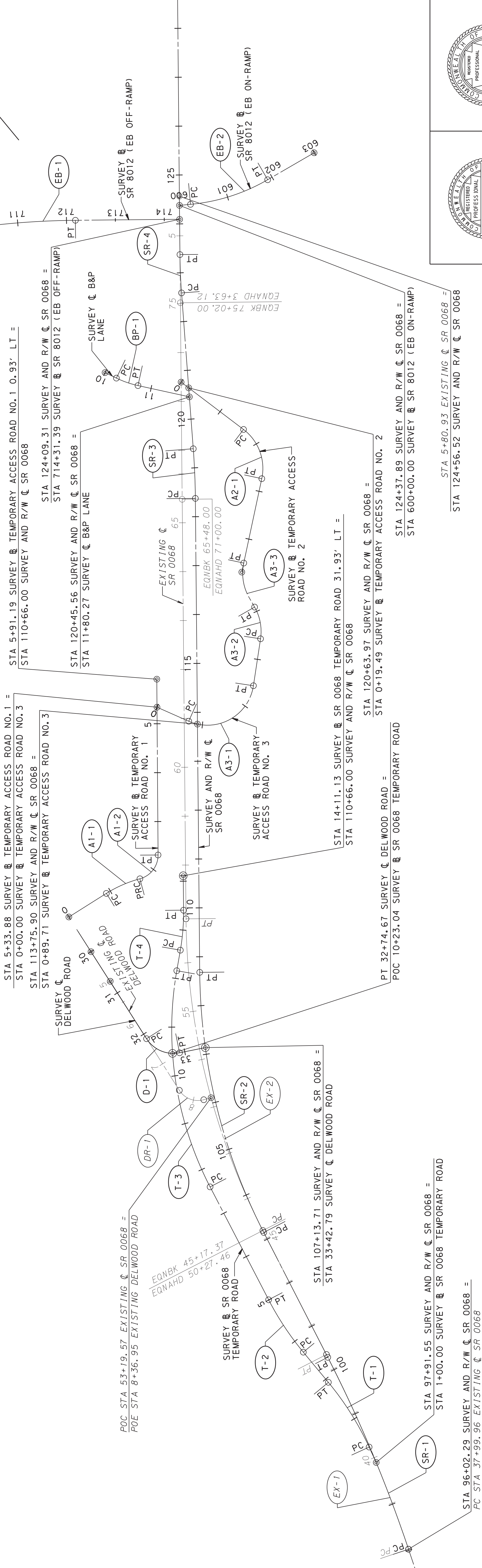
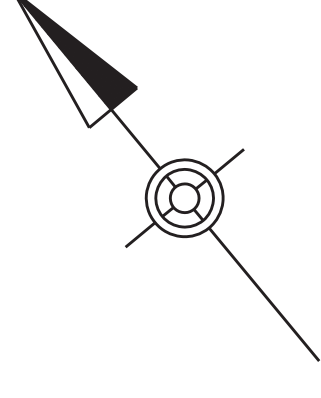


DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	5 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

**LEGEND**

- PC = POINT OF CURVATURE
- PI = POINT OF INTERSECTION
- PT = POINT OF TANGENT
- POT = POINT ON TANGENT
- PCC = POINT ON CURVE
- PRC = POINT OF COMPOUND CURVE
- POE = POINT OF END
- N/C = NORMAL CROWN
- N/A = NON APPLICABLE

CURVE	SR-1	SR-2	SR-3	SR-4	D-1	T-1	T-2	T-3
PI STA	98+15.73	105+96.86	118+88.36	122+98.03	32+55.52	2+13.62	4+36.41	9+96.66
Δ	8°36'50" LT	26°37'03" RT	3°46'43" LT	3°46'43" RT	68°42'40" LT	14°59'02" LT	12°17'56" RT	37°15'55" RT
D	2°01'16"	4°01'53"	3°43'14"	4°48'53"	88°08'50"	9°32'57"	9°32'57"	8°11'06"
T	213.51'	281.49'	50.80'	39.25'	44.43'	78.91'	64.65'	236.02'
L	426.22'	552.83'	101.56'	78.48'	77.95'	156.91'	128.79'	455.28'
R	2835.00'	1190.00'	1540.00'	1190.00'	65.00'	600.00'	600.00'	700.00'
E	8.03'	32.84'	0.84'	0.65'	13.74'	5.17'	3.47'	38.72'
PC STA	96+02.21	103+15.36	118+37.56	122+58.77	32+11.09	1+34.72	3+71.76	7+60.64
PT STA	100+28.43	108+68.19	119+39.13	123+37.25	32+89.04	2+91.63	5+00.56	12+15.93
SE	MATCH EXISTING	5.0%	4.4%	5.0%	2.0%	2.0% N/C	2.0% N/C	2.0% N/C
CURVE	T-4	A1-1	A1-2	A2-1	A3-1	A3-3	EB-1	EB-2
PI STA	12+99.77	1+28.48	2+04.47	2+23.84	1+95.26	4+70.36	711+24.90	601+07.47
Δ	10°27'45" LT	17°13'27" RT	75°28'56" LT	64°54'52" RT	105°13'23" LT	42°00'24" RT	6°31'35" RT	24°51'13" LT
D	12°43'57"	22°55'06"	114°35'30"	57°17'45"	60°18'41"	57°17'45"	3°29'37"	14°52'55"
T	41.20'	37.86'	38.70'	63.60'	124.31'	38.39'	93.51'	84.84'
L	82.17'	75.15'	65.87'	113.30'	174.47'	67.31'	186.81'	167.00'
R	450.00'	250.00'	50.00'	100.00'	95.00'	100.00'	1640.00'	385.00'
E	1.88'	2.85'	13.23'	18.51'	61.45'	7.12'	2.66'	9.24'
PC STA	12+58.57	0+90.61	1+65.77	1+60.24	0+70.95	4+31.97	710+31.39	600+22.63
PT STA	13+40.75	PRC 1+65.77	2+31.64	2+73.54	2+45.42	4+09.81	712+18.20	601+89.64
SE	2.0% N/C	N/A	N/A	N/A	N/A	N/A	EXISTING	EXISTING



**GEOMETRIC LAYOUT**

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

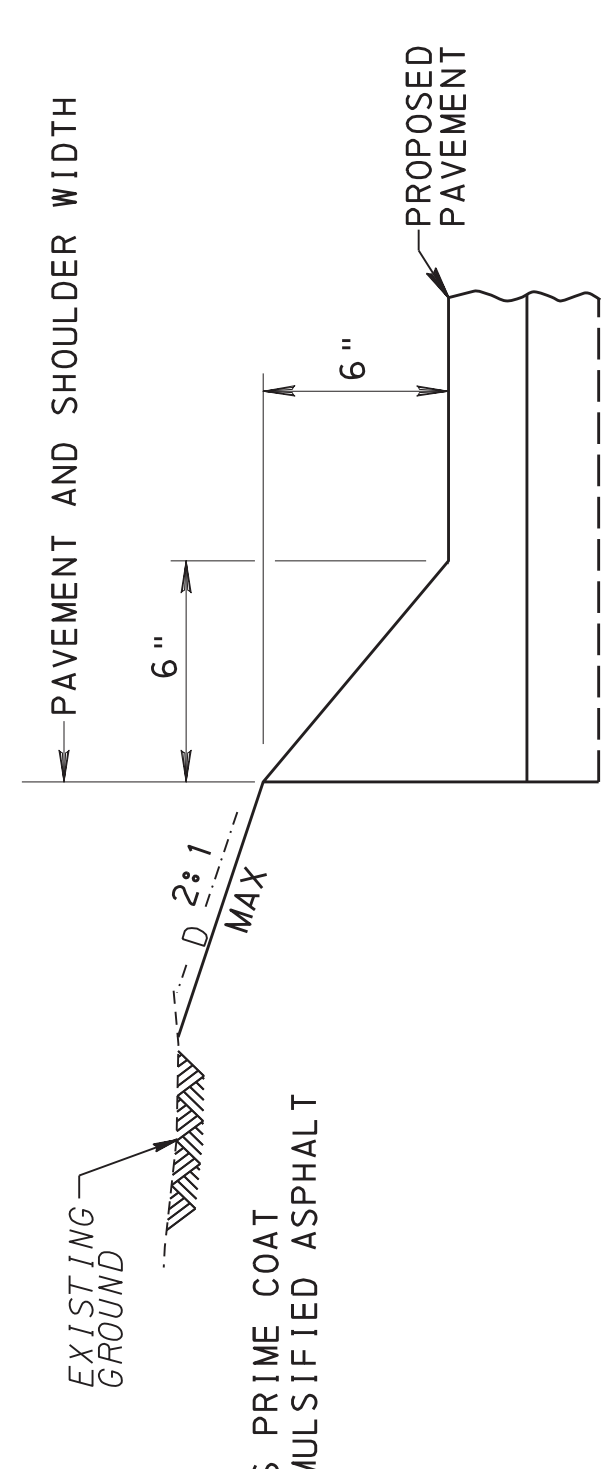
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	6 OF 37
REVISIONS				
REVISION NUMBER	DATE	BY		
			BUTLER TOWNSHIP AND SUMMIT TOWNSHIP	

**LEGEND:**

- SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64S-22, 0.3 TO <3 MILLION ESALS, 9.5 MM MIX, 1 1/2" DEPTH, SRL-H
- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64S-22, 0.3 TO <3 MILLION ESALS, 19.0 MM MIX, 2 1/2" DEPTH
- SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22, <0.3 MILLION ESALS, 25.0 MM MIX, 7 1/2" DEPTH
- SUBBASE 8" DEPTH (NO. 2A)
- SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE (LEVELING), PG. 64S-22, 0.3 TO <3 MILLION ESALS, 9.5.0 MM MIX, SRL-L (1" AVERAGE DEPTH)

**SEEDING LEGEND:**

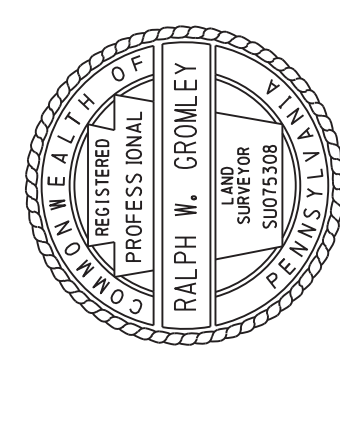
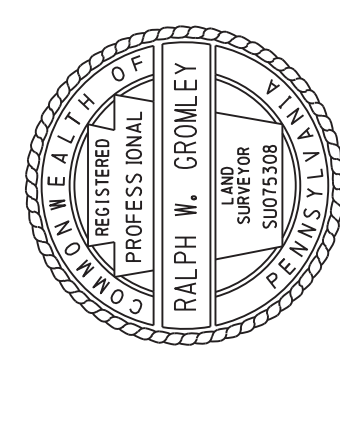
- B --- SEEDING & SOIL SUPPLEMENTS - FORMULA B SEED MIXTURE AND MULCHING-STRAW ON 4" OF TOPSOIL (3:1 AND FLATTER)
- D - - - - SEEDING & SOIL SUPPLEMENTS - FORMULA D SEED MIXTURE (STEEPER THAN 3:1)



**ASPHALT WEDGE CURB DETAIL**  
NOT TO SCALE

- NOTES:**
- STA 101+00.00 TO STA 105+00.00 - 0'-0" TO 11'-0" TRAVEL LANE
  - STA 105+00.00 TO STA 106+50.00 - 11'-0" TRAVEL LANE
  - STA 107+50.00 TO BEGINNING OF STRUCTURE - 14'-0" PAINTED MEDIAN
  - STA 107+50.00 TO BEGINNING OF STRUCTURE ONLY - 11'-0"
  - EXISTING WIDTH AT STA 101+00.00 (TRANSITION TO STA 102+00.00):  
 LT SHLD - 5.5'  
 TRAVEL LANE - 11.5'  
 RT SHLD - 5.9'
  - ▲ STA 101+60.00 TO STA 105+50.00 - 8'-0" TO 20'-6" WIDENED SHOULDER

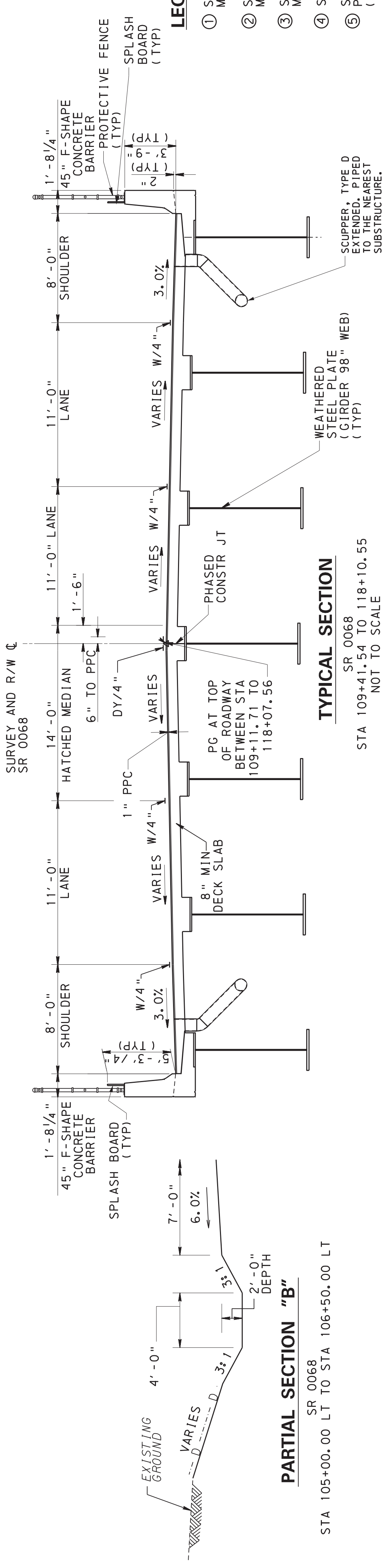
- CROSS SLOPES VARY ON THE BRIDGE AT THE BEGINNING AND END  
 OUTLET PAVEMENT BASE DRAINS AS DIRECTED.  
 SUPERELEVATION ROTATION IS ABOUT THE INSIDE EDGE OF TRAVEL LANE  
 -DY/4" - DOUBLE YELLOW LINE / WIDTH  
 -W/4" - WHITE LINE / WIDTH  
 \* SLOPES VARY FROM NORMAL CROWN, UP TO 5.0% SUPERELEVATION



**TYPICAL SECTIONS**

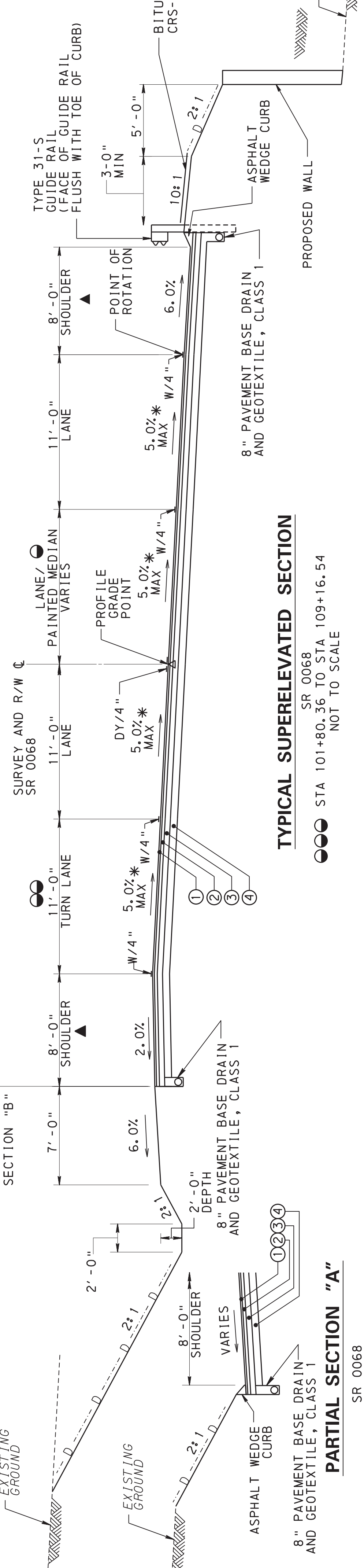
REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

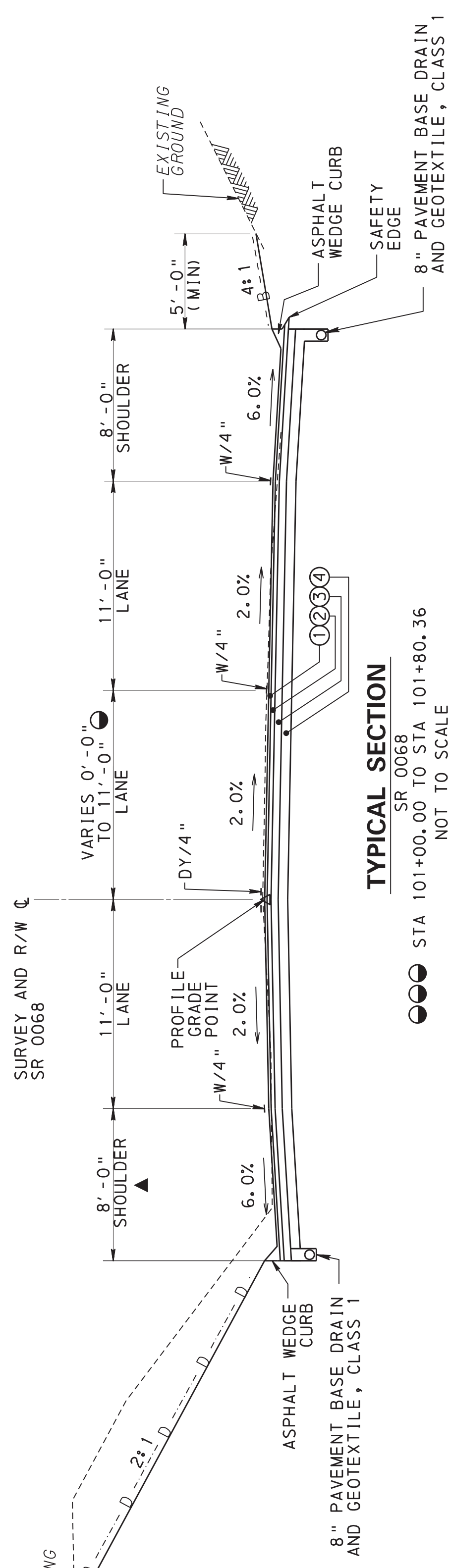


**TYPICAL SECTION**  
SR 0068  
STA 109+41.54 TO 118+10.55  
NOT TO SCALE

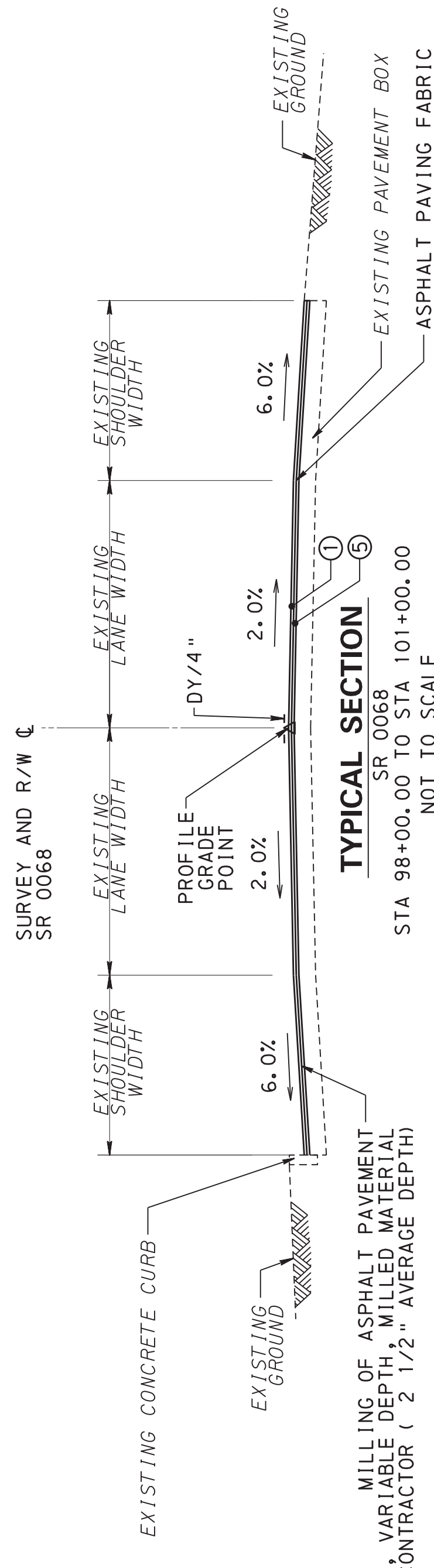
SR 0068 APPROACH SLABS  
 STA 109+16.54 TO STA 109+41.54  
 STA 118+10.55 TO STA 118+42.68



**TYPICAL SUPERELEVATED SECTION**  
SR 0068  
STA 101+80.36 TO STA 109+16.54  
NOT TO SCALE



**TYPICAL SECTION**  
SR 0068  
STA 101+00.00 TO STA 101+80.36  
NOT TO SCALE



**TYPICAL SECTION**  
SR 0068  
STA 98+00.00 TO STA 101+00.00  
NOT TO SCALE

MILLING OF ASPHALT PAVEMENT SURFACE, VARIABLE DEPTH, MILLED MATERIAL RETAINED BY CONTRACTOR ( 2 1/2" AVERAGE DEPTH)

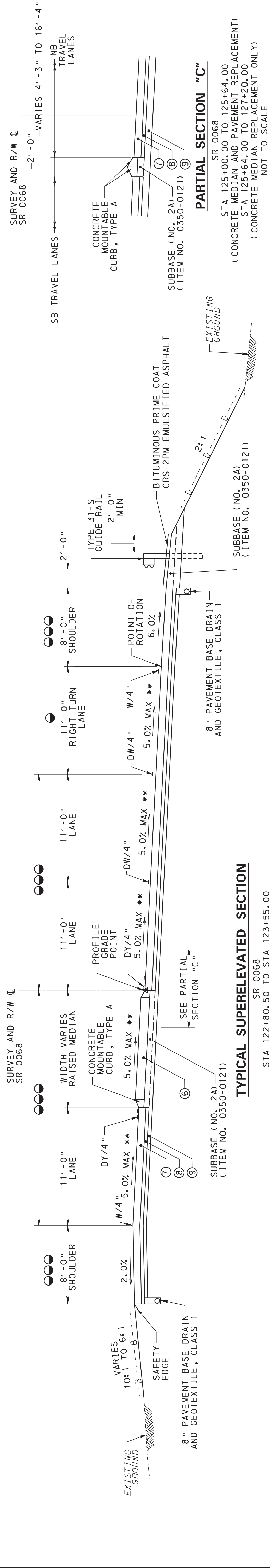
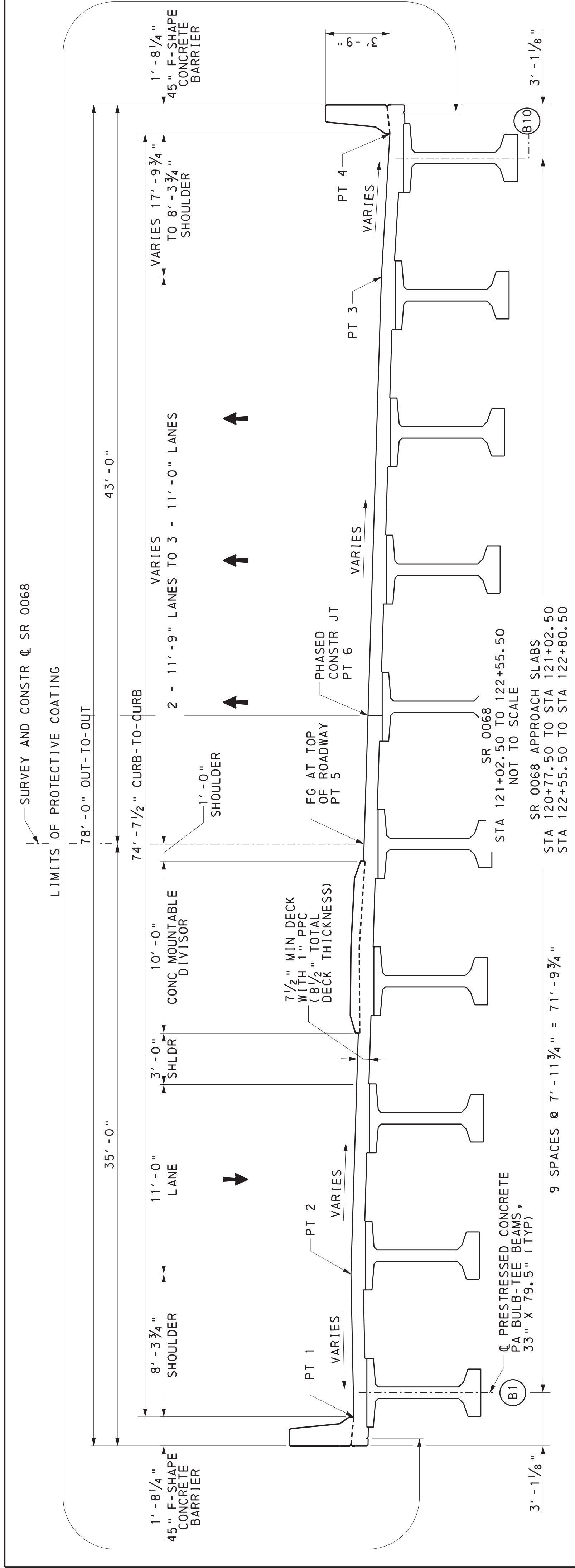
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	7 OF 37
REVISIONS				
REVISION NUMBER	DATE	BY		
			BUTLER TOWNSHIP AND SUMMIT TOWNSHIP	

**LEGEND:**

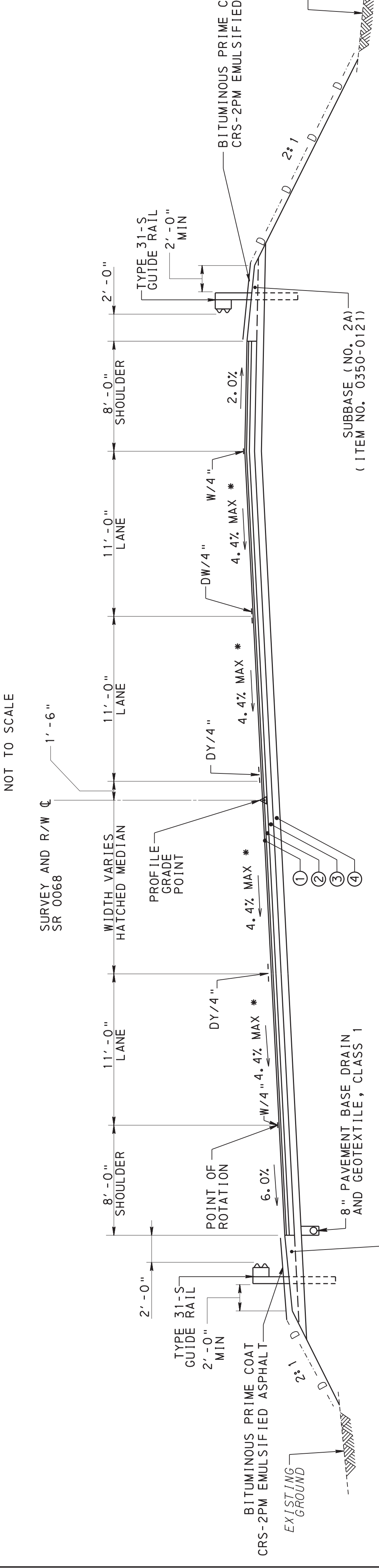
- ① SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64S-22, 0.3 TO <3 MILLION ESALS, 9.5 MM MIX, 1 1/2" DEPTH, SRL-H
- ② SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64S-22, 0.3 TO <3 MILLION ESALS, 19.0 MM MIX, 2 1/2" DEPTH
- ③ SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22, <0.3 MILLION ESALS, 25.0 MM MIX, 7 1/2" DEPTH
- ④ SUBBASE 8" DEPTH (NO. 2A)
- ⑥ PLAIN CEMENT CONCRETE PAVEMENT, 4" DEPTH
- ⑦ PLAIN CEMENT CONCRETE PAVEMENT, 9" DEPTH
- ⑧ TREATED PERMEABLE BASE COURSE, 4" DEPTH
- ⑨ SUBBASE 4" DEPTH (NO. 2A)

**SEEDING LEGEND:**

- B --- SEEDING & SOIL SUPPLEMENTS - FORMULA B SEED MIXTURE AND MULCHING-STRAW ON 4" OF TOPSOIL (3:1 AND FLATTER)
- D --- SEEDING & SOIL SUPPLEMENTS - FORMULA D SEED MIXTURE (STEEPER THAN 3:1)



**TYPICAL SUPERELEVATED SECTION**  
 SR 0068  
 STA 122+80.50 TO STA 123+55.00  
 NOT TO SCALE



**TYPICAL SUPERELEVATED SECTION**  
 SR 0068  
 STA 118+42.68 TO STA 120+77.50  
 NOT TO SCALE

**PARTIAL SECTION "C"**  
 SR 0068  
 STA 125+00.00 TO 125+64.00  
 (CONCRETE MEDIAN AND PAVEMENT REPLACEMENT)  
 STA 125+64.00 TO 127+20.00  
 (CONCRETE MEDIAN REPLACEMENT ONLY)  
 NOT TO SCALE

**NOTES:**  
 ● STA 121+00.97 TO STA 121+75.00 - 0"-0" TO 11'-0" RIGHT TURN LANE  
 STA 121+75.00 TO STA 124+08.69 - 11'-0" RIGHT TURN LANE  
 CROSS SLOPES VARY ON THE BRIDGE AT THE BEGINNING AND END  
 OUTLET PAVEMENT BASE DRAINS AS DIRECTED.  
 ○ EXISTING WIDTH AT STA 125+64.00 (TRANSITION TO STA 125+00.00):  
 LT SHLD. - 10.3'  
 RT OF CENTERLINE - 31.3'  
 RT OF CENTERLINE - 20.0'  
 RT SHLD. - 9.1'

SUPERELEVATION ROTATION IS ABOUT THE INSIDE EDGE OF TRAVEL LANE  
 -D/Y/4" - DOUBLE YELLOW LINE / WIDTH  
 -W/4" - WHITE LINE / WIDTH  
 -DW/4" - DASHED WHITE LINE / WIDTH

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	8 OF 37
REVISION NUMBER	REVISIONS	DATE	BY	
	BUTLER TOWNSHIP AND SUMMIT TOWNSHIP			

**LEGEND:**

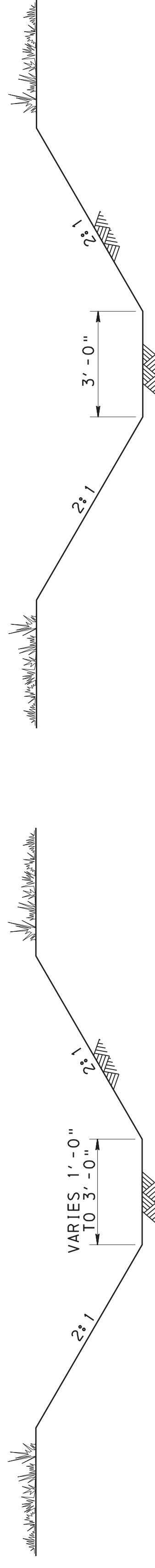
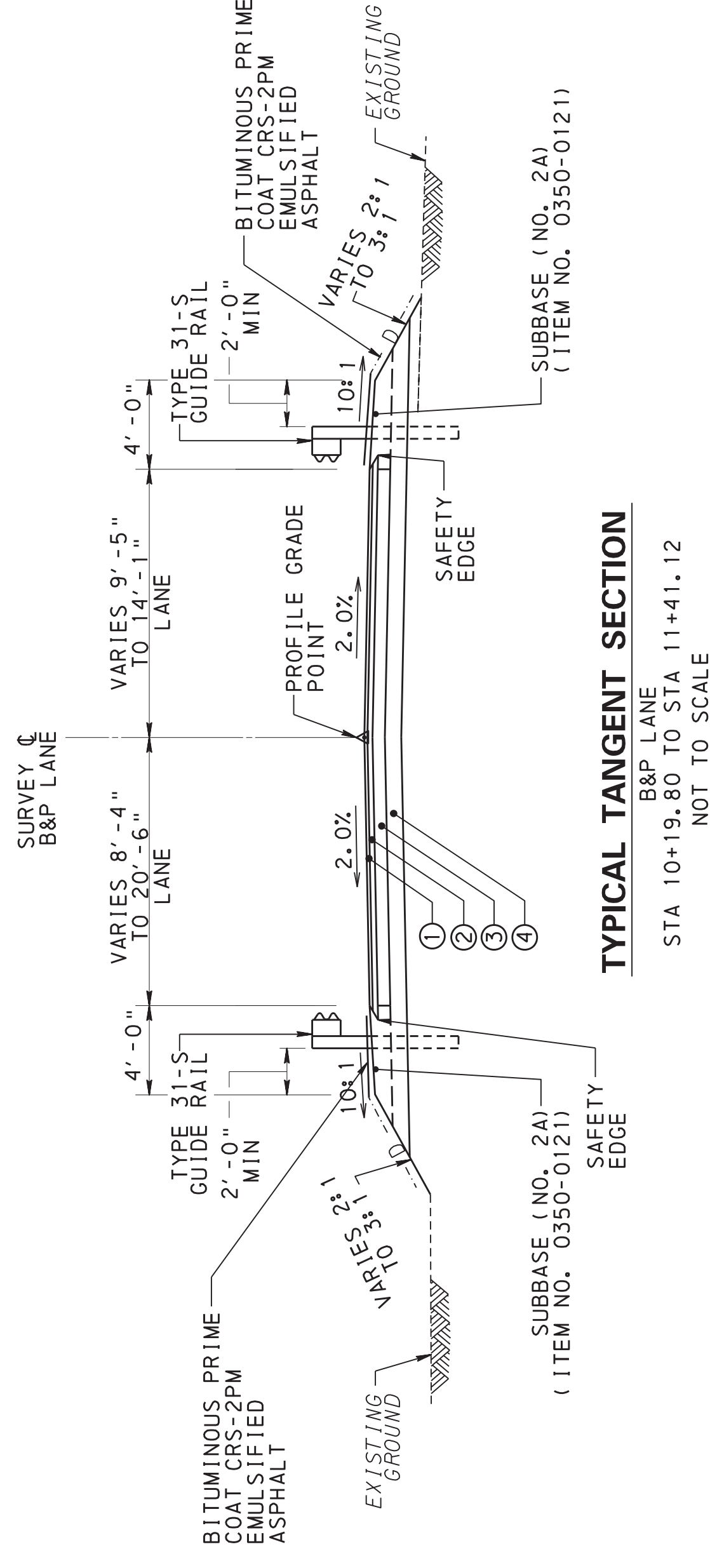
- ① SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64S-22, 0.3 TO <3 MILLION ESALS, 9.5 MM MIX, 1 1/2" DEPTH, SRL-H
- ② SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64S-22, 0.3 TO <3 MILLION ESALS, 19.0 MM MIX, 2 1/2" DEPTH
- ③ SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22, <0.3 MILLION ESALS, 25.0 MM MIX, 7 1/2" DEPTH
- ④ SUBBASE 8" DEPTH (NO. 2A)
- ⑤ PLAIN CEMENT CONCRETE PAVEMENT, 9" DEPTH
- ⑥ ASPHALT TREATED PERMEABLE BASE COURSE, 4" DEPTH
- ⑦ SUBBASE 4" DEPTH (NO. 2A)

**NOTES:**

- OUTLET PAVEMENT BASE DRAINS AS DIRECTED.
- SUPERELEVATION ROTATION IS ABOUT THE INSIDE EDGE OF TRAVEL LANE
- DY/4" - DOUBLE YELLOW LINE / WIDTH
- W/4" - WHITE LINE / WIDTH

**SEEDING LEGEND:**

- B----- B --- SEEDING & SOIL SUPPLEMENTS - FORMULA B SEED MIXTURE AND MULCHING-STRAW ON 4" OF TOPSOIL (3:1 AND FLATTER)
- D----- D --- SEEDING & SOIL SUPPLEMENTS - FORMULA D SEED MIXTURE (STEEPER THAN 3:1)

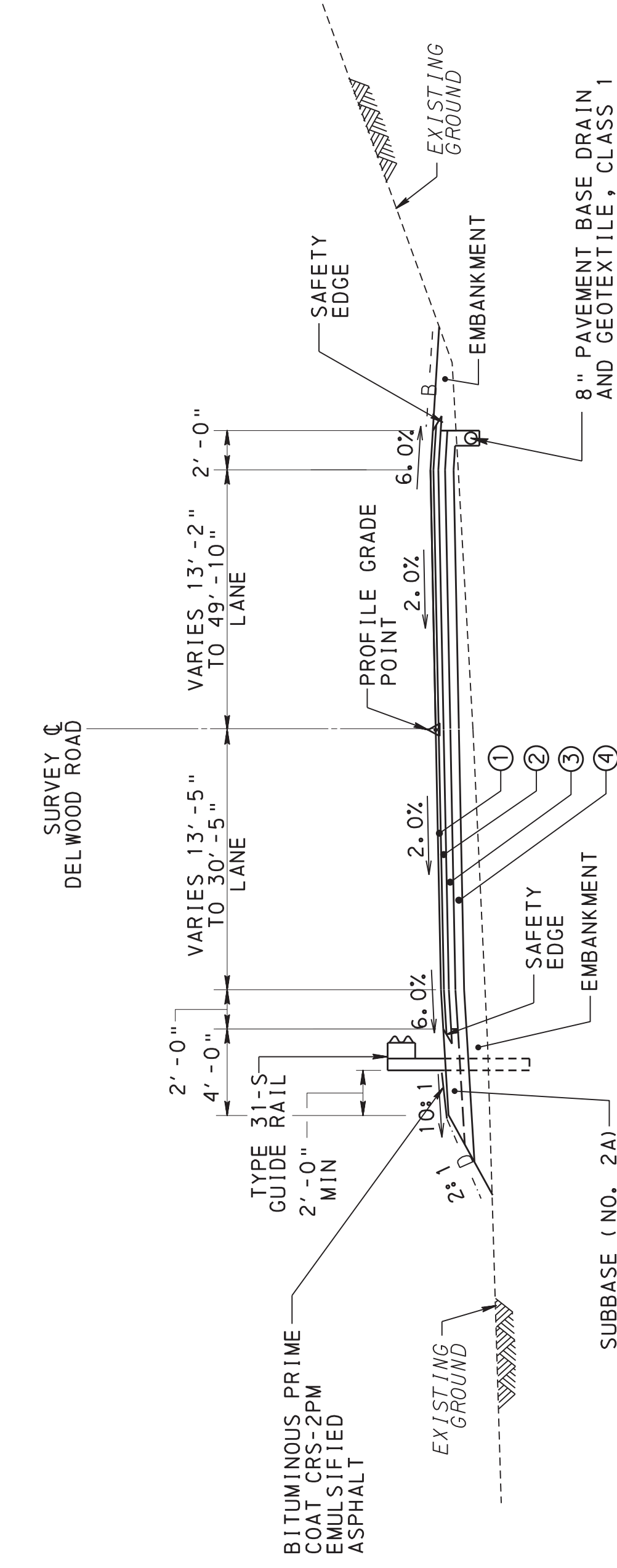


**DRAINAGE DITCH DETAIL**

NOT TO SCALE

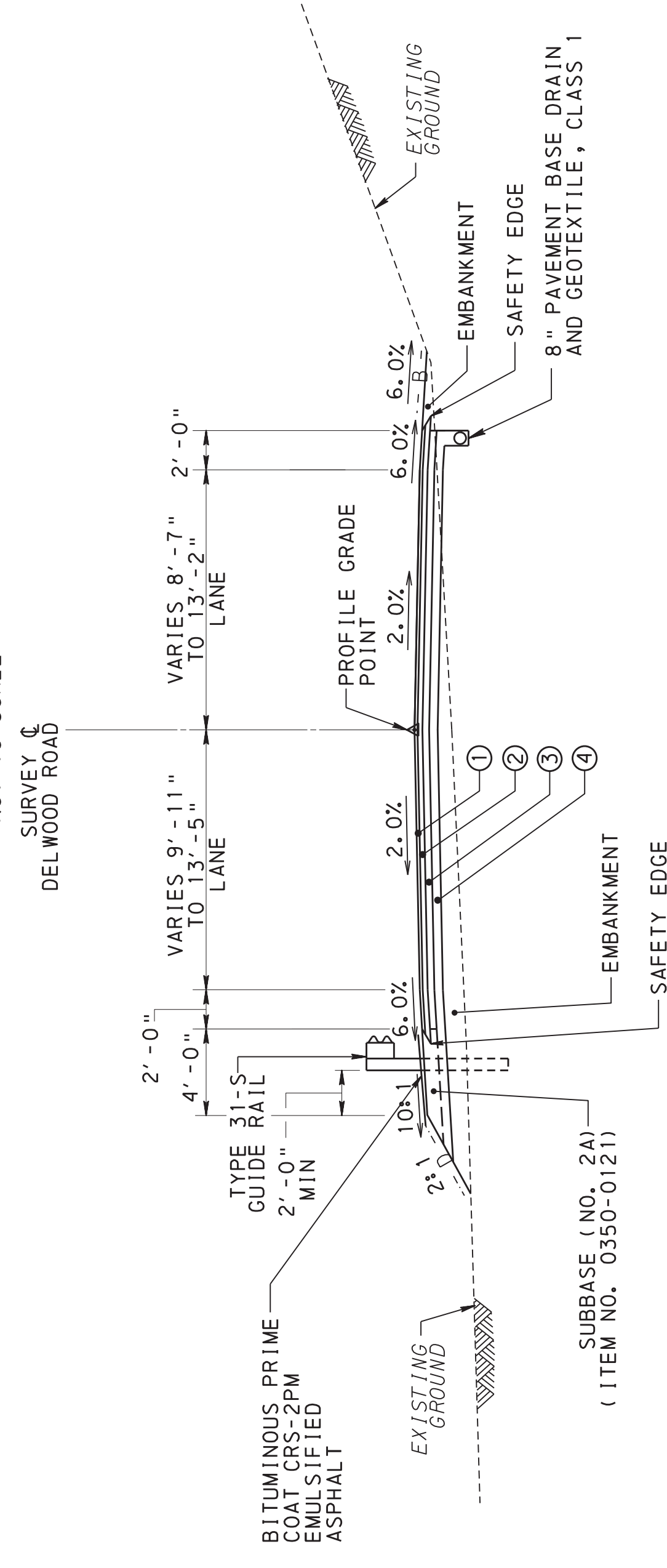
**TRIBUTARY REALIGNMENT DETAIL**

NOT TO SCALE



**TYPICAL SUPERELEVATED SECTION**

DELWOOD ROAD  
STA 31+35.09 TO STA 33+19.26  
NOT TO SCALE

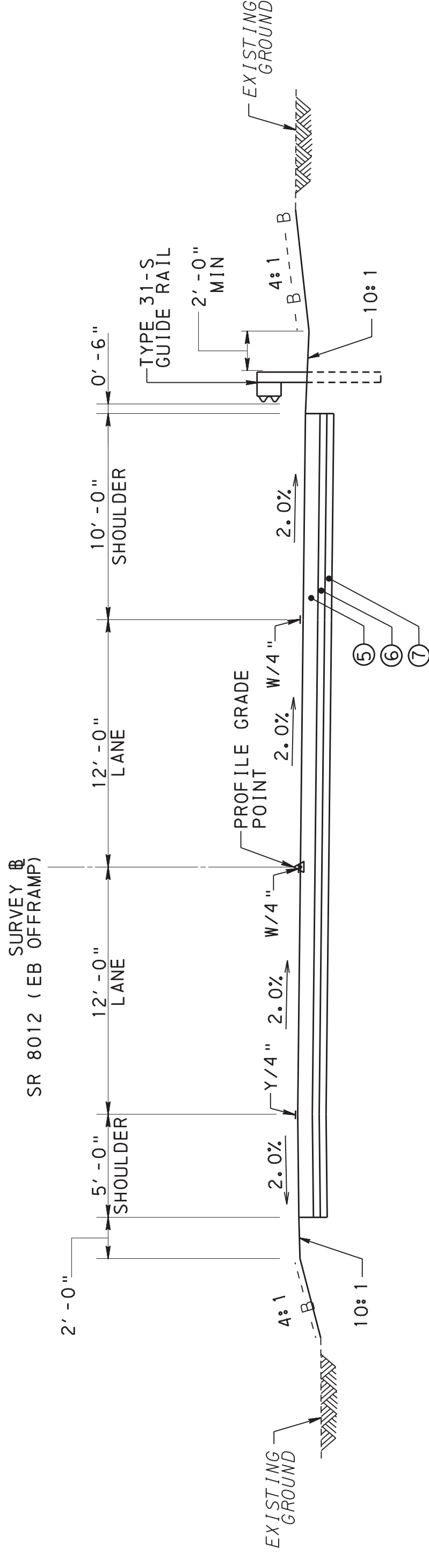


**TYPICAL SECTION**

DELWOOD ROAD  
STA 30+40.00 TO STA 31+35.09  
NOT TO SCALE

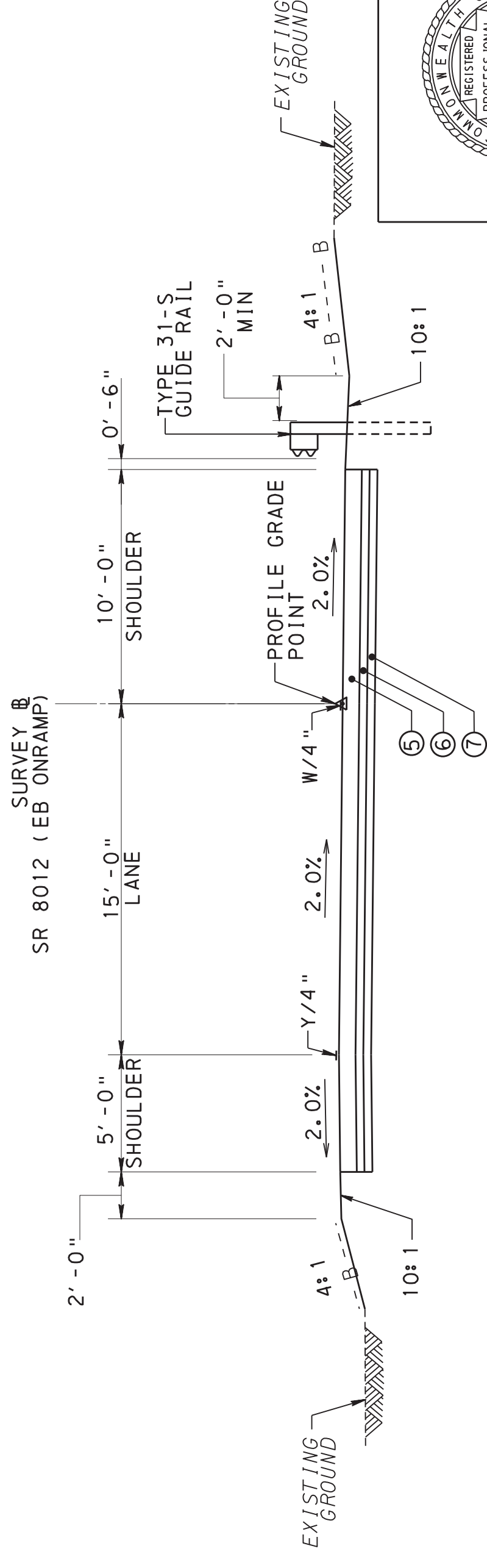
**TYPICAL TANGENT SECTION**

SR 8012 (EB OFFRAMP)  
STA 713+00.00 TO STA 714+02.69  
NOT TO SCALE



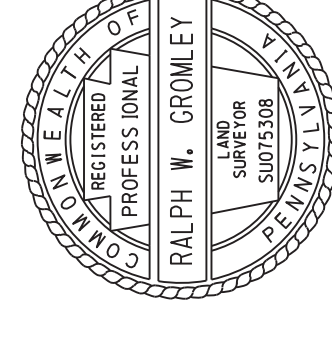
**TYPICAL TANGENT SECTION**

SR 8012 (EB ONRAMP)  
STA 600+22.00 TO STA 601+50.00  
NOT TO SCALE

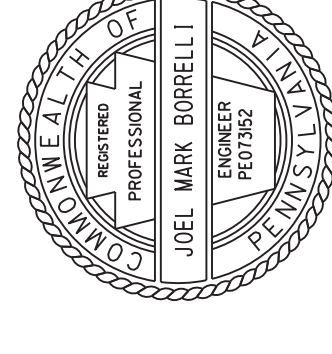


**TYPICAL TANGENT SECTION**

SR 8012 (EB ONRAMP)  
STA 600+22.00 TO STA 601+50.00  
NOT TO SCALE



REG. PROF. LAND SURVEYOR

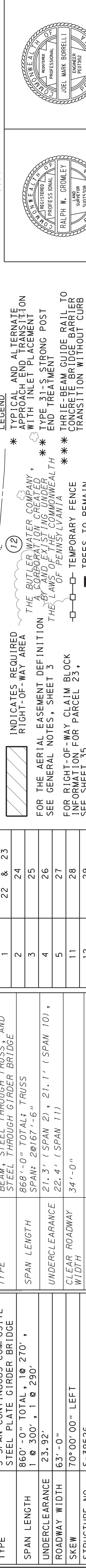
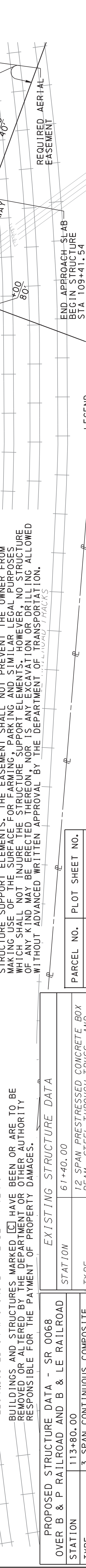
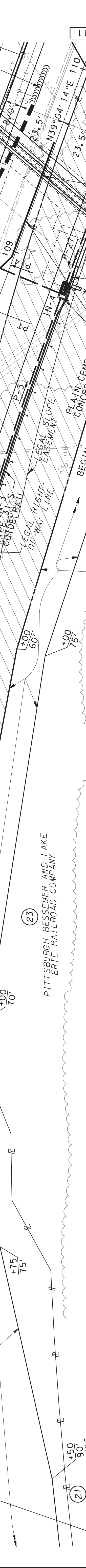
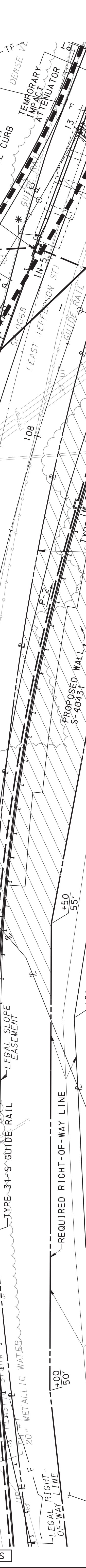
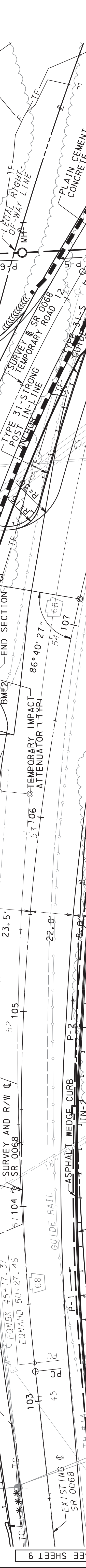
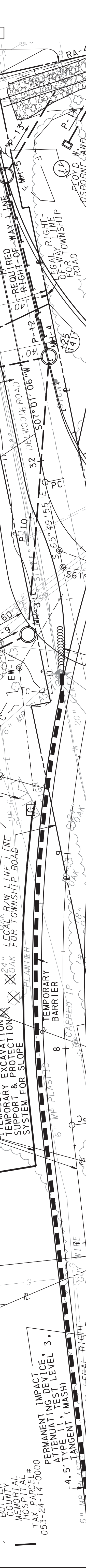
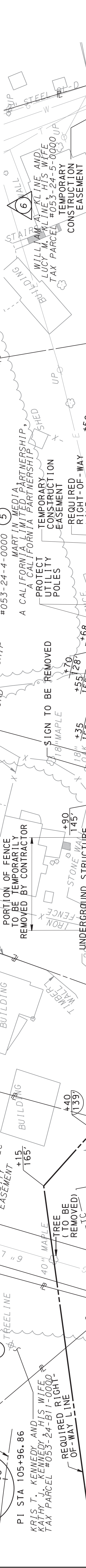
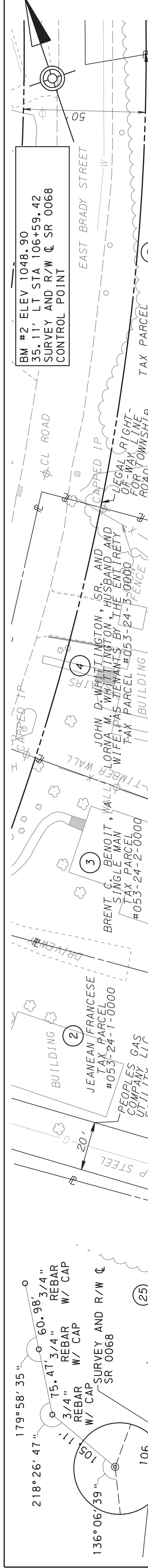


REG. PROF. ENGINEER

DES: TJM DWG: BSP CKD: JMB



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	10 OF 37
REVISION NUMBER	REVISONS		DATE	BY



PROPOSED STRUCTURE DATA - SR 0068	EXISTING STRUCTURE DATA
STATION 113+80.00	STATION 61+40.00
TYPE 3 SPAN CONTINUOUS COMPOSITE STEEL PLATE GIRDER BRIDGE	TYPE 12 SPAN PRESTRESSED CONCRETE BOX BEAM, STEEL THROUGH TRUSS, AND STEEL THROUGH GIRDER BRIDGE
SPAN LENGTH 860'-0" TOTAL @ 270', 1 @ 300', 1 @ 290'	SPAN LENGTH 868'-0" TOTAL; TRUSS SPAN: 2@167'-6"
UNDERCLEARANCE 23'-0"	UNDERCLEARANCE 21.3' (SPAN 2), 21.1' (SPAN 10), 22.4' (SPAN 11)
ROADWAY WIDTH 70'00" LEFT	CLEAR ROADWAY 34'-0"
SKREW S-39526	SKREW 53°41'51" LEFT
STRUCTURE NO	STRUCTURE NO BMS# 10-0068-0510-0000
	BUILT DATE 1936

PARCEL NO.	PLOT SHEET NO.
1	22 & 23
2	24
3	25
4	26
5	27
11	28
12	29
21	34
25	37

ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING THE CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL RELINQUISHED IN WRITING BY THE DEPARTMENT.

BUILDINGS AND STRUCTURES MARKED [X] HAVE BEEN OR ARE TO BE REMOVED OR ALTERED BY THE DEPARTMENT OR OTHER AUTHORITY RESPONSIBLE FOR THE PAYMENT OF PROPERTY DAMAGES.

UNDERGROUND STRUCTURE SUPPORT EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF UNDERGROUND STRUCTURE SUPPORT ELEMENTS. THE EASEMENT SHALL NOT PREVENT THE OWNER FROM MAKING USE OF THE SURFACE FOR FARMING, PARKING AND SIMILAR LEGAL PURPOSES WHICH SHALL NOT INJURE THE STRUCTURE SUPPORT ELEMENTS. HOWEVER, NO STRUCTURE OF ANY KIND MAY BE ERRECTED THEREON, NOR IS ANY EXCAVATION OR DRILLING ALLOWED WITHOUT ADVANCED WRITTEN APPROVAL BY THE DEPARTMENT OF TRANSPORTATION.

INDICATES REQUIRED RIGHT-OF-WAY AREA

FOR THE AERIAL EASEMENT DEFINITION BY AND EXISTING UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA

FOR RIGHT-OF-WAY CLAIM BLOCK INFORMATION FOR PARCEL 23, SEE SHEET 35

FOR RIGHT-OF-WAY CLAIM BLOCK INFORMATION FOR PARCEL 25, SEE SHEET 35

LEGEND

- \* TYPICAL AND ALTERNATE APPROACH END TRANSITION WITH INLET PLACEMENT
- \* TYPE 31-S STRONG POST END TREATMENT
- \* THRIE-BEAM GUIDE RAIL TO CONCRETE BRIDGE BARRIER TRANSITION WITHOUT CURB
- \* TREES AND PLANTER TO BE REMOVED

SCALE 0 25 50 FEET

SURVEY BOOK #10-0068-253-0490-2582-0520-0669

FOR SR 0068 PROFILE, SEE SHEET 16

FOR CURVE DATA AND GEOMETRIC LAYOUT, SEE SHEET 5

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

DES: TJM DWG: BSP CKD: JMB

SR-0068.R/W.Plans.dgn

SEE SHEET 9

SEE SHEET 11

BM #2 ELEV 1048.90  
35.11' LT STA 106+59.42  
SURVEY AND R/W C SR 0068  
CONTROL POINT

JEANNE FRANCISE  
#053-24-1-0000  
PEOPLES GAS COMPANY LLC  
EASEMENT

BRENT C. BENOIT  
#053-24-2-0000  
SINGLE MAN BUILDING

JOHN D. WHITTINGTON, SR. AND WIFE  
ORNA M. WHITTINGTON, HUSBAND AND WIFE  
#053-24-3-0000  
TAX PARCEL #053-24-3-0000

WILLIAM A. KLINE AND LUCY M. KLINE, HIS WIFE  
#053-24-4-0000  
TAX PARCEL #053-24-4-0000

FLOYD W. OSBORNE AND JOAN G. OSBORNE  
#053-16-34A-0000  
TAX PARCEL #053-16-34A-0000

THE BUTLER WATER COMPANY  
WATER RIGHT-OF-WAY  
#053-16-34A-0000

BACHOR HOLDINGS, LLC  
PENNSYLVANIA LIMESTONE COMPANY  
#053-24-06-0000  
TAX PARCEL #053-24-06-0000

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

DES: TJM DWG: BSP CKD: JMB

SR-0068.R/W.Plans.dgn

SEE SHEET 11

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	11 OF 37

REVISION NUMBER	REVISIONS	DATE	BY

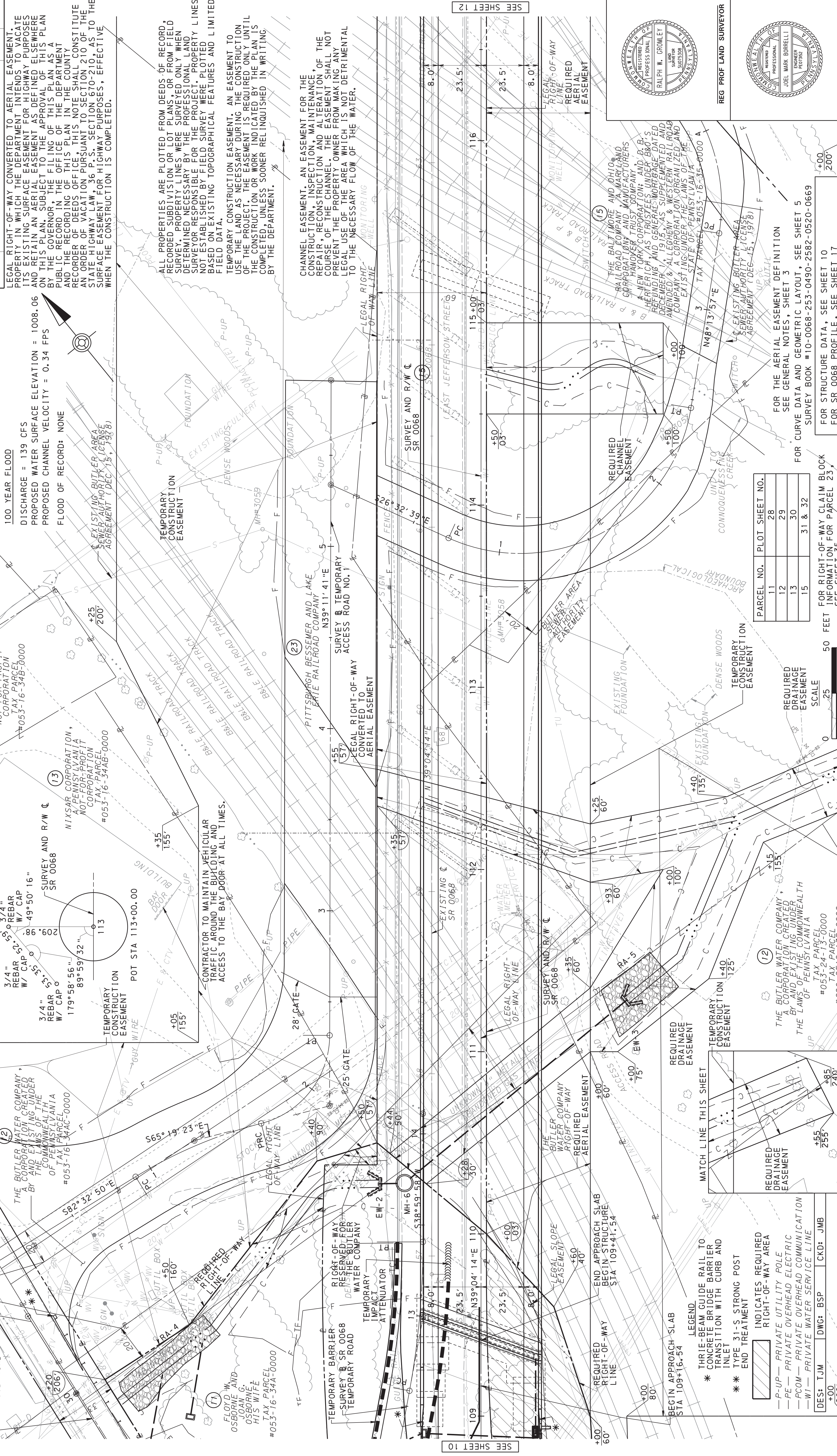
**HYDRAULIC DATA:**  
 UNIT CONNOQUENESSING CREEK  
 DRAINAGE AREA = 0.17 SQUARE MILES PROPOSED  
 LOW COORD ELEV = 1034.78  
 50 YEAR DESIGN FLOOD  
 DISCHARGE = 127 CFS  
 PROPOSED WATER SURFACE ELEVATION = 1007.97  
 PROPOSED CHANNEL VELOCITY = 0.34 FPS

**LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT:**  
 PROPERTY IN WHICH THE DEPARTMENT INTENDS TO LOCATE THIS EXISTING SURFACE EASEMENT FOR HIGHWAY PURPOSES AND RETAIN AN AERIAL EASEMENT AS DEFINED ELSEWHERE ON THIS PLAN, SUBJECT TO THE APPROVAL OF THIS PLAN AS A PUBLIC RECORD, THE FILING OF THIS PLAN IN THE COUNTY AND THE RECORDING OF THIS PLAN IN THE DEPARTMENT AN ORDER OF VACATION PURSUANT TO SECTION 210 OF THE STATE HIGHWAY LAW, 36 P.S. SECTION 670-210, AS TO THE SURFACE EASEMENT FOR HIGHWAY PURPOSES, EFFECTIVE WHEN THE CONSTRUCTION IS COMPLETED.

**ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.**

**TEMPORARY CONSTRUCTION EASEMENT, AN EASEMENT TO USE THE LAND AS NECESSARY DURING THE CONSTRUCTION OF THE PROJECT, THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.**

**CHANNEL EASEMENT, AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF THE COURSE OF THE CHANNEL, THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO THE NECESSARY FLOW OF THE WATER.**



START WORK DELWOOD ROAD STA 29+55.00  
 KEYVIN J. KRIBEL, A SINGLE MAN #053-16-45B-0000  
 SURVEY & TAX PARCEL #053-16-34A-0000

THE BUTLER WATER COMPANY, A CORPORATION CREATED BY AND EXISTING UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA #053-16-34AC-0000  
 SURVEY & TAX PARCEL #053-16-34B-0000

FLOYD W. OSBORNE & OSBORNE, OSBORNE, 975 WIFE #053-16-34A-0000  
 SURVEY & TAX PARCEL #053-16-34B-0000

PITTSBURGH-BESSEMER AND LAKE ERIE RAILROAD COMPANY  
 SURVEY & TAX PARCEL #053-16-34B-0000

THE BUTLER WATER COMPANY, A CORPORATION CREATED BY AND EXISTING UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA #053-16-34AC-0000  
 SURVEY & TAX PARCEL #053-16-34B-0000

THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND CORPORATION AND MANUFACTURERS HANOVER TRUST COMPANY, A NEW YORK CORPORATION, AND D.B. HERVICH, AS TRUSTEES UNDER B80-S DECEDING AND GENERALS SUPERINTENDENT AMENDED & ALLEGHENY & WESTERN RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA  
 TAX PARCEL #053-16-35-0000 A

EXISTING BUTLER AREA SEWER AUTHORITY LICENSE AGREEMENT (DEC-15, 1978)

FOR THE AERIAL EASEMENT DEFINITION SEE GENERAL NOTES, SHEET 3  
 FOR CURVE DATA AND GEOMETRIC LAYOUT, SEE SHEET 5  
 SURVEY BOOK #10-0068-253-0490-2582-0520-0669  
 FOR STRUCTURE DATA, SEE SHEET 10  
 FOR SR 0068 PROFILE, SEE SHEET 17

PARCEL NO.	PLOT SHEET NO.
11	28
12	29
13	30
15	31 & 32

FOR RIGHT-OF-WAY CLAIM BLOCK INFORMATION FOR PARCEL 25, SEE SHEET 35

SCALE  
 0 25 50 FEET

LEGEND  
 THRIE-BEAM GUIDE RAIL TO CONCRETE BRIDGE BARRIER TRANSITION WITH CURB AND INLET  
 \* TYPE 31-S STRONG POST END TREATMENT  
 INDICATES REQUIRED RIGHT-OF-WAY AREA  
 -P-UP- PRIVATE UTILITY POLE  
 -PE- PRIVATE OVERHEAD ELECTRIC  
 -WI- PRIVATE WATER SERVICE LINE

DES: TJM DWG: BSP CKD: JMB  
 +00  
 +85  
 240

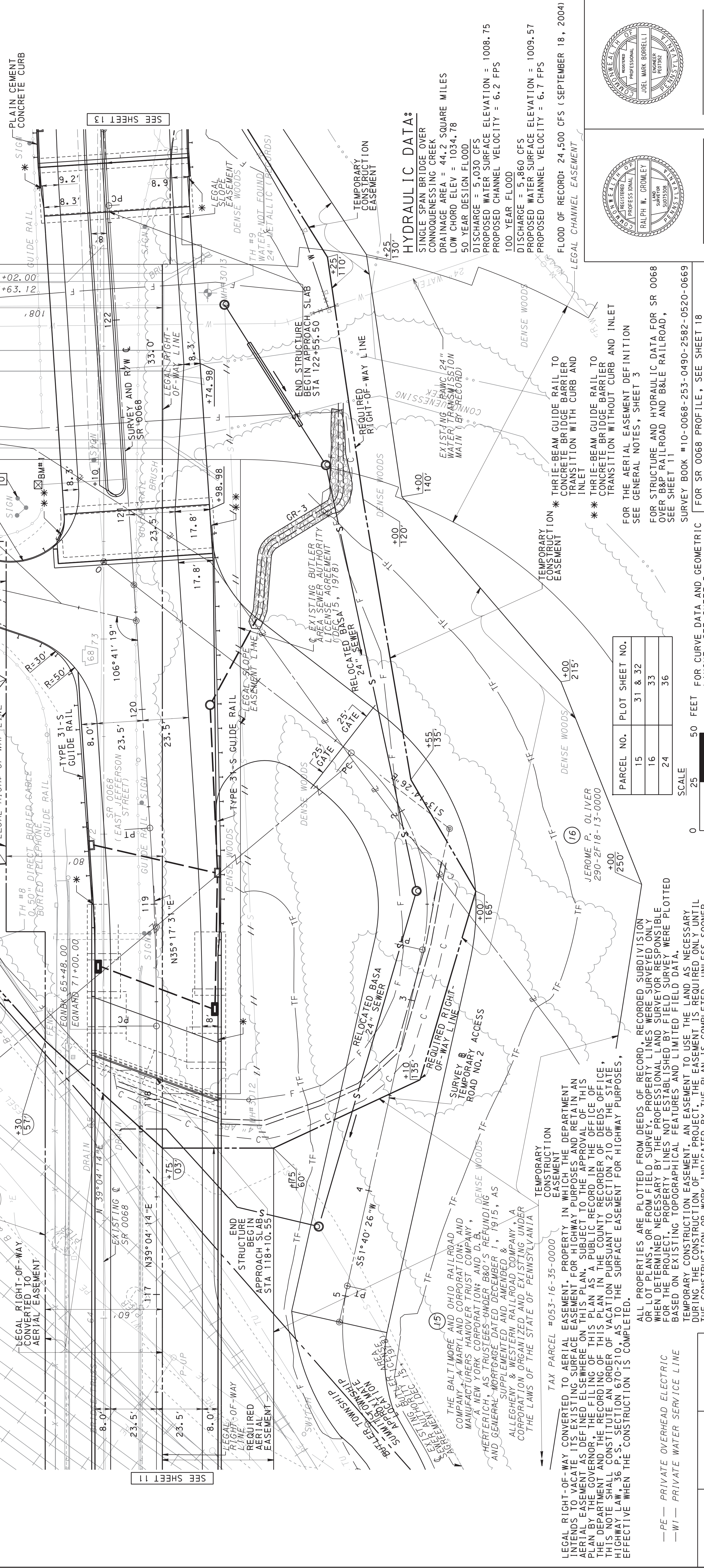
REG. PROF. LAND SURVEYOR  
 RALPH W. CROMLEY  
 SURVEYOR  
 #053-16-34B-0000

REG. PROF. ENGINEER  
 JOEL MARK BORRELLI  
 ENGINEER  
 #053-16-34B-0000

SEE SHEET 10  
 SEE SHEET 12

PROPOSED STRUCTURE DATA - SR 0068 OVER CONNOQUENESSING CREEK		DISTRICT	COUNTY	ROUTE	SECTION	SHEET
STATION	121+79.00	10-0	BUTLER	0068	253 R/W	12 OF 37
TYPE	1 SPAN COMPOSITE PRESTRESSED CONCRETE PA BULB TEE-BEAM BRIDGE	REVISION NUMBER	BUTLER TOWNSHIP AND SUMMIT TOWNSHIP			
SPAN LENGTH	150'-0" TOTAL	DATE				
UNDERCLEARANCE	22'-4 3/4"	BY				
ROADWAY WIDTH	74'-7 1/2"					
SKIEW	90°00'00"					
STRUCTURE NO	S-39527					

EXISTING STRUCTURE DATA	
STATION	121+80.78
TYPE	TWIN-CELL CONCRETE ARCH CULVERT
SPAN LENGTH	68'-9" TOTAL; 2 @ 34'-4 1/2"
UNDERCLEARANCE	20'-7"
CLEAR ROADWAY WIDTH	50'-0"
SKIEW	90°00'00"
STRUCTURE NO	BMS# 10-0068-0520-0027
BUILT DATE	1937



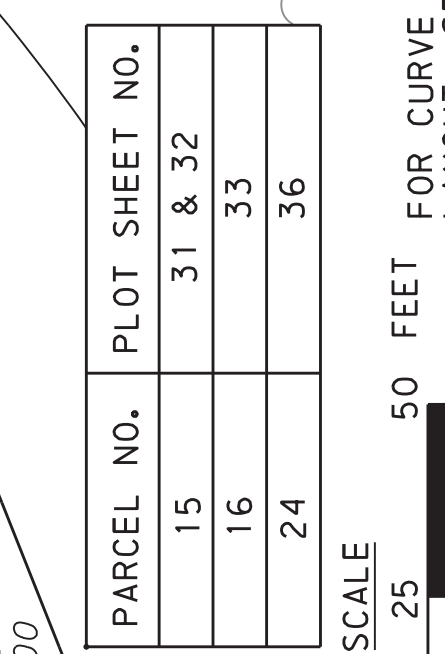
**HYDRAULIC DATA:**  
 SINGLE SPAN BRIDGE OVER CONNOQUENESSING CREEK  
 DRAINAGE AREA = 44.2 SQUARE MILES  
 LOW CHORD ELEV = 1034.78  
 50 YEAR DESIGN FLOOD DISCHARGE = 5,030 CFS  
 PROPOSED WATER SURFACE ELEVATION = 1008.75  
 PROPOSED CHANNEL VELOCITY = 6.2 FPS  
 100 YEAR FLOOD DISCHARGE = 5,860 CFS  
 PROPOSED WATER SURFACE ELEVATION = 1009.57  
 PROPOSED CHANNEL VELOCITY = 6.7 FPS

FLOOD OF RECORD: 24,500 CFS (SEPTEMBER 18, 2004)  
 LEGAL CHANNEL EASEMENT

REG. PROF. LAND SURVEYOR  
 REG. PROF. ENGINEER

FOR STRUCTURE AND HYDRAULIC DATA FOR SR 0068 OVER B&P RAILROAD AND B&L RAILROAD, SEE SHEET 11  
 SURVEY BOOK #10-0068-253-0490-2582-0520-0669  
 FOR SR 0068 PROFILE, SEE SHEET 18  
 FOR B&P LANE PROFILE, SEE SHEET 20

PARCEL NO.	PLOT SHEET NO.
15	31 & 32
16	33
24	36



LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT. PROPERTY IN WHICH THE DEPARTMENT INTENDS TO VACATE ITS EXISTING SURFACE EASEMENT FOR HIGHWAY PURPOSES AND RETAIN AN AERIAL EASEMENT AS DEFINED ELSEWHERE ON THIS PLAN, SUBJECT TO THE APPROVAL OF THIS PLAN BY THE GOVERNOR, THE FILING OF THIS PLAN IN THE COUNTY RECORDER'S OFFICE, AND THE DEPARTMENT AND THE RECORDING OF THIS PLAN IN THE COUNTY RECORDER'S OFFICE, THIS NOTE SHALL CONSTITUTE AN ORDER OF VACATION PURSUANT TO SECTION 210 OF THE STATE HIGHWAY LAW, § 36 P.S. SECTION 670-210, AS TO THE SURFACE EASEMENT FOR HIGHWAY PURPOSES, EFFECTIVE WHEN THE CONSTRUCTION IS COMPLETED.

ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.

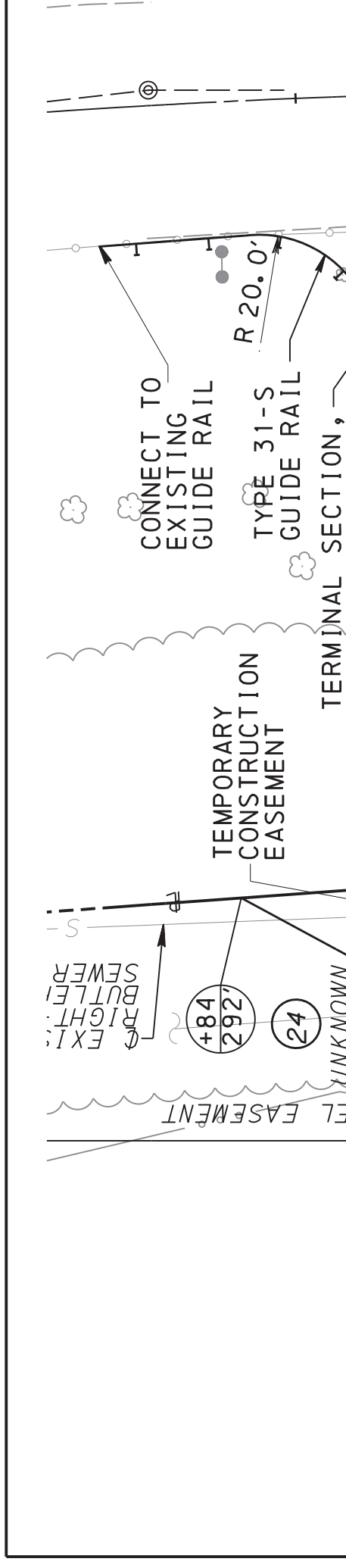
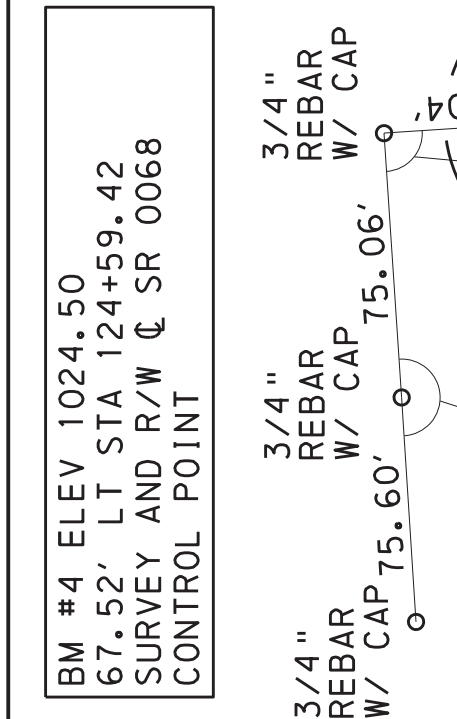
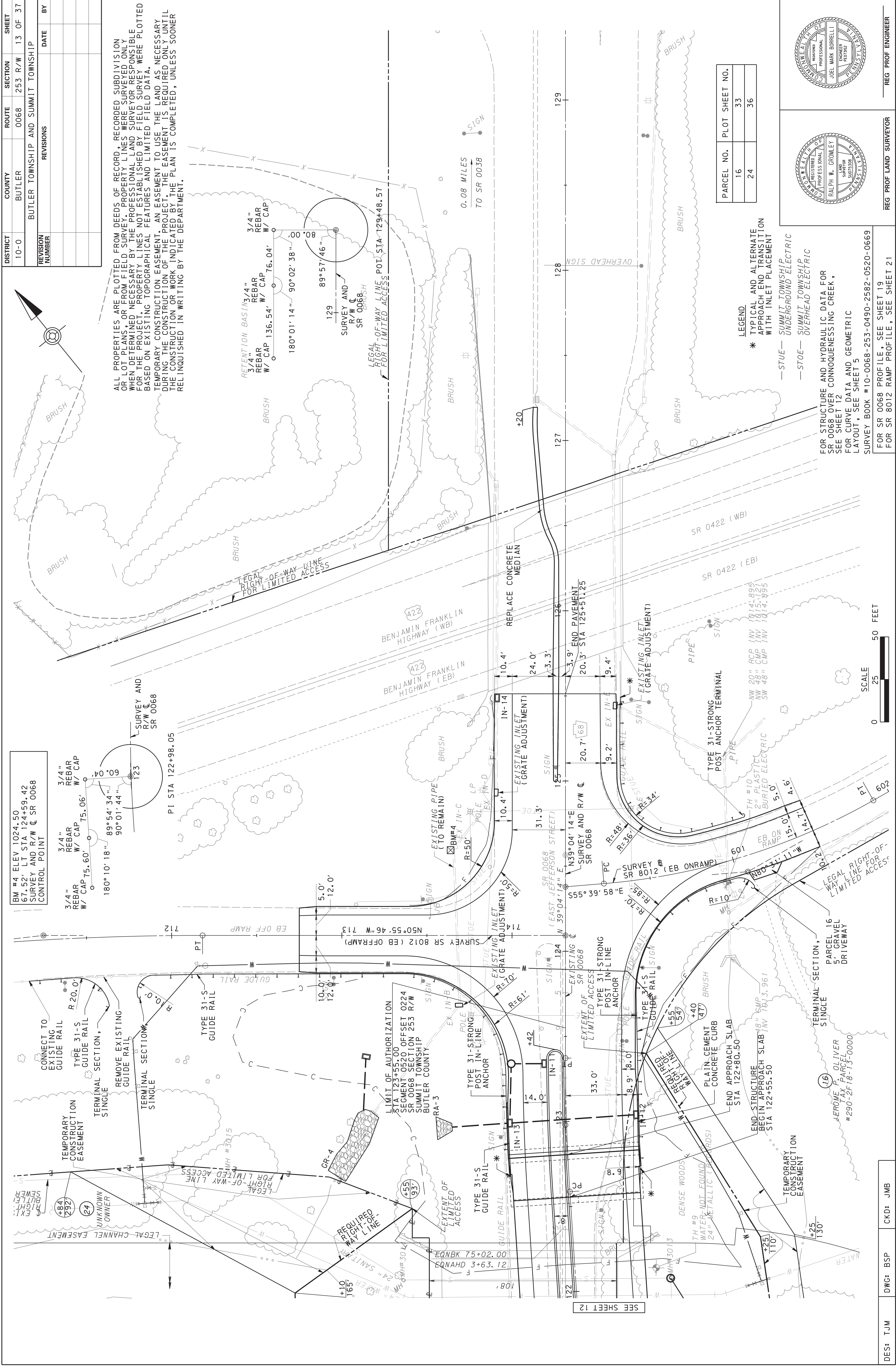
TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING THE CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

—PE— PRIVATE OVERHEAD ELECTRIC  
 —WJ— PRIVATE WATER SERVICE LINE

DES: TJM DWG: BSP CKD: JMB

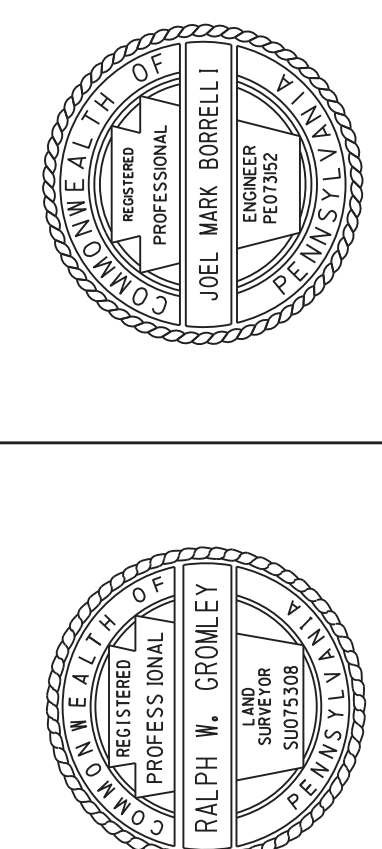
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	13 OF 37
REVISIONS				
REVISION NUMBER	DATE	BY		

ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA. TEMPORARY CONSTRUCTION EASEMENT, AN EASEMENT TO USE THE LAND AS NECESSARY DURING THE CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

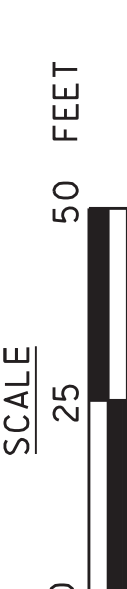


PARCEL NO.	PLOT SHEET NO.
16	33
24	36

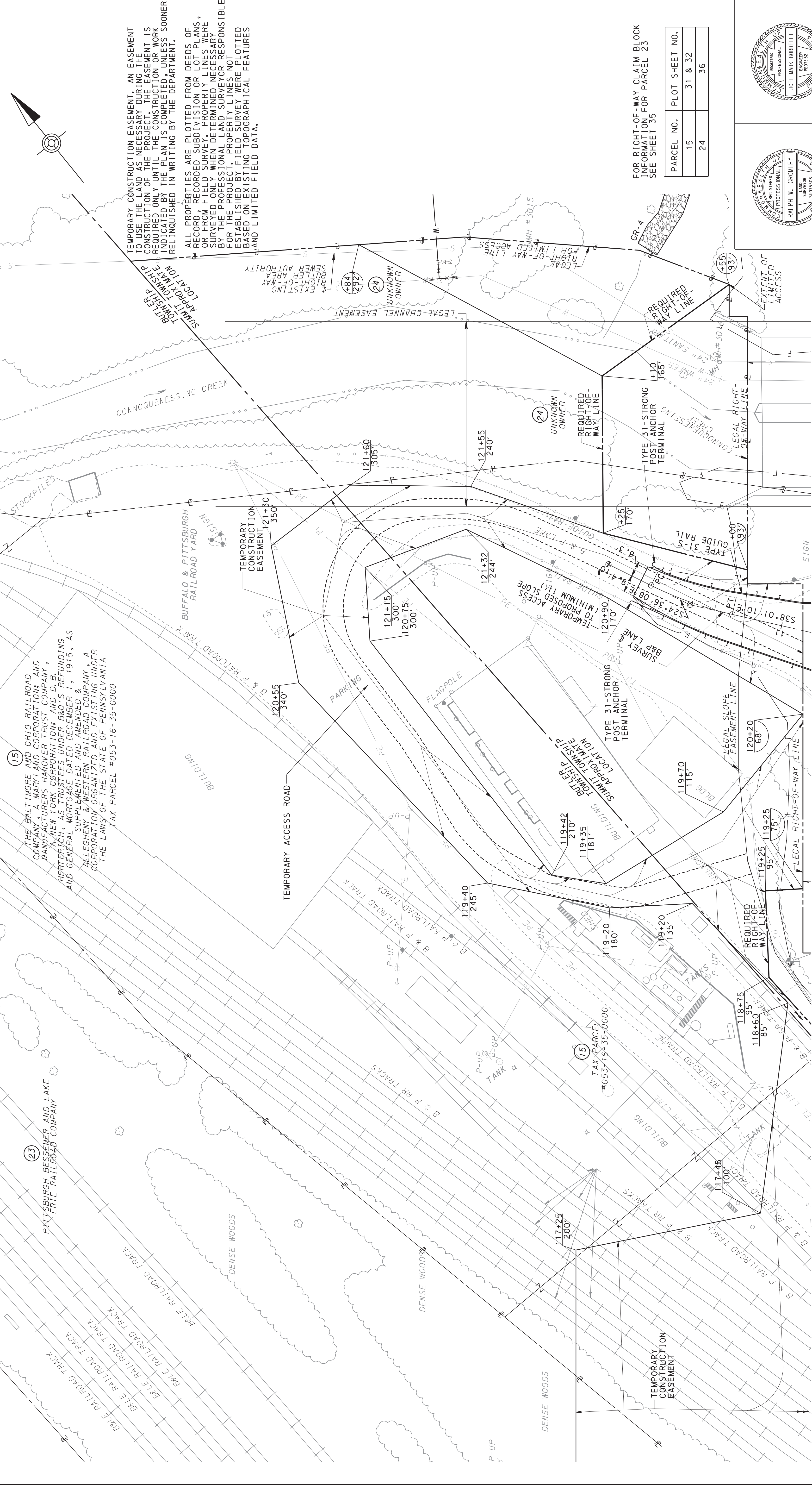
- LEGEND
- \* TYPICAL AND ALTERNATE APPROACH END TRANSITION WITH INLET PLACEMENT
  - STUE— SUMMIT TOWNSHIP UNDERGROUND ELECTRIC
  - STOE— SUMMIT TOWNSHIP OVERHEAD ELECTRIC



FOR STRUCTURE AND HYDRAULIC DATA FOR SR 0068 OVER CONNOQUENESSING CREEK, SEE SHEET 12  
 FOR CURVE DATA AND GEOMETRIC LAYOUT, SEE SHEET 5  
 SURVEY BOOK #10-0068-253-0490-2582-0520-0669  
 FOR SR 0068 PROFILE, SEE SHEET 19  
 FOR SR 8012 RAMP PROFILE, SEE SHEET 21



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	14 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	



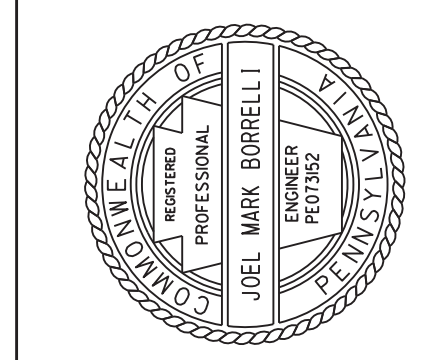
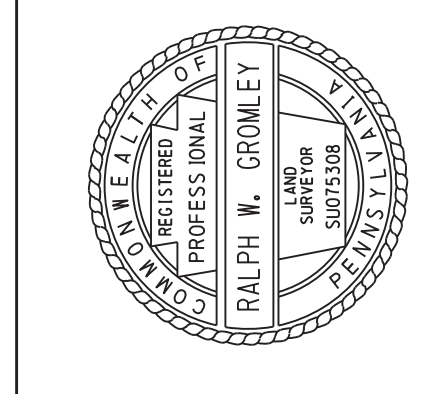
15 THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND CORPORATION; AND MANUFACTURERS HANOVER TRUST COMPANY, A NEW YORK CORPORATION; AND D. B. HERTZICH, AS TRUSTEES UNDER B&O'S REFOUNDING AND GENERAL MORTGAGE DATED DECEMBER 1, 1915, AS AND GENERAL SUPPLEMENTED AND AMENDED 1, 1915, AS ALLEGHENY & WESTERN RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA  
TAX PARCEL #053-16-35-0000

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING THE CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.

FOR RIGHT-OF-WAY CLAIM BLOCK INFORMATION FOR PARCEL 23  
SEE SHEET 35

PARCEL NO.	PLOT SHEET NO.
15	31 & 32
24	36



DES: TJM    DWG: BSP    CKD: JMB    REG PROF LAND SURVEYOR    REG PROF ENGINEER

SCALE 0 25 50 FEET

FOR CURVE DATA AND GEOMETRIC LAYOUT, SEE SHEET 5

FOR B&P LANE PROFILE, SEE SHEET 20

SURVEY BOOK #10-0068-253-0490-2582-0520-0669

SEE SHEET 12

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	15 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

LIMIT OF AUTHORIZATION  
 STA 98+00.00  
 SEGMENT 0500 OFFSET 0138  
 SR 0068 SECTION 253 R/W  
 BUTLER TOWNSHIP  
 BUTLER COUNTY

GRAPHIC GRADE

BEGIN MILL AND OVERLAY  
 STA 96+00.00

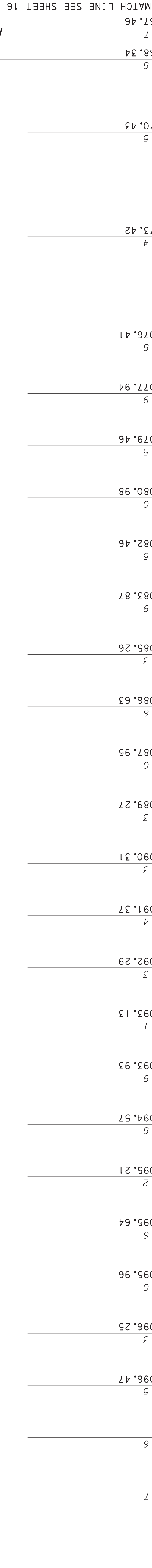
END MILL AND OVERLAY  
 BEGIN FULL-DEPTH  
 RECONSTRUCTION  
 STA 101+00.00

PROFILE GRADE

-5.97%

EXISTING GROUND

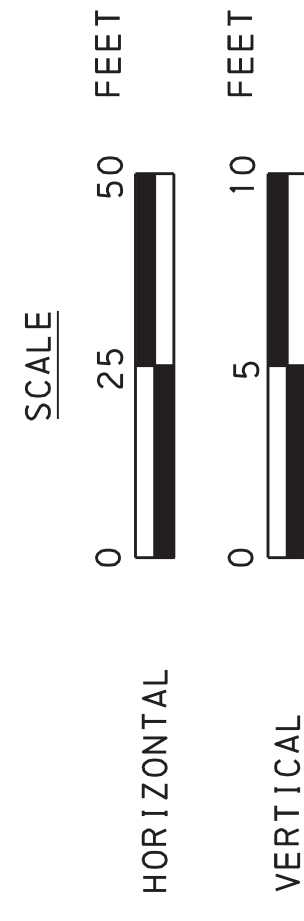
PVC



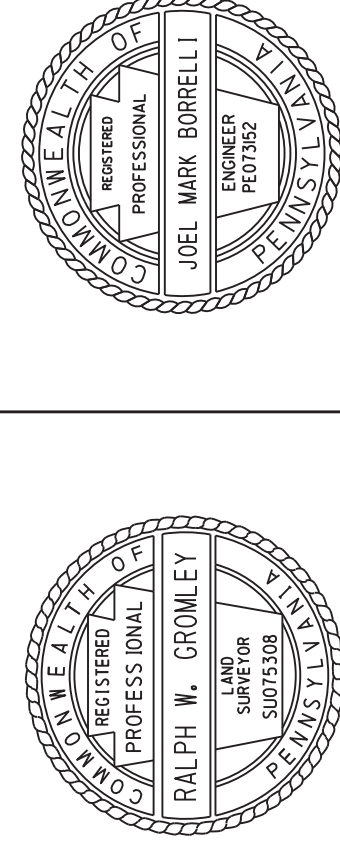
STA 96+02.29 SURVEY AND R/W @ SR 0068 =  
 PC STA 37+99.96 EXISTING @ SR 0068

STA 97+91.55 SURVEY AND R/W @ SR 0068 =  
 STA 1+00.00 SURVEY @ SR 0068 TEMPORARY ROAD

**PROFILE SR 0068**



DES: TJM DWG: BSP CKD: JMB



SURVEY BOOK #10-0068-253-0490-2582-0520-0569

FOR PLAN, SEE SHEET 9

REG PROF LAND SURVEYOR

REG PROF ENGINEER





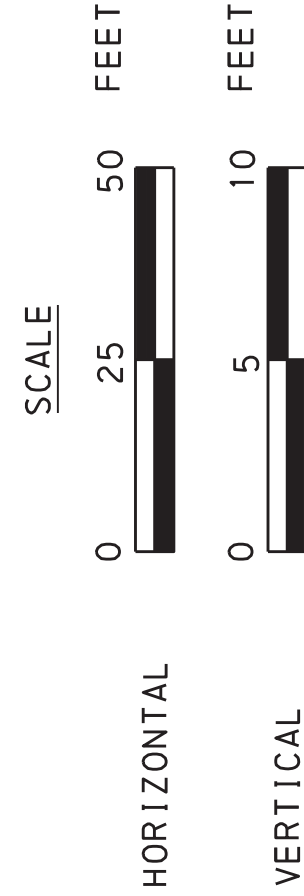
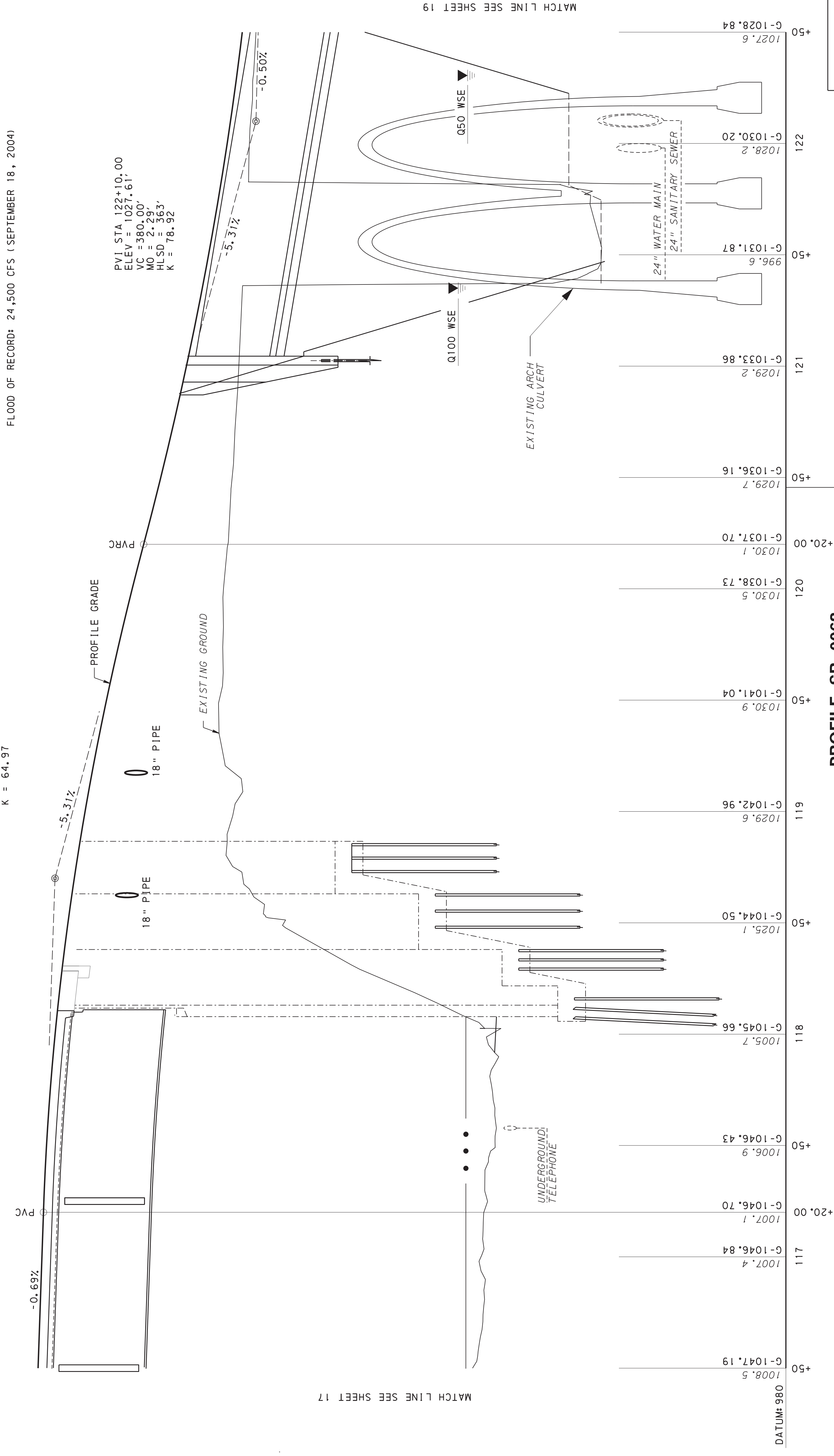
EXISTING STRUCTURE DATA	
STATION	121+80.78
TYPE	TWIN-CELL CONCRETE ARCH CULVERT
SPAN LENGTH	68'-9" TOTAL; 2 @ 34'-4 1/2"
UNDERCLEARANCE	20'-7"
CLEAR ROADWAY WIDTH	50'-0"
SKREW	90°00'00"
STRUCTURE NO	BMS# 10-0068-0520-0027
BUILT DATE	1937

PROPOSED STRUCTURE DATA - SR 0068 OVER CONNOQUENESSING CREEK	
STATION	121+79.00
TYPE	1 SPAN COMPOSITE PRESTRESSED CONCRETE PA BULB TEE-BEAM BRIDGE
SPAN LENGTH	150'-0" TOTAL
UNDERCLEARANCE	22'-4 3/4"
ROADWAY WIDTH	74'-7 1/2"
SKREW	90°00'00"
STRUCTURE NO	S-39527

**HYDRAULIC DATA:**  
 SINGLE SPAN BRIDGE OVER CONNOQUENESSING CREEK  
 DRAINAGE AREA = 44.2 SQUARE MILES  
 LOW CHORD ELEV = 1034.78  
 50 YEAR DESIGN FLOOD DISCHARGE = 5,030 CFS  
 PROPOSED WATER SURFACE ELEVATION = 1008.75  
 PROPOSED CHANNEL VELOCITY = 6.2 FPS  
 100 YEAR FLOOD DISCHARGE = 5,860 CFS  
 PROPOSED WATER SURFACE ELEVATION = 1009.57  
 PROPOSED CHANNEL VELOCITY = 6.7 FPS

PVI STA 118+70.00  
 ELEV = 1045.67'  
 VC = 300.00'  
 MO = -1.73'  
 SSD = 384'  
 K = 64.97

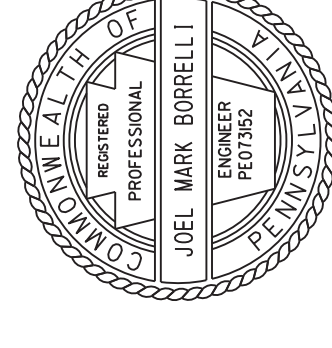
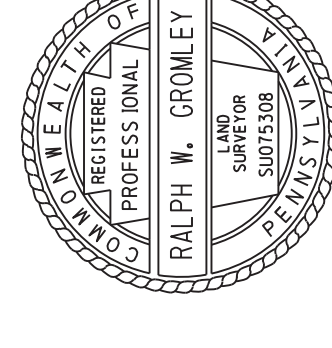
PVI STA 122+10.00  
 ELEV = 1027.61'  
 VC = 380.00'  
 MO = 2.29'  
 HISSD = 363'  
 K = 78.92



**PROFILE SR 0068**

STA 120+45.56 SURVEY AND R/W @ SR 0068 =  
 STA 11+80.27 SURVEY @ B&P LANE

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	18 OF 37
REVISION NUMBER	REVISIONS		DATE	BY



SURVEY BOOK #10-0068-253-0490-2582-0520-0669  
 FOR PLAN, SEE SHEET 12

DES: TJM DWG: BSP CKD: JMB

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	19 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

PVI STA 122+10.00  
 ELEV = 1027.61'  
 VC = 380.00'  
 MO = 2.28'  
 HLSD = .363'

LIMIT OF AUTHORIZATION  
 STA 123+55.00  
 SEGMENT 0520 OFFSET 0224  
 SR 0068 SECTION 253 R/W  
 SUMMIT TOWNSHIP  
 BUTLER COUNTY

END PAVEMENT  
 (MATCH EXISTING)  
 STA 125+51.25

18" PIPE

PROFILE GRADE

GRAPHIC GRADE

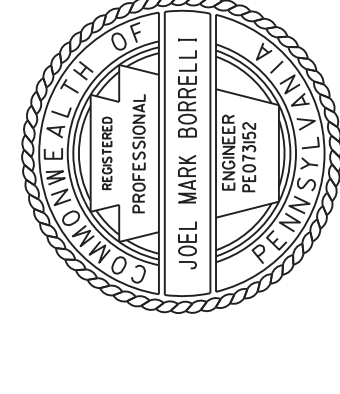
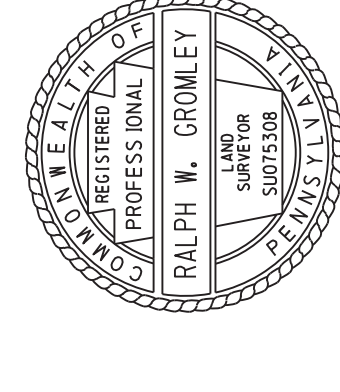
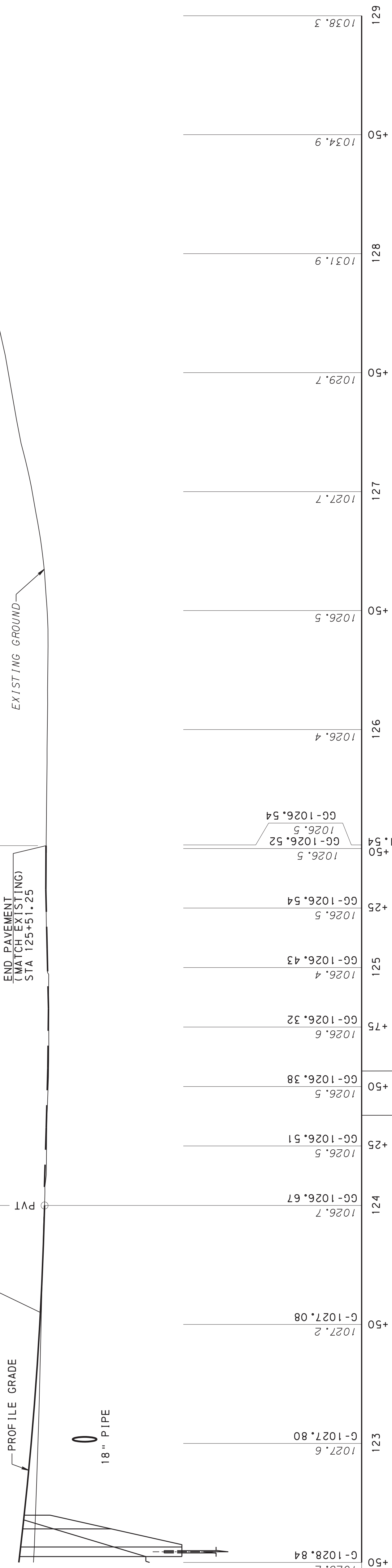
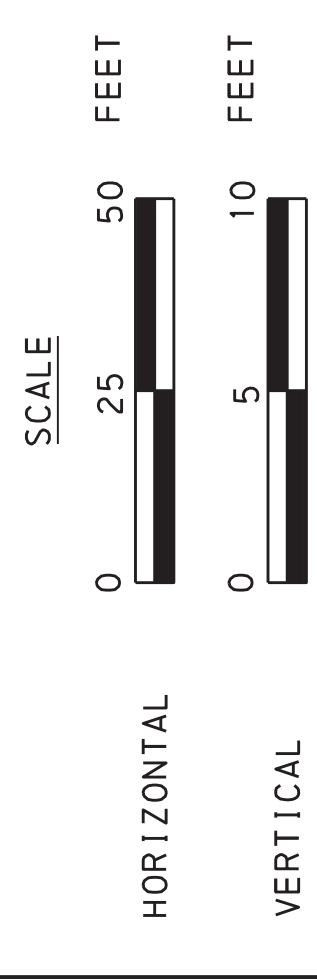
EXISTING GROUND

MATCH LINE SEE SHEET 18

DATUM: 1000

STA 124+37.89 SURVEY AND R/W @ SR 0068 =  
 STA 600+00.00 SURVEY @ SR 8012 (EB ON-RAMP)  
 STA 124+56.52 SURVEY AND R/W @ SR 0068 =  
 STA 5+80.93 EXISTING @ SR 0068

**PROFILE SR 0068**



SURVEY BOOK # 10-0068-253-0490-2582-0520-0669  
 FOR PLAN, SEE SHEET 13

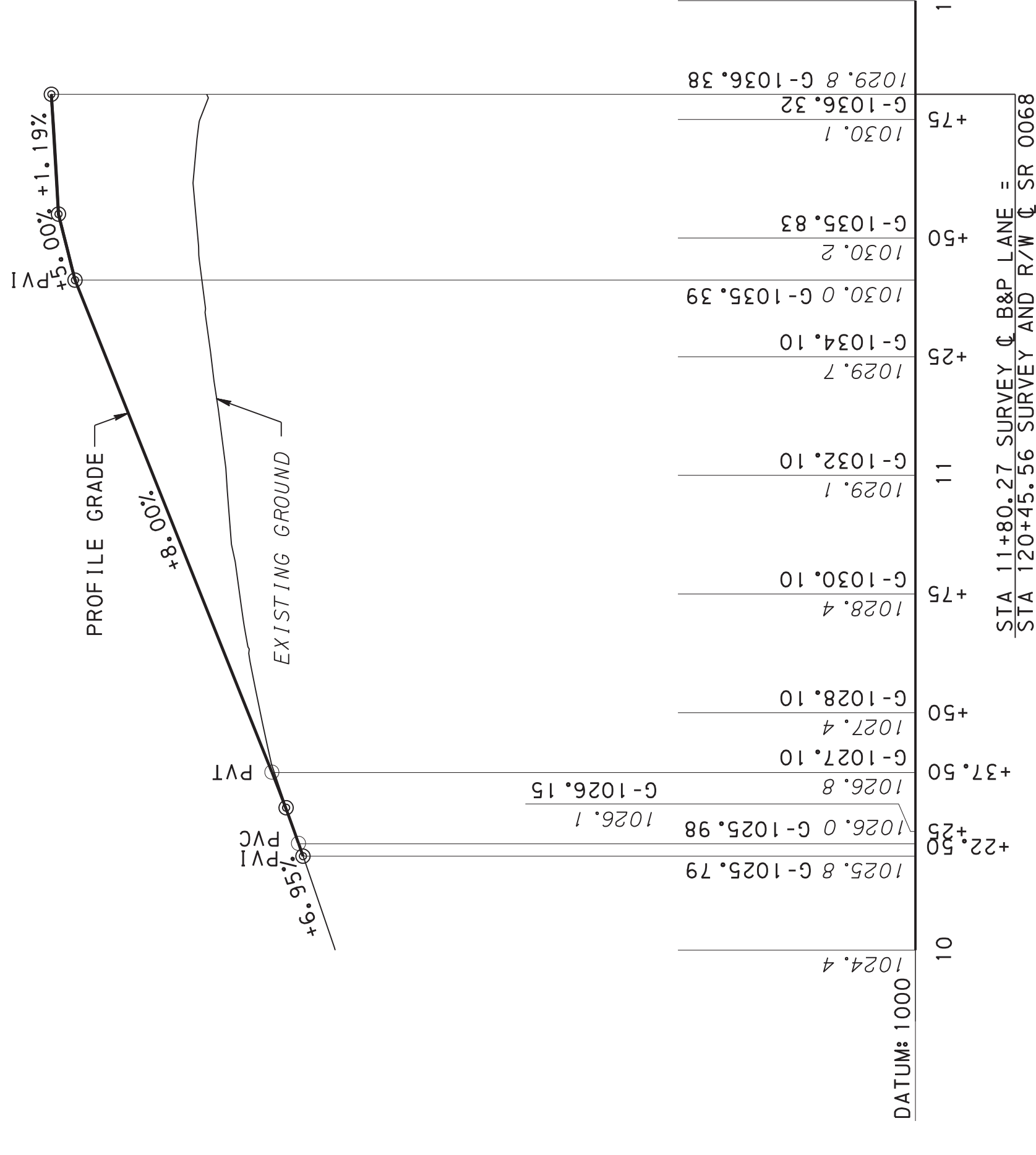
DES: TJM    DWG: BSP    CKD: JMB

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

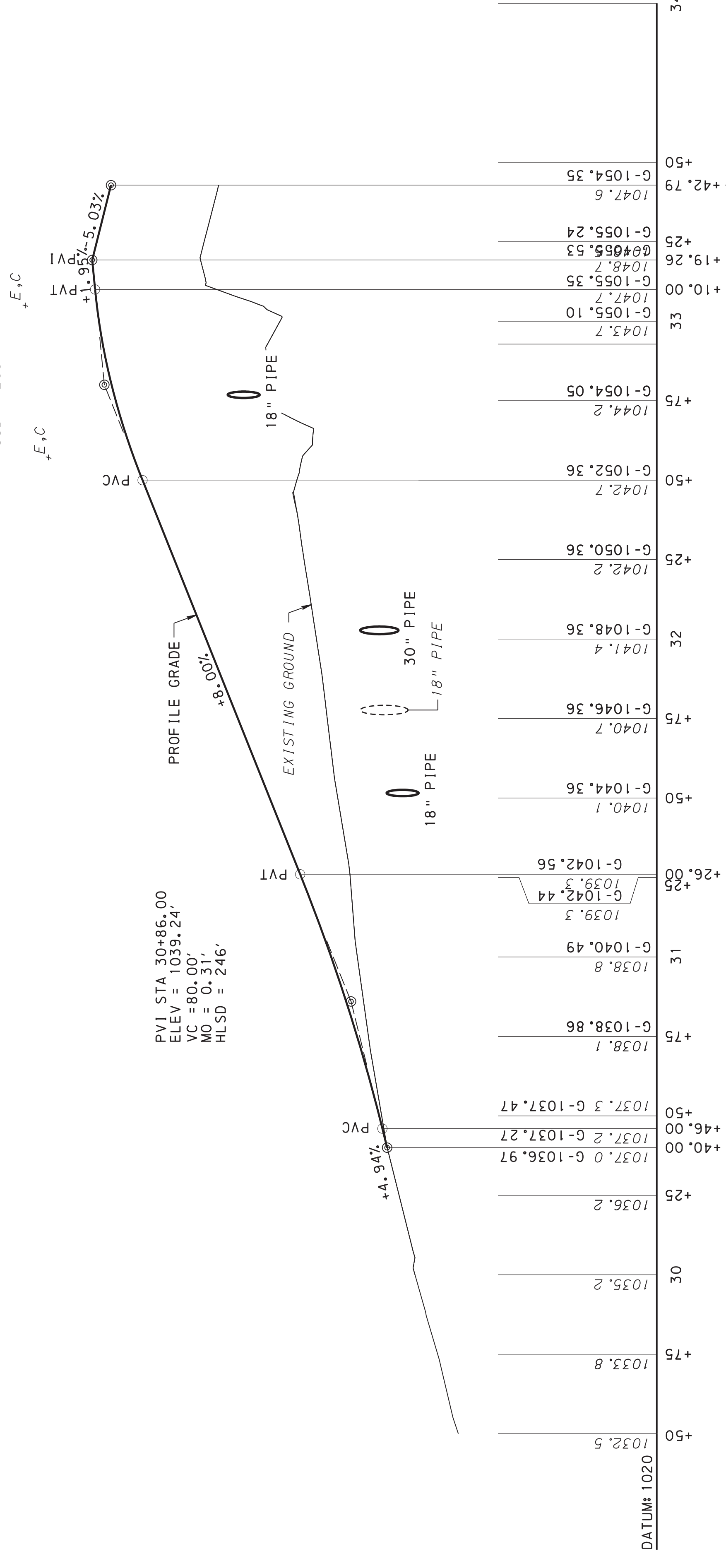
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	20 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

PVI STA 10+30.00  
 ELEV = 1026.50'  
 VC = 15.00'  
 MO = 0.02'  
 HLSD = 0.065'  
 K = 14.33

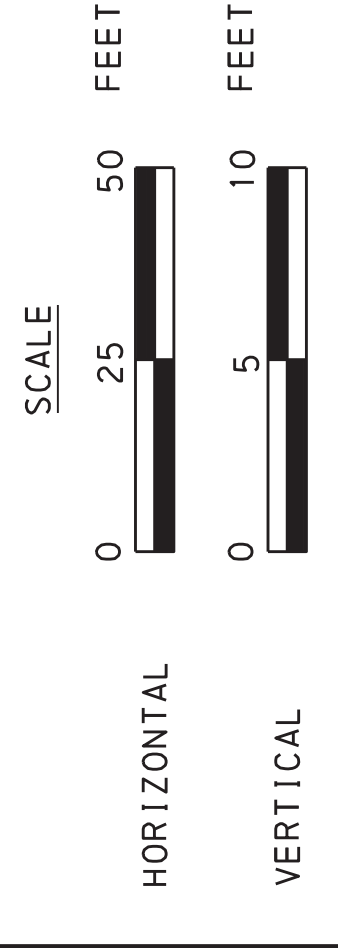


**PROFILE B&P LANE**

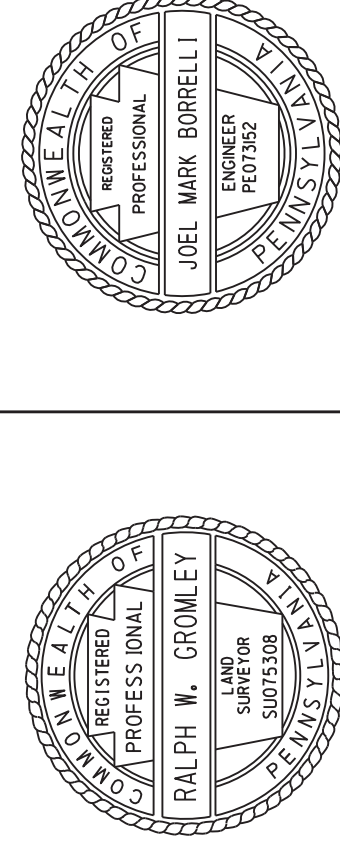
PVI STA 32+80.00  
 ELEV = 1054.76'  
 VC = 60.00'  
 MO = -0.45'  
 SSD = 208'



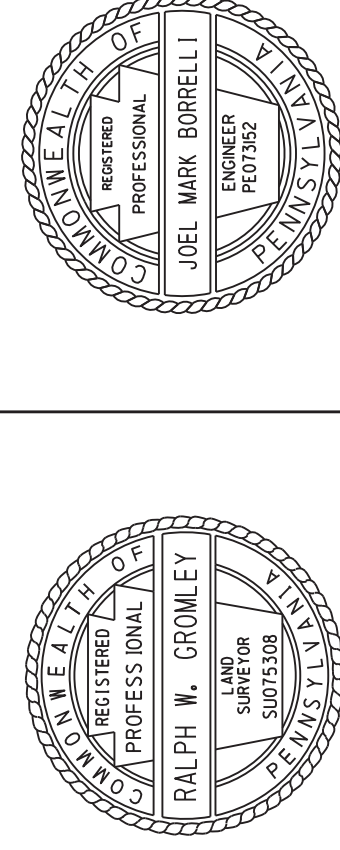
**PROFILE DELWOOD ROAD**



DES: TJM    DWG: BSP    CKD: JMB



REG. PROF. LAND SURVEYOR

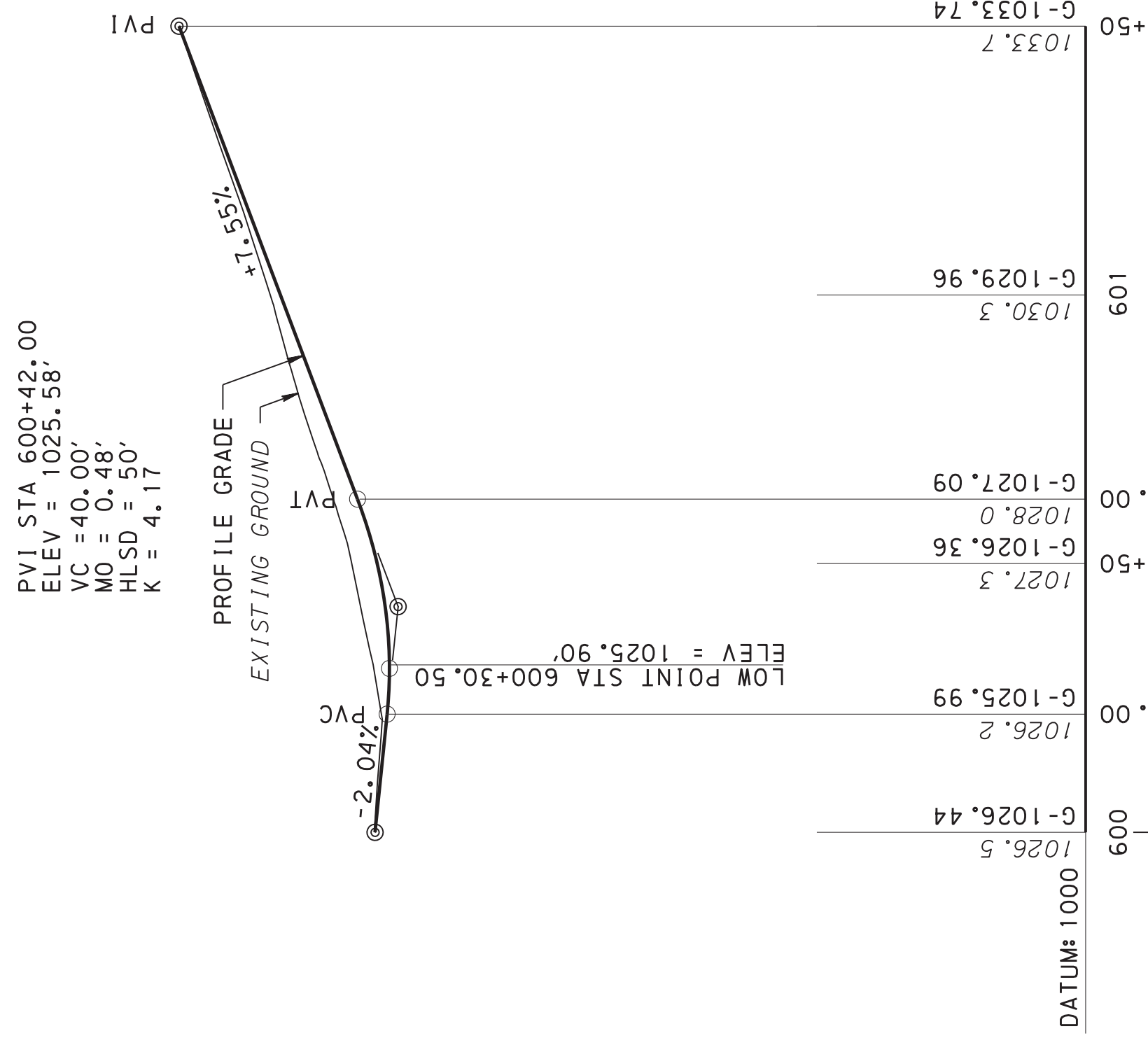


REG. PROF. ENGINEER

SURVEY BOOK # 10-0068-253-0490-2582-0520-0669

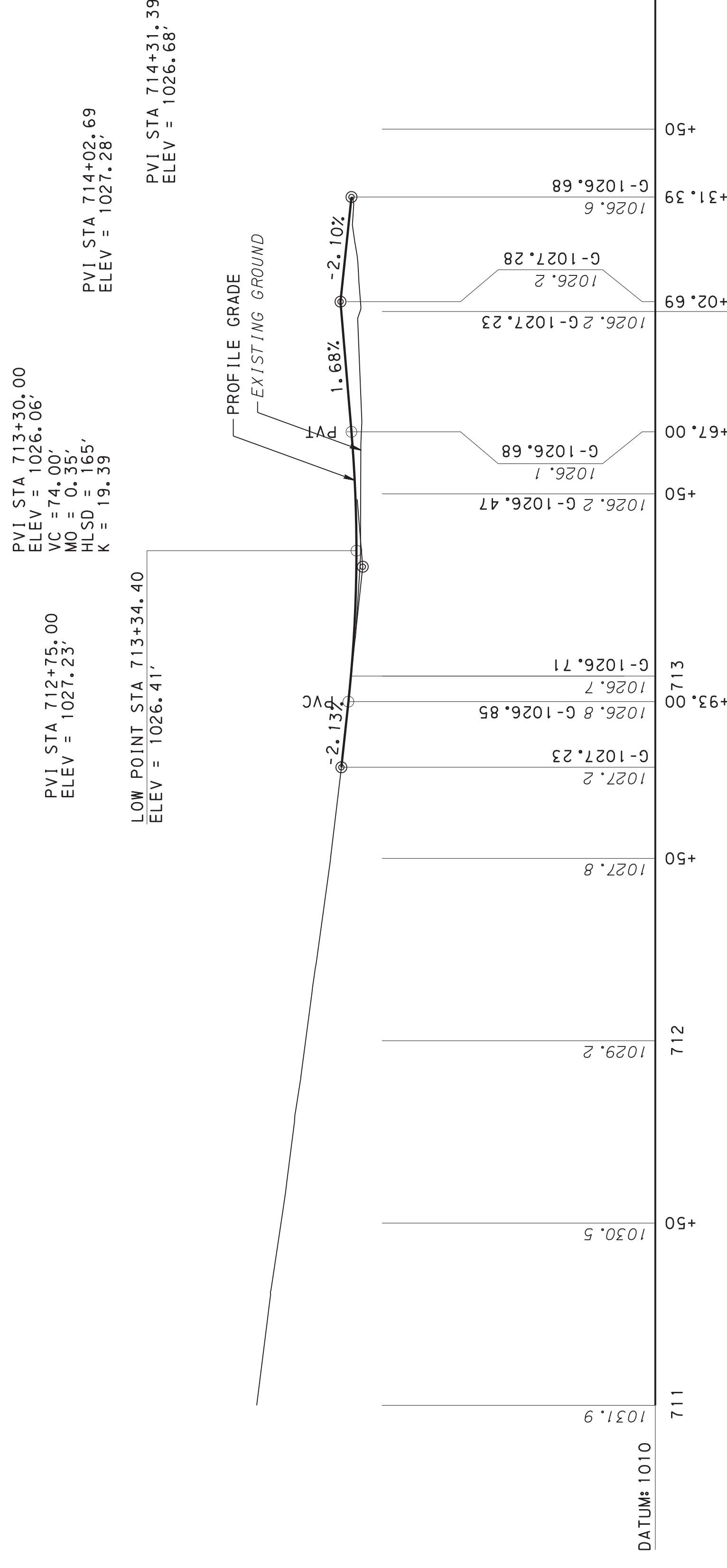
FOR PLAN, SEE SHEETS 10, 12 & 14

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	21 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS			DATE



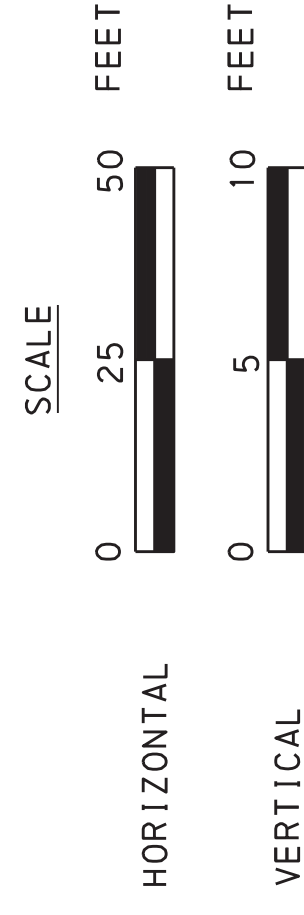
STA 600+00.00 SURVEY SR 8012 (EB ON-RAMP) =  
 STA 124+37.89 SURVEY AND R/W SR 0068

**PROFILE SR 8012 (EB ON RAMP)**

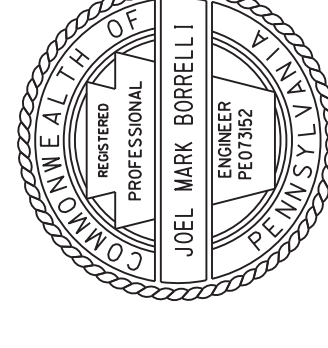
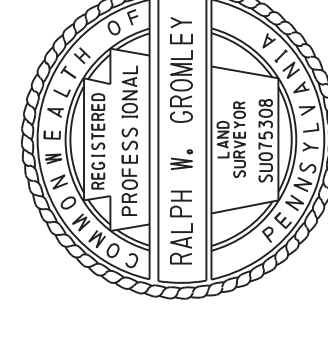


STA 714+31.39 SURVEY SR 8012 (EB OFF-RAMP) =  
 STA 124+09.31 SURVEY AND R/W SR 0068

**PROFILE SR 8012 (EB OFF RAMP)**



DES: TJM DWG: BSP CKD: JMB



SURVEY BOOK #10-0068-253-0490-2582-0520-0569

FOR PLAN, SEE SHEET 13

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

RIGHT-OF-WAY CLAIM INFORMATION				
COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION				
STATE RTE. 0068	SEC. NO. 253 R/W BUTLER TOWNSHIP BUTLER COUNTY			
PARCEL NO. 1	SHEET NOS. 9 & 10 CLAIM NO. 1000881000			
PROPERTY OWNER(S) BUTLER COUNTY MEMORIAL HOSPITAL				
GRANTOR(S) *				
TAX PARCEL NO.	DEED NO.	ACRES	REQUIRED AREA	ACRES
*	CALCULATED	20.43	RIGHT OF WAY	** 0.93
*	ADVERSE		UNDERGROUND STRUCTURE	0.18
*	EFFECTIVE	20.43	SUPPORT EASEMENT	
*	TOTAL REQ'D R/W	0.93	VERIFICATION DATE	11/23/2021
*	TOTAL RESIDUE	19.50	DRAWN BY	MBI
*	RESIDUE LT	19.50	SCALE	AS SHOWN

ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.

THIS PROPERTY PLOT PLAN IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY.

UNDERGROUND STRUCTURE SUPPORT EASEMENT, AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF UNDERGROUND STRUCTURE SUPPORT ELEMENTS. THE EASEMENT SHALL NOT PREVENT THE OWNER FROM MAKING USE OF THE SURFACE FOR FARMING, PARKING AND SIMILAR LEGAL PURPOSES WHICH SHALL NOT INJURE THE STRUCTURE SUPPORT ELEMENTS. HOWEVER, NO STRUCTURE OF ANY KIND MAY BE ERECTED THEREON, NOR IS ANY EXCAVATION OR DRILLING ALLOWED WITHOUT ADVANCED WRITTEN APPROVAL BY THE DEPARTMENT OF TRANSPORTATION.

\* SEE TABLE BELOW FOR A CONSOLIDATED LIST OF DEEDS AS LISTED IN THE "BUTLER MEMORIAL HOSPITAL CONSOLIDATION PLAN" IN PLAN BOOK 308 PAGE 13

\* 0.16 ACRES OF LEGAL SLOPE EASEMENT INCLUDED IN REQUIRED RIGHT-OF-WAY

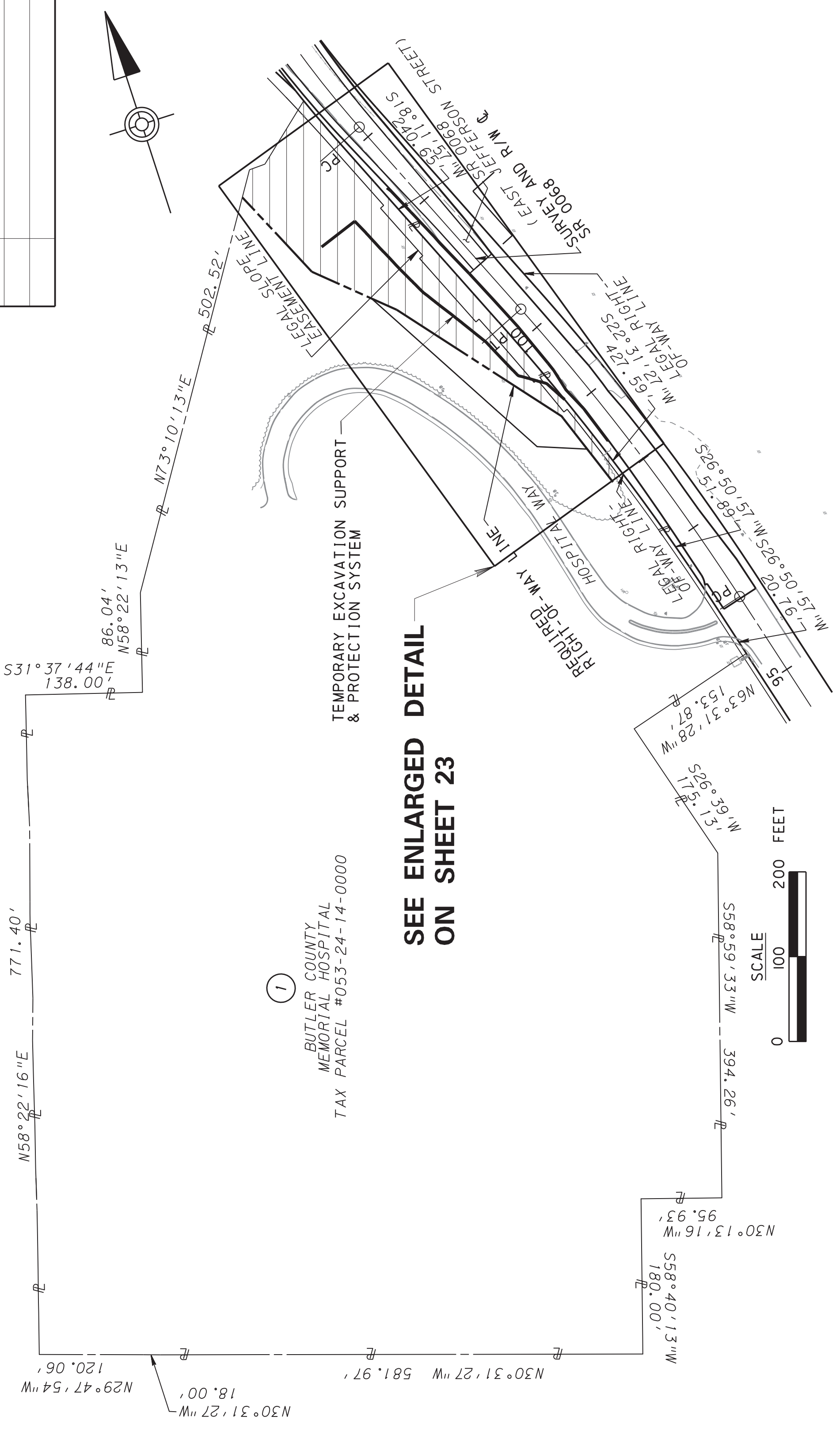
**LEGEND**

N30°31'27"W

581.97' = DEED BEARING & DISTANCE



INDICATES REQUIRED RIGHT-OF-WAY AREA



SEE ENLARGED DETAIL ON SHEET 23

1  
BUTLER COUNTY  
MEMORIAL HOSPITAL  
TAX PARCEL #053-24-14-0000



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	22 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

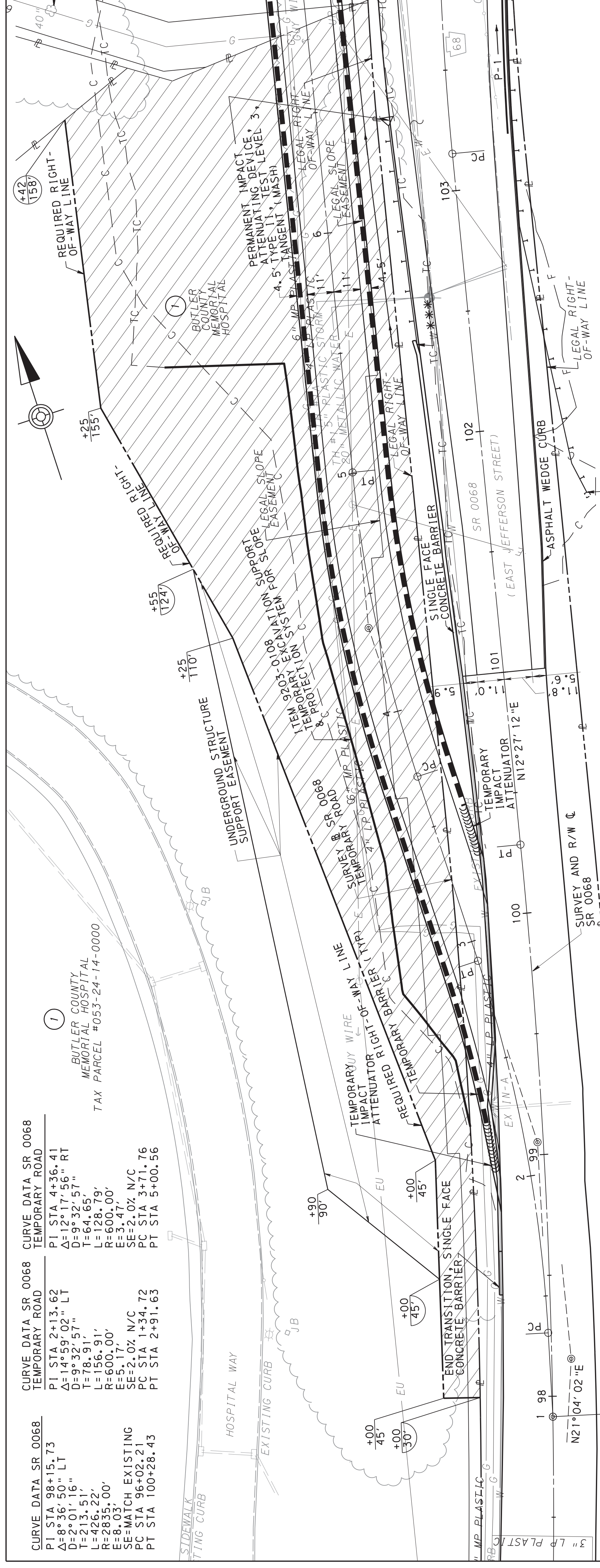
LOT	TAX NUMBER	DEED	GRANTOR	AREA AS OF 1983	SALE OF FRMR. NIXSAR PROPERTY	AREA AS OF 1985	R-O-W	AREA W/O R-O-W	NEW LOT 1
22	562-45-51	DBV 1152 PG 0127	PRAYER CHURCH, INC., A NON-PROFIT CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA	0.143 AC.	----	0.143 AC.	----	0.143 AC.	----
23	562-45-52	DBV 1167 PG 0996	INSTITUTE HILL CHRISTIAN AND MISSIONARY ALLIANCE CHURCH A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF PENNSYLVANIA	0.138 AC.	----	0.138 AC.	----	0.138 AC.	----
24	562-45-53	DBV 1101 PG 0344	DAVID C. YINGLING AND KATHRYN A. YINGLING, HIS WIFE	0.138 AC.	----	0.138 AC.	----	0.138 AC.	----
58	562-45-54	DBV 1078 PG 0981	VIOLET C. BEYNON, A SINGLE WOMAN	0.138 AC.	----	0.138 AC.	----	0.138 AC.	----
59	562-45-55	DBV 1078 PG 0356	RUSSELL E. HEMPHILL AND ALMA B. HEMPHILL, HIS WIFE	0.138 AC.	----	0.138 AC.	----	0.138 AC.	----
60	562-45-56	DBV 0946 PG 0267	FLORENCE RAYBUCK EXECUTRIX UNDER THE LAST WILL AND TESTAMENT OF CARROLL E. LOGAN DECEASED	0.138 AC.	----	0.138 AC.	----	0.138 AC.	----
62	562-45-58	DBV 1078 PG 0309	MARY ALICE M. POTTER, WIDOW	0.138 AC.	----	0.138 AC.	----	0.138 AC.	----
63	562-45-59	DBV 1103 PG 0447	EVERETT A. BAKER, JR. AND MARGARET LENORA BAKER, HIS WIFE	0.138 AC.	----	0.138 AC.	----	0.138 AC.	----
64	562-45-60	DBV 1038 PG 0998	EDWARD A. HILLJARD AND NANCY J. HILLJARD, HIS WIFE	0.138 AC.	----	0.138 AC.	----	0.138 AC.	----
65	053-24-B65	DBV 1044 PG 0344	ROBERT KARL FLEEGER AND DIXIE LEA FLEEGER, HIS WIFE	0.138 AC.	0.060 AC.	0.078 AC.	----	0.078 AC.	----
66	053-24-B66	DBV 1031 PG 0573	ROBERT L. CLOUSE AND DEANNA K. CLOUSE	0.142 AC.	0.142 AC.	----	----	----	----
	053-24-B1	DBV 0982 PG 0338	RALPH M. WYMER AND LILLIAN G. WYMER, HIS WIFE	0.138 AC.	----	0.138 AC.	----	0.138 AC.	----
	053-24-B2	DBV 0982 PG 0338	KENNETH M. CASEY AND SHIRLEY M. CASEY, HIS WIFE	0.138 AC.	----	0.138 AC.	----	0.138 AC.	----
	053-24-14	DBV 0531 PG 0440	BUTLER COUNTY NATIONAL BANK AND TRUST COMPANY, SUCCESSOR TO THE BUTLER COUNTY TRUST COMPANY, TRUSTEE FOR THE BUTLER COUNTY MEMORIAL HOSPITAL	10.010 AC.	0.641 AC.	9.369 AC.	0.010 AC.	9.359 AC.	20.426 AC.
	053-24-14	DBV 0635 PG 0229	JAMES B. WHITE AND MARY R. WHITE, HIS WIFE	8.463 AC.	0.277 AC.	8.186 AC.	0.489 AC.	7.697 AC.	----
	053-24-14A	200805160010870	NIXSAR CORPORATION (ERRONEOUSLY NAMED IN PRIOR DEED OF RECORD AS NIXSAR CORP.), A PENNSYLVANIA NOT-FOR-PROFIT CORPORATION	----	----	1.273 AC.	----	1.273 AC.	----
ALLEYS				0.649 AC.	0.153 AC.	0.496 AC.	----	0.496 AC.	----
TOTAL				20.925 AC.	1.273 AC.	20.925 AC.	0.499 AC.	20.426 AC.	20.426 AC.

\* BUTLER MEMORIAL HOSPITAL PROPERTIES\*

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	23 OF 37
REVISION NUMBER	REVISIONS	DATE	BY	
	BUTLER TOWNSHIP AND SUMMIT TOWNSHIP			

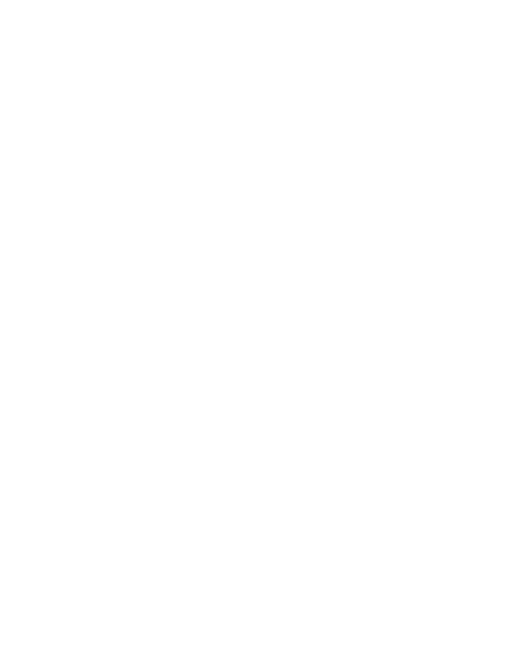
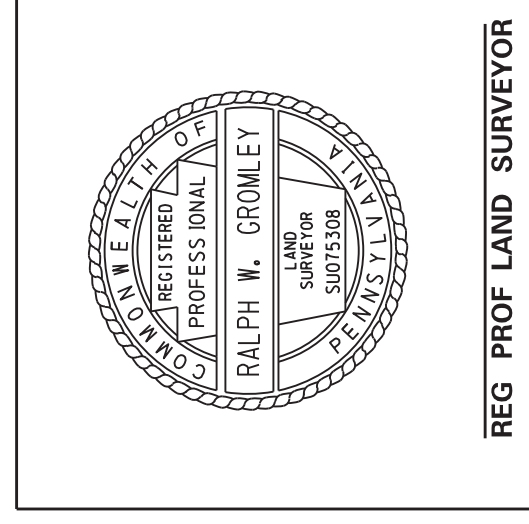


**CURVE DATA SR 0068**  
 TEMPORARY ROAD  
 PI STA 98+15.73  
 $\Delta=8^{\circ}36'50''$  LT  
 $D=2901.16''$   
 $L=213.51'$   
 $T=426.22'$   
 $R=2835.00'$   
 $E=8.03'$   
 SE=MATCH EXISTING  
 PC STA 96+02.21  
 PT STA 100+28.43

**CURVE DATA SR 0068**  
 TEMPORARY ROAD  
 PI STA 2+13.62  
 $\Delta=14^{\circ}59'02''$  LT  
 $D=9^{\circ}32'57''$   
 $L=78.91'$   
 $T=156.91'$   
 $R=600.00'$   
 $E=5.17'$   
 SE=2.0% N/C  
 PC STA 1+34.72  
 PT STA 2+91.63

**CURVE DATA SR 0068**  
 TEMPORARY ROAD  
 PI STA 4+36.41  
 $\Delta=12^{\circ}17'56''$  RT  
 $D=9^{\circ}32'57''$   
 $L=64.65'$   
 $T=128.79'$   
 $R=600.00'$   
 $E=3.47'$   
 SE=2.0% N/C  
 PC STA 3+71.76  
 PT STA 5+00.56

**ENLARGED DETAIL**  
 SCALE  
 0 25 50 FEET



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	24 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

**RIGHT-OF-WAY CLAIM INFORMATION**  
COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION

STATE RTE. 0068 SEC. NO. 253 R/W BUTLER TOWNSHIP BUTLER COUNTY  
PARCEL NO. 2 SHEET NO. 10 CLAIM NO. 1000882000  
PROPERTY OWNER(S) JEANEAN FRANCESE

GRANTOR(S) A. STEPHEN FRANCESE, III AND JEANEAN FRANCESE, HIS WIFE

TAX PARCEL NO.	AREAS	SQ FT	REQUIRED AREA	SQ FT
#053-24-1-0000	DEED	—	RIGHT OF WAY	* 9,528
INSTRUMENT NO. 200404020010071	CALCULATED ADVERSES	23,916	UNDERGROUND STRUCTURE SUPPORT EASEMENT	15
DATE OF DEED 03/15/2004	LEGAL R/W EFFECTIVE	3,375	VERIFICATION DATE	11/23/2021
DATE OF RECORD 04/02/2004	TOTAL REQ'D R/W	20,541	DRAWN BY	MBI
CONSIDERATION \$1.00	TOTAL RESIDUE	11,013	SCALE IN FEET	0 25 50
TAX STAMPS	RESIDUE LT	11,013		
	RESIDUE RT	—		

ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.

THIS PROPERTY PLOT PLAN IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY.

\* 553 SF OF LEGAL SLOPE EASEMENT INCLUDED IN REQUIRED RIGHT-OF-WAY

UNDERGROUND STRUCTURE SUPPORT EASEMENT, AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF UNDERGROUND STRUCTURE SUPPORT ELEMENTS. THE EASEMENT SHALL NOT PREVENT THE OWNER FROM MAKING USE OF THE SURFACE FOR FARMING, PARKING AND SIMILAR LEGAL PURPOSES WHICH SHALL NOT INJURE THE STRUCTURE SUPPORT ELEMENTS. HOWEVER, NO STRUCTURE OF ANY KIND MAY BE ERRECTED THEREON, NOR IS ANY EXCAVATION OR DRILLING ALLOWED WITHOUT ADVANCED WRITTEN APPROVAL BY THE DEPARTMENT OF TRANSPORTATION.

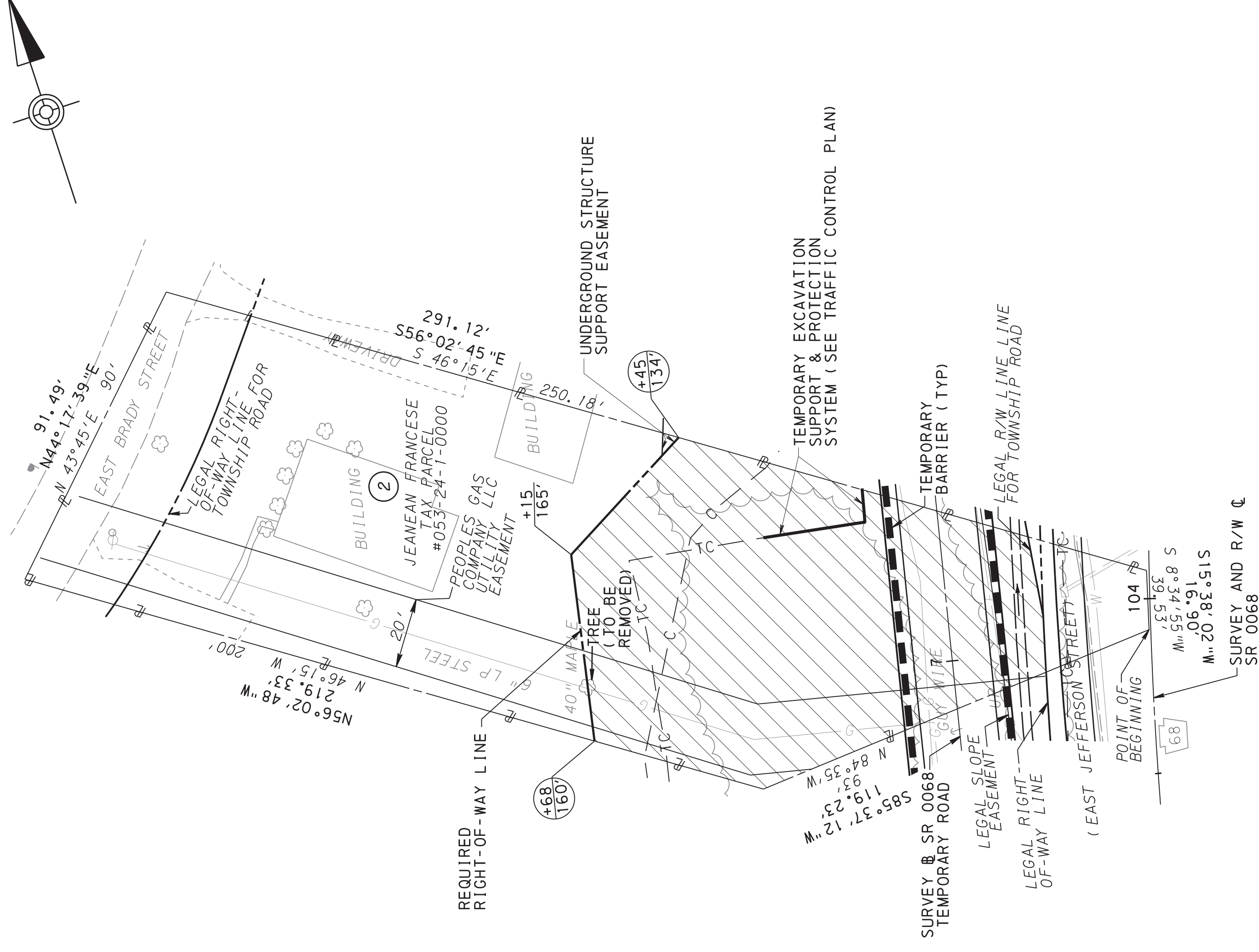
**LEGEND**

N46°15'W 200' = DEED BEARING & DISTANCE

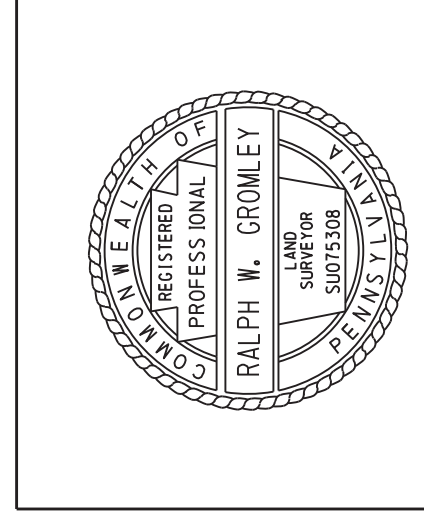
N56°02'48"W 219.33' = CALCULATED BEARING & DISTANCE



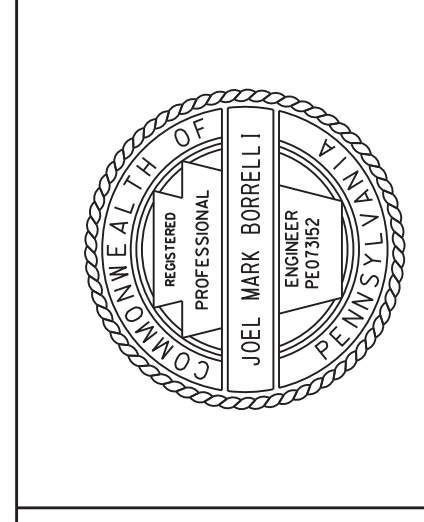
INDICATES REQUIRED RIGHT-OF-WAY AREA



CURVE DATA SR 0068  
 PI STA 105+96.86  
 Δ=26°37'03" RT  
 D=4°48'53"  
 T=281.49'  
 L=552.83'  
 R=1190.00'  
 E=32.84'  
 SE=5.0%  
 PC STA 103+15.36  
 PT STA 108+68.19

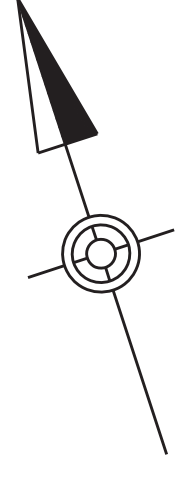


REG PROF LAND SURVEYOR



REG PROF ENGINEER

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	25 OF 37
REVISIONS				
REVISION NUMBER	DATE	BY		



**RIGHT-OF-WAY CLAIM INFORMATION**  
COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION

STATE RTE. 0068 SEC. NO. 253 R/W BUTLER TOWNSHIP BUTLER COUNTY  
 PARCEL NO. 3 SHEET NO. 10 CLAIM NO. 1000883000  
 PROPERTY OWNER(S) BRENT C. BENOIT, A SINGLE MAN  
 GRANTOR(S) TRAVIS JAY WACK, A SINGLE MAN

TAX PARCEL NO.	AREAS	SQ FT	REQUIRED AREA	SQ FT
#053-24-2-0000	DEED	—	RIGHT OF WAY	* 4,505
INSTRUMENT NO. 202103090006656	CALCULATED ADVERSES	17,790	UNDERGROUND STRUCTURE	1,576
DATE OF DEED 02/26/2021	LEGAL R/W	4,070	SUPPORT EASEMENT	—
DATE OF RECORD 03/09/2021	EFFECTIVE	13,720	VERIFICATION DATE	11/23/2021
CONSIDERATION \$85,000.00	TOTAL REQ'D R/W	4,505	DRAWN BY	MBI
TAX STAMPS	TOTAL RESIDUE	9,215	SCALE IN FEET	0 25 50
	RESIDUE LT	—		
	RESIDUE RT	—		

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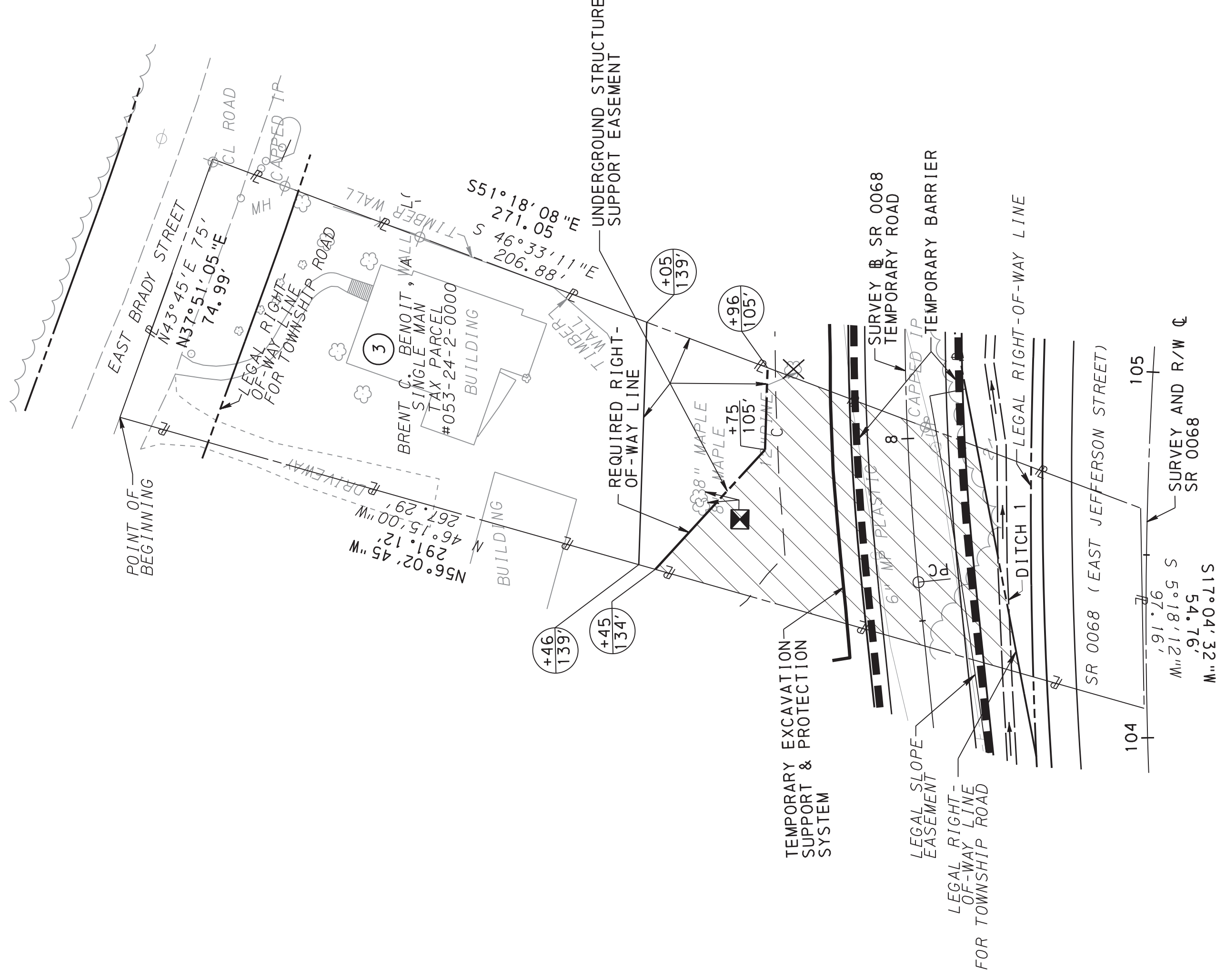
UNDERGROUND STRUCTURE SUPPORT EASEMENT, AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF UNDERGROUND STRUCTURE SUPPORT ELEMENTS, THE EASEMENT SHALL NOT PREVENT THE OWNER FROM MAKING USE OF THE SURFACE FOR FARMING, PARKING AND SIMILAR LEGAL PURPOSES WHICH SHALL NOT INJURE THE STRUCTURE SUPPORT ELEMENTS. HOWEVER, NO STRUCTURE OF ANY KIND MAY BE ERRECTED THEREON, NOR IS ANY EXCAVATION OR DRILLING ALLOWED WITHOUT ADVANCED WRITTEN APPROVAL BY THE DEPARTMENT OF TRANSPORTATION.

THIS PROPERTY PLOT PLAN IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY.

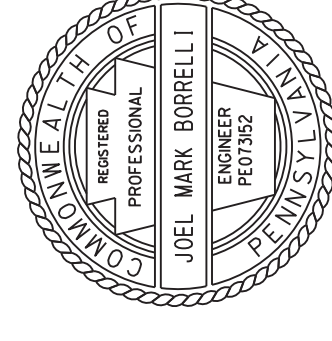
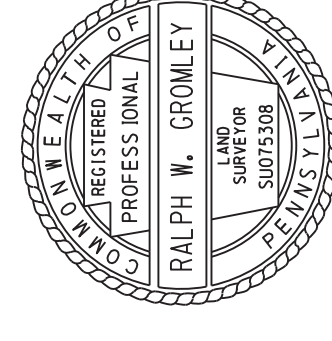
\* 696 SF OF LEGAL SLOPE EASEMENT INCLUDED IN REQUIRED RIGHT-OF-WAY

**LEGEND**

M46°15'00"W 267.29' = DEED BEARING & DISTANCE  
 N56°02'45"W 291.12' = CALCULATED BEARING AND DISTANCE



CURVE DATA SR 0068	CURVE DATA SR 0068
TEMPORARY ROAD	TEMPORARY ROAD
PI STA 105+96.86	PI STA 9+96.66
Δ=26°37'03" RT	Δ=37°15'55" RT
D=448.53'	D=811.06'
L=281.49'	L=236.02'
R=1190.00'	R=455.28'
E=32.84'	E=38.72'
SE=5.07'	SE=2.07' N/C
PC STA 103+15.36	PC STA 7+60.64
PT STA 108+68.19	PT STA 12+15.93



RIGHT-OF-WAY CLAIM INFORMATION

COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION  
 STATE RTE. 0068 SEC. NO. 253 R/W BUTLER TOWNSHIP BUTLER COUNTY  
 PARCEL NO. 4 SHEET NO. 10 CLAIM NO. 1000884000  
 PROPERTY OWNER(S) JOHN D. WHITTINGTON, SR. AND LORNA M. WHITTINGTON, HUSBAND AND WIFE,  
 AS TENANTS BY THE ENTIRETY  
 GRANTOR(S) ERIC F. POTOCHNY & DJANE M. NANNI NOW DJANE M. POTOCHNY, HUSBAND AND WIFE

TAX PARCEL NO.	AREAS	SQ FT	REQUIRED AREA	SQ FT
#053-24-3-0000	DEED		RIGHT OF WAY	* 5,818
	CALCULATED	21,353	UNDERGROUND STRUCTURE	3,213
	ADVERSES		SUPPORT EASEMENT	
DEED BOOK	LEGAL R/W	2,590		
PAGE	EFFECTIVE	18,763		
DATE OF DEED	TOTAL REQ'D R/W	5,818		
DATE OF RECORD	RESIDUE	12,945		
CONSIDERATION	RESIDUE LT	12,945		
TAX STAMPS	RESIDUE RT			

ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.

UNDERGROUND STRUCTURE SUPPORT EASEMENT: AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF UNDERGROUND STRUCTURE SUPPORT ELEMENTS. THE EASEMENT SHALL NOT PREVENT THE OWNER FROM MAKING USE OF THE SURFACE FOR FARMING, PARKING AND SIMILAR LEGAL PURPOSES WHICH SHALL NOT INJURE THE STRUCTURE SUPPORT ELEMENTS. HOWEVER, NO STRUCTURE OF ANY KIND MAY BE ERRECTED THEREON, NOR IS ANY EXCAVATION OR DRILLING ALLOWED WITHOUT ADVANCED WRITTEN APPROVAL BY THE DEPARTMENT OF TRANSPORTATION. BUILDINGS AND STRUCTURES MARKED [C] HAVE BEEN OR ARE TO BE REMOVED OR ALTERED BY THE DEPARTMENT OR OTHER AUTHORITY RESPONSIBLE FOR THE PAYMENT OF PROPERTY DAMAGES.

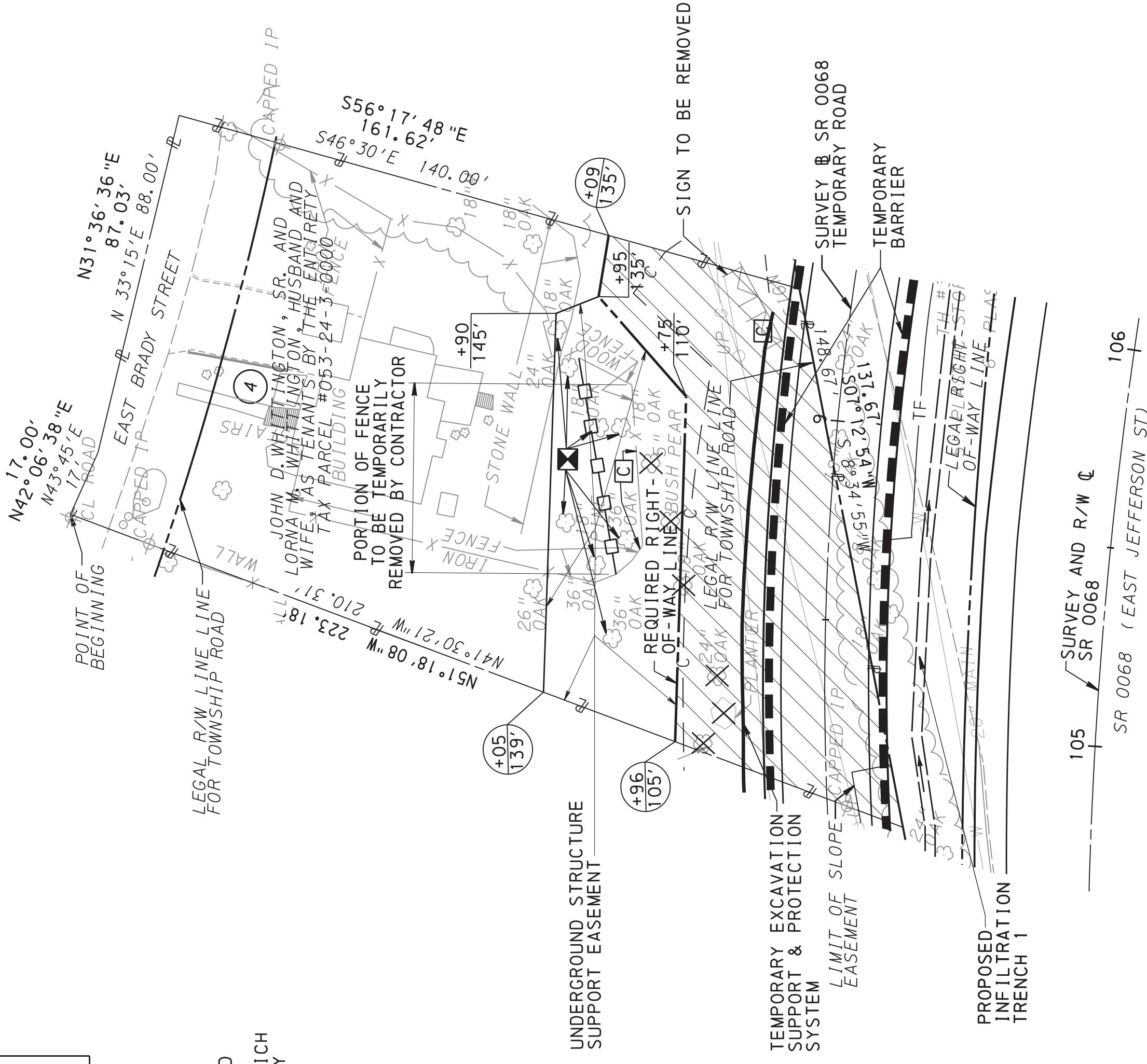
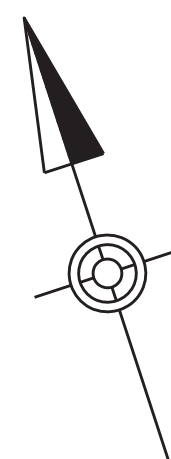
THIS PROPERTY PLOT PLAN IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY.  
 \*\* 130 SF OF LEGAL SLOPE EASEMENT INCLUDED IN REQUIRED RIGHT-OF-WAY

LEGEND

N41°30'21"W 210.31' = DEED BEARING & DISTANCE  
 N51°18'08"W 223.18' = CALCULATED BEARING AND DISTANCE

[Hatched Box] INDICATES REQUIRED RIGHT-OF-WAY AREA

- [X] - TREES TO REMAIN AND BE PROTECTED
- [X] - TREES AND PLANTER TO BE REMOVED
- [---] - TEMPORARY FENCE



CURVE DATA SR 0068	
PI STA	105+96.86
Δ	26°37'03" RT
D	4°48'53"
T	281.49
L	552.83
R	1190.00'
E	52.84'
SE	5.04'
PC STA	103+15.36
PT STA	108+68.19

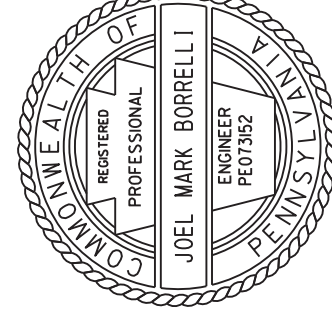
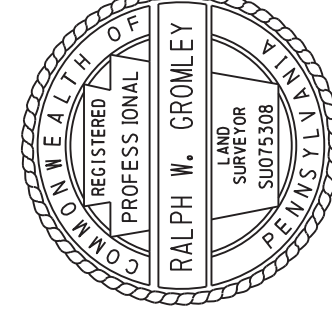
  

CURVE DATA SR 0068	
PI STA	9+96.66
Δ	37°15'55" RT
D	8°11'06"
T	236.02'
L	455.28'
R	700.00'
E	38.72'
SE	2.02' N/C
PC STA	7+60.64
PT STA	12+15.93

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	26 OF 37

REVISION NUMBER	REVISIONS	DATE	BY



**RIGHT-OF-WAY CLAIM INFORMATION**

COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION  
 STATE RTE. 0068 SEC. NO. 253 R/W BUTLER TOWNSHIP BUTLER COUNTY  
 PARCEL NO. 5 SHEET NO. 10 CLAIM NO. 100085000  
 PROPERTY OWNER(S) MARTIN MEDIA, A CALIFORNIA LIMITED PARTNERSHIP,  
 A CALIFORNIA PARTNERSHIP,  
 GRANTOR(S) POA COMPANY, A PENNSYLVANIA PARTNERSHIP

TAX PARCEL NO.	AREAS	SQ FT	REQUIRED AREA	SQ FT
#053-24-4-0000	DEED CALCULATED	21,836	RIGHT OF WAY	6,304
	ADVERSES		TEMP CONSTR EASEMENT	1,374
DEED BOOK 2780	EFFECTIVE	21,836		
PAGE 0271	TOTAL REQ'D R/W	6,304		
DATE OF DEED 9/12/1997	TOTAL RESIDUE	15,532		
DATE OF RECORD 9/19/1997	RESIDUE LT	15,532		
CONSIDERATION \$10.00	RESIDUE RT			
TAX STAMPS				

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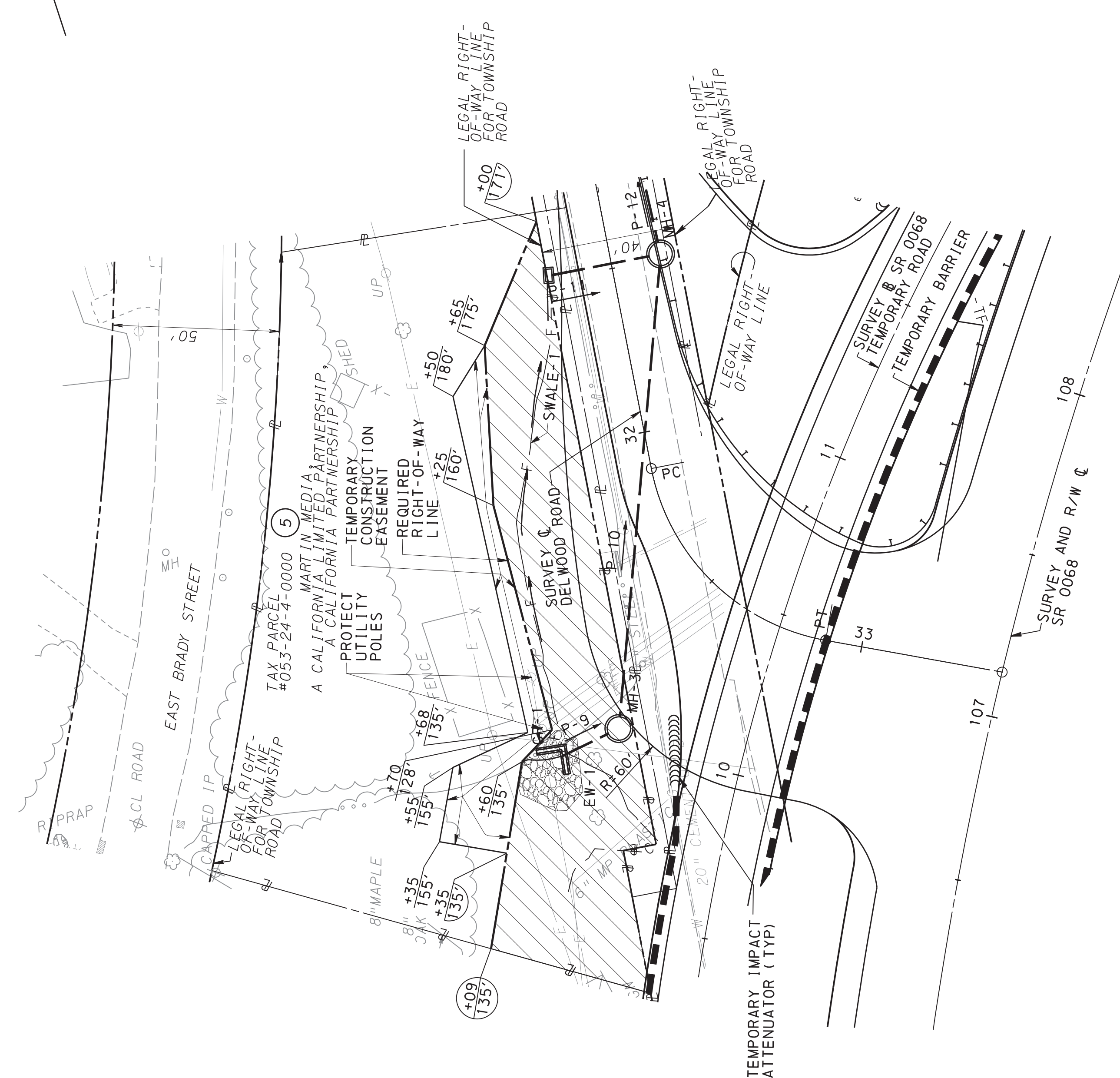
THIS PROPERTY PLOT PLAN IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY.

TEMPORARY CONSTRUCTION EASEMENT, AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT, THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

**LEGEND**

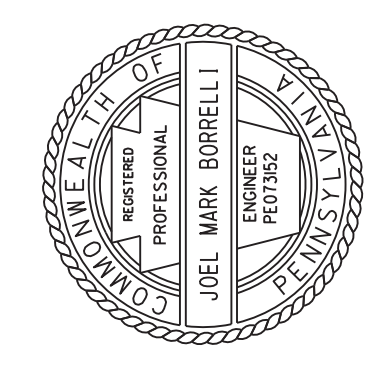
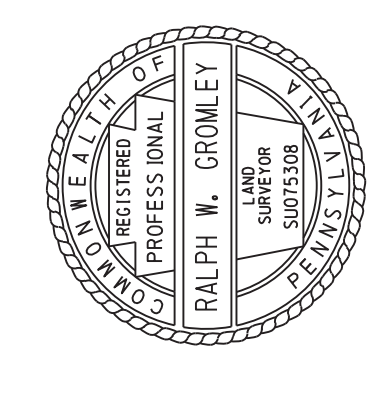


INDICATES REQUIRED RIGHT-OF-WAY AREA



CURVE DATA	DELWOOD ROAD	CURVE DATA SR 0068	TEMPORARY ROAD
PI STA	32+55.52	PI STA	105+96.86
Δ	68°42'40" LT	Δ	26°37'03" RT
D	88°08'50"	D	4°48'53"
T	44.43'	T	281.49'
L	77.95'	L	552.83'
R	65.00'	R	1190.00'
E	13.74'	E	32.84'
SE	2.0%	SE	5.0%
PC STA	32+11.09	PC STA	103+15.36
PT STA	32+89.04	PT STA	108+68.19

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	27 OF 37
REVISION NUMBER	BUTLER TOWNSHIP AND SUMMIT TOWNSHIP			
	REVISIONS			
	DATE			
	BY			



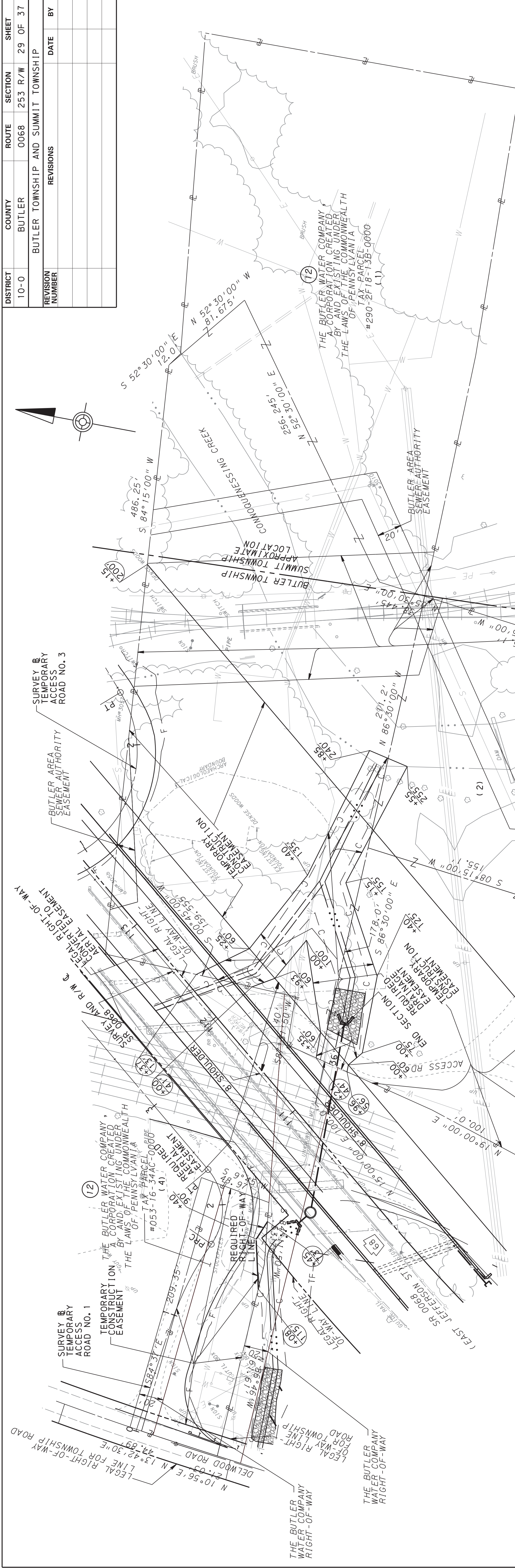
DES: TJM DWG: BSP CKD: JMB

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	29 OF 37
REVISION NUMBER	BUTLER TOWNSHIP AND SUMMIT TOWNSHIP			
REVISIONS	DATE	BY		



**RIGHT-OF-WAY CLAIM INFORMATION**  
 COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION

STATE RTE. 0068 SEC. NO. 253 R/W BUTLER TOWNSHIP BUTLER COUNTY  
 PARCEL NO. 12 SHEET NOS. 10 & 11 CLAIM NO. 1000891000  
 PROPERTY OWNER(S) THE BUTLER WATER COMPANY, A CORPORATION CREATED BY AND EXISTING UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA  
 GRANTOR(S) (1), (2), (3), (4)

AREAS	ACRES	REQUIRED AREA	ACRES
(1) TAX PARCEL #053-24-13-0000	8.24	RIGHT OF WAY	249 SF/0.01 AC
ADVERSED	0.22	AERIAL EASEMENT	0.22
LEGAL R/W	0.06	TEMP CONSTR EASEMENT	** * 1.86
EFFECTIVE	8.18	DRAINAGE EASEMENT	0.30
TOTAL REQ'D R/W	0.01	EASEMENT	
PAGE OF DEED 06/30/1897	8.17	RESIDUE LT	0.25
DATE OF RECORD 07/02/1897	8.17	RESIDUE RT	7.92
CONSIDERATION \$1.00		TAX STAMPS	
TAX STAMPS		VERIFICATION DATE 11/23/2021	
		DRAWN BY	MBI
		SCALE IN FEET	0 40 80
(2) DEED BOOK 336	340	TAX PARCEL NOS. #053-16-34AC-0000	
DEED BOOK 352	13	DEED BOOK 736	
DATE OF DEED 01/02/1917	352	DATE OF DEED 03/31/1917	198
DATE OF RECORD 03/01/1917	352	DATE OF RECORD 04/06/1917	198
CONSIDERATION \$1.00		CONSIDERATION \$1.00	
TAX STAMPS		TAX STAMPS \$1000.00	
		TAX STAMPS \$21.10	

- RIGHT-OF-WAY FOR THE BALTIMORE AND OHIO RAILROAD COMPANY, ALLEGHENY & WESTERN RAILROAD COMPANY BASED ON CSX VAL MAP "RIGHT-OF-WAY AND TRACK MAP, ALLEGHENY AND WESTERN RY, DATED JULY 20, 1917 AND DBV 193 PAGE 282
- (1) JAMES McCULLOUGH, JR. AND ANNIE B. McCULLOUGH, HIS WIFE
  - (2) HENRY REIBER, ET AL
  - (3) EARL F. GRAHAM (UNMARRIED)
  - (4) W. H. McCUNE AND MARY E. McCUNE, HIS WIFE

- \* INCLUDES 0.55 ACRES OF RIGHT-OF-WAY FOR THE BALTIMORE AND OHIO RAILROAD COMPANY/ALLEGHENY & WESTERN RAILROAD COMPANY
- \*\* 0.03 ACRES OF LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT AND IN WHICH THE UNDERLYING RIGHTS WILL BE VACATED BACK TO THE PROPERTY OWNER
- \*\* \* INCLUDES 0.11 ACRES ACROSS RIGHT-OF-WAY FOR THE BALTIMORE AND OHIO RAILROAD COMPANY/ALLEGHENY & WESTERN RAILROAD COMPANY

ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

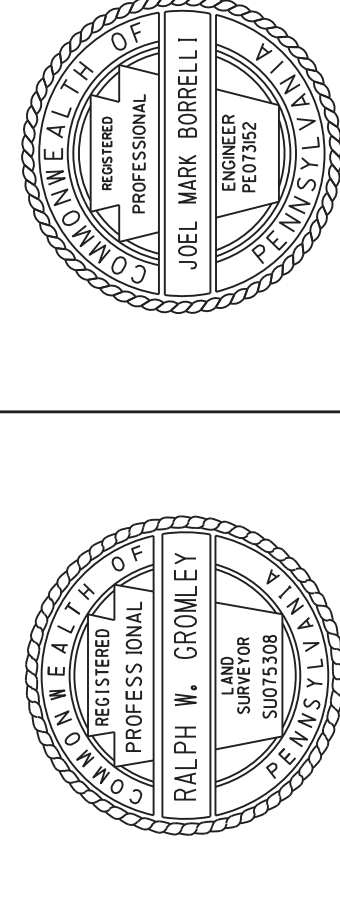
THIS PROPERTY PLOT PLAN IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY.

DRAINAGE EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF HIGHWAY DRAINAGE FACILITIES. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO THE NECESSARY FLOW OF WATER. HOWEVER, NO STRUCTURE OF ANY KIND MAY BE ERRECTED IN THE AREA, NOR MAY ANY PIPE OR DITCH BE CONNECTED TO THE DEPARTMENT'S PIPE OR DITCH WITHOUT ADVANCED WRITTEN APPROVAL BY THE DEPARTMENT OF TRANSPORTATION.

**LEGEND**

INDICATES REQUIRED RIGHT-OF-WAY AREA

NOTE: "THE BUTLER WATER COMPANY" SOLD PARCEL 12 TO "SOUTH PITTSBURGH WATER COMPANY" IN DEED BOOK 955 PAGE 821, AND AS NOTED IN SAID DEED, THE GRANTEE HAS CHANGED TO "WESTERN PENNSYLVANIA WATER COMPANY" WHICH IS DOCUMENTED IN DEED BOOK 955 PAGE 825.

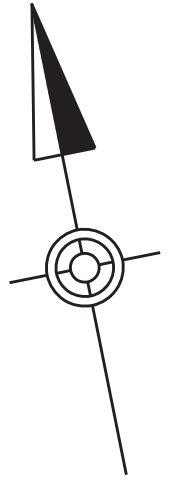


REG. PROF. LAND SURVEYOR

DES: TJM DWG: BSP CKD: JMB

REG. PROF. ENGINEER

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	30 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	



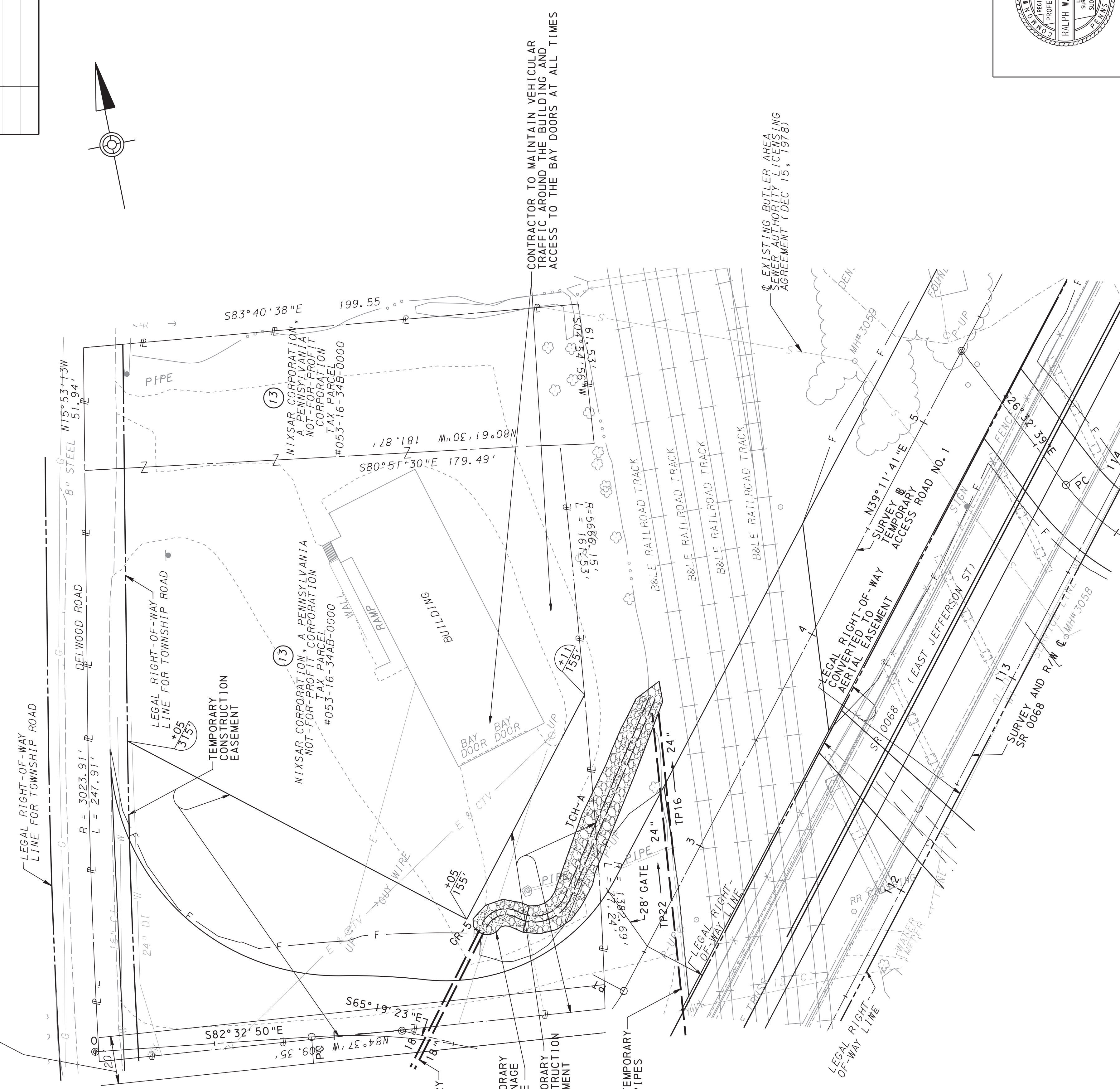
RIGHT-OF-WAY CLAIM INFORMATION			
COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION			
STATE RTE. 0068	SEC. NO. 253 R/W	BUTLER TOWNSHIP	BUTLER COUNTY
PARCEL NO. 13	SHEET NO. 11	CLAIM NO. 1000888000	
PROPERTY OWNER(S) NIXSAR CORPORATION, A PENNSYLVANIA NOT-FOR-PROFIT CORPORATION			
GRANTOR(S) FLOYD W. OSBORNE AND JOAN G. OSBORNE, HIS WIFE			
TAX PARCEL NOS.	AREAS	SQ FT	SQ FT
#053-16-34AB-0000	DEED CALCULATED	55,321	
#053-16-34B-0000	ADVERSES		17,194
INSTR. NO. 20160804	LEGAL R/W	4,068	
DATE OF DEED 08/03/2016	EFFECTIVE	51,253	
DATE OF RECORD 08/04/2016	TOTAL REQ'D R/W	51,253	
CONSIDERATION \$384,000.00	TOTAL RESIDUE	51,253	
TAX STAMPS	RESIDUE LT	51,253	
	RESIDUE RT		
	VERIFICATION DATE	11/23/2021	
	DRAWN BY	MB1	
	SCALE IN FEET		
	0 25 50		

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THIS PROPERTY PLOT PLAN IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY. TEMPORARY CONSTRUCTION EASEMENT, AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

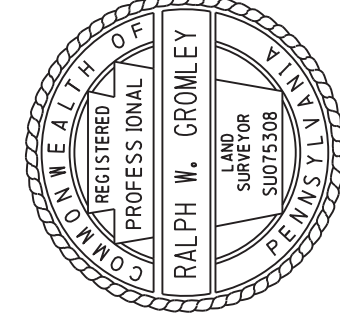
**LEGEND**

MB4° 37' W 209.35' = DEED BEARING & DISTANCE

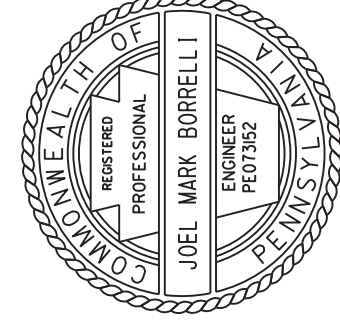


CONTRACTOR TO MAINTAIN VEHICULAR TRAFFIC AROUND THE BUILDING AND ACCESS TO THE BAY DOORS AT ALL TIMES

EXISTING BUTLER AREA SEWER AUTHORITY LICENSING AGREEMENT (DEC 15, 1978)



REG. PROF. LAND SURVEYOR



REG. PROF. ENGINEER

**RIGHT-OF-WAY CLAIM INFORMATION**  
COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION

STATE RTE. 0068 SEC. NO. 253 R/W BUTLER AND SUMMIT TOWNSHIPS BUTLER COUNTY  
PARCEL NO. 15 SHEET NOS. 11 & 12 CLAIM NO. 1000889000

GRANTOR(S) ▲▲	REQUIRED AREA	ACRES	ACRES
TAX PARCEL NO. #053-16-35-0000	RIGHT OF WAY	20.37	* 0.86
DEED BOOK (1) 1152	TEMP CONSTR EASEMENT	5.92	2.45
PAGE OF DEED 935	AERIAL EASEMENT	1.23	0.54
DATE OF RECORD 12/31/1980	TOTAL REQ'D R/W	13.22	0.11
DATE OF RECORD 08/19/1982	TOTAL RESIDUE	12.36	
CONSIDERATION	RESIDUE LT	10.19	
TAX STAMPS	RESIDUE RT	2.17	
	VERIFICATION DATE	11/23/2021	
	DRAWN BY	MB1	

DEED BOOK (2)	216
PAGE	113
DATE OF DEED	01/19/1903
DATE OF RECORD	01/27/1903
CONSIDERATION	\$1.00
TAX STAMPS	

ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.

THIS PROPERTY PLOT PLAN IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY.

TEMPORARY CONSTRUCTION EASEMENT - AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

CHANNEL EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF THE COURSE OF THE CHANNEL. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO THE NECESSARY FLOW OF THE WATER.

\* 0.29 ACRES OF LEGAL SLOPE EASEMENT INCLUDED IN REQUIRED RIGHT-OF-WAY

\*\* 0.66 ACRES OF LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT AND IN WHICH THE UNDERLYING RIGHTS WILL BE VACATED BACK TO THE PROPERTY OWNER.

BUILDINGS AND STRUCTURES MARKED [15] ARE ENCROACHMENTS WHICH ARE THE RESPONSIBILITY OF THE PROPERTY OWNERS TO REMOVE.

THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND CORPORATION, AND MANUFACTURERS HANOVER TRUST COMPANY, A NEW YORK CORPORATION, AND D. B. HERTERICH, AS TRUSTEES UNDER B&O'S REFUNDING AND GENERAL MORTGAGE DATED DECEMBER 8, 1915, AS ALLEGHENY & WESTERN RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA TAX PARCEL #053-16-35-0000

ADVERSE DEED BOOK 578 PAGE 317 PARCEL NO. 1

LEGAL RIGHT-OF-WAY LINE

LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT

SURVEY B TEMPORARY ACCESS ROAD NO. 3

LEGAL RIGHT-OF-WAY LINE

REQUIRED AERIAL EASEMENT

REQ'D CHANNEL EASEMENT SURVEY AND R/W @ SR 0068

TEMPORARY CONSTRUCTION EASEMENT

EXISTING BUTLER AREA SEMER AUTHORITY LICENSE AGREEMENT (DEC 15, 1978)

LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT. PROPERTY IN WHICH THE DEPARTMENT INTENDS TO VACATE ITS EXISTING SURFACE EASEMENT FOR HIGHWAY PURPOSES AND RETAIN AN AERIAL EASEMENT AS DEFINED ELSEWHERE ON THIS PLAN, SUBJECT TO THE APPROVAL OF THIS PLAN BY THE GOVERNOR, THE FILING OF THIS PLAN AS A PUBLIC RECORD IN THE OFFICE OF THE DEPARTMENT AND THE RECORDING OF THIS PLAN IN THE COUNTY RECORDER OF DEEDS OFFICE, THIS NOTE SHALL CONSTITUTE AN ORDER OF VACATION PURSUANT TO SECTION 210 OF THE STATE HIGHWAY LAW, 36 P.S. SECTION 670-210, AS TO THE SURFACE EASEMENT FOR HIGHWAY PURPOSES, EFFECTIVE WHEN THE CONSTRUCTION IS COMPLETED.

**LEGEND**

S87°30'00"W 477.00' = DEED BEARING & DISTANCE

- ▲ (1) THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND CORPORATION, AND MANUFACTURERS HANOVER TRUST COMPANY, A NEW YORK CORPORATION, AND D. B. HERTERICH, AS TRUSTEES UNDER B&O'S REFUNDING AND GENERAL MORTGAGE DATED DECEMBER 1, 1915, AS SUPPLEMENTED AND AMENDED
- (2) ALLEGHENY & WESTERN RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA
- ▲▲ (1) THE CHEAT HAVEN RAILROAD COMPANY, A PENNSYLVANIA CORPORATION
- (2) C. H. MCCAULEY AND J. A., HIS WIFE

ADVERSE DEED BOOK 697 PAGE 149 PARCEL NO. 2

ADVERSE DEED BOOK 697 PAGE 149 PARCEL NO. 1

ADVERSE DEED BOOK 578 PAGE 317 PARCEL NO. 2

THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND CORPORATION, AND MANUFACTURERS HANOVER TRUST COMPANY, A NEW YORK CORPORATION, AND D. B. HERTERICH, AS TRUSTEES UNDER B&O'S REFUNDING AND GENERAL MORTGAGE DATED DECEMBER 8, 1915, AS ALLEGHENY & WESTERN RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA TAX PARCEL #053-16-35-0000

ADVERSE DEED BOOK 578 PAGE 317 PARCEL NO. 1

LEGAL RIGHT-OF-WAY LINE

LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT

SURVEY B TEMPORARY ACCESS ROAD NO. 3

LEGAL RIGHT-OF-WAY LINE

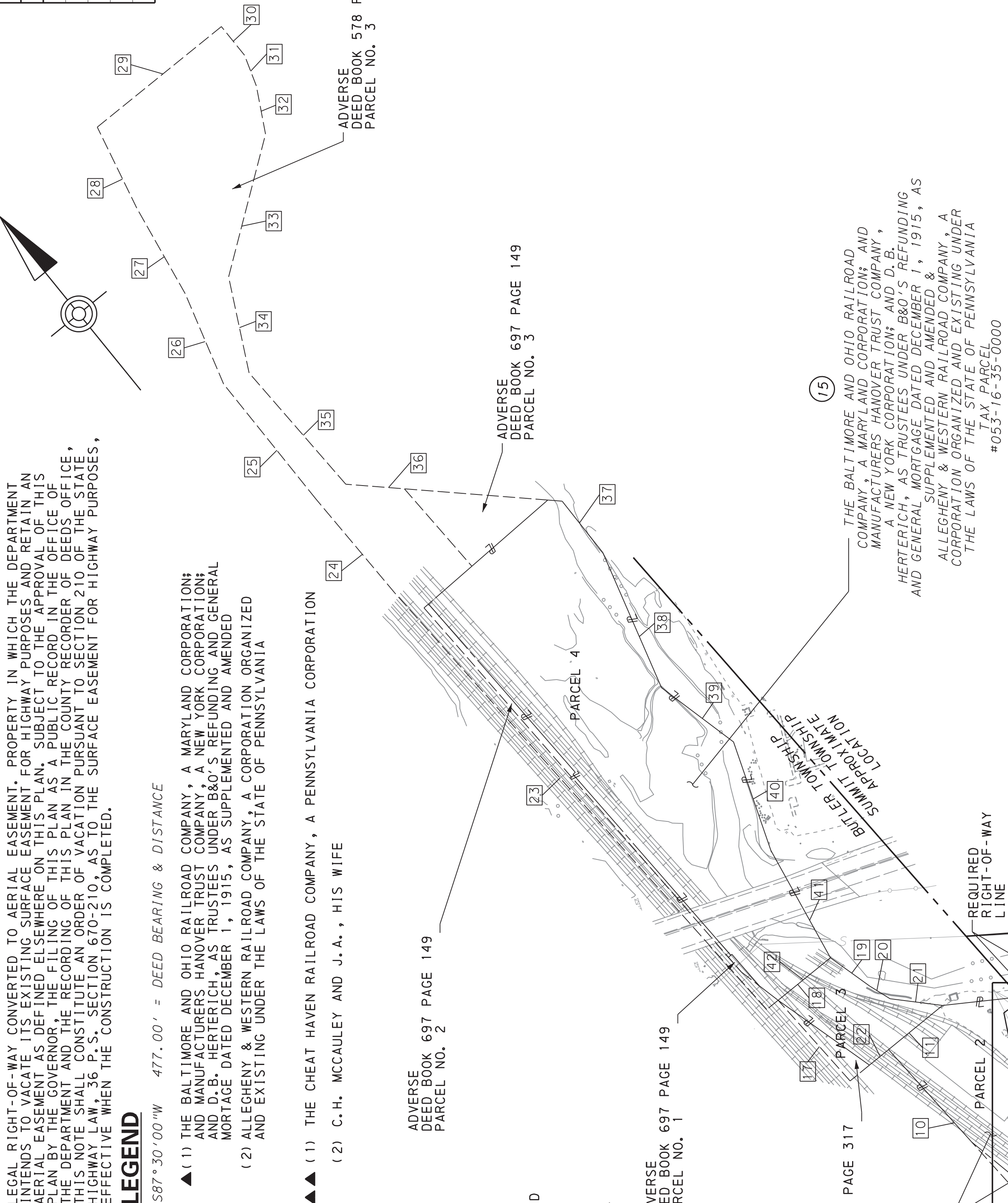
REQUIRED AERIAL EASEMENT

REQ'D CHANNEL EASEMENT SURVEY AND R/W @ SR 0068

TEMPORARY CONSTRUCTION EASEMENT

EXISTING BUTLER AREA SEMER AUTHORITY LICENSE AGREEMENT (DEC 15, 1978)

**FOR ENLARGED DETAIL SEE SHEET 32**



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	31 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

**PARCEL 1 PROPERTY DEED DESCRIPTION**

- S87°30'00"W - 477.00'
- D=4°14'01" R=5860.00' A=+33.00'
- S89°00'00" - 488.00'
- S04°00'00"W - 178.00'
- S07°45'00"W - 100.00'
- S27°00'00"W - 105.00'
- N32°22'29"W - 45.05'
- S52°30'00"E - 12.00'

**PARCEL 2 PROPERTY DEED DESCRIPTION**

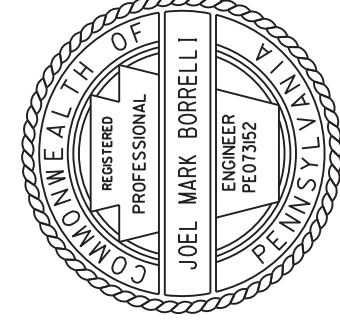
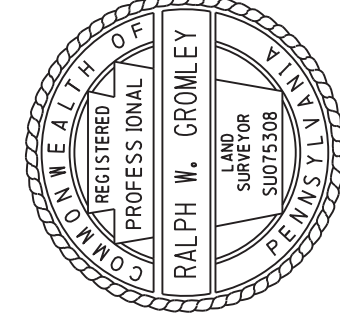
- D=0°58'13" R=5860.00' A= 99.25'
- S01°00'00"E - 395.75'
- N88°00'00"W - 140.50'
- S55°20'00"E - 288.00'
- S41°00'00"E - 141.00'
- N16°18'00"W - 108.00'
- S05°22'00"W - 125.00'
- S89°00'00"E - 488.00'

**PARCEL 3 PROPERTY DEED DESCRIPTION**

- N00°31'00"W - 280.00'
- S87°48'00"E - 90.00'
- S13°00'00"E - 97.50'
- S16°48'00"E - 48.10'
- S41°29'00"E - 106.80'
- N88°00'00"W - 240.50'

**PARCEL 4 PROPERTY DEED DESCRIPTION**

- N02°45'00"W - 1124.59'
- N01°00'00"W - 247.50'
- N00°15'00"E - 297.00'
- N16°00'00"E - 198.00'
- N09°30'00"E - 198.00'
- N13°00'00"E - 181.50'
- N90°00'00"E - 321.75'
- S00°00'00"E - 74.25'
- S18°00'00"W - 66.00'
- S28°15'00"W - 99.00'
- S53°30'00"W - 297.00'
- S27°00'00"W - 198.00'
- S02°00'00"E - 297.00'
- S46°30'00"E - 437.25'
- S00°45'00"W - 132.00'
- S15°30'00"W - 297.00'
- S14°00'00"E - 181.50'
- S20°00'00"W - 231.00'
- S10°00'00"W - 247.50'
- N90°00'00"W - 165.33'



SHEET 1 OF 2

DES: TJM DWG: BSP CKD: JMB

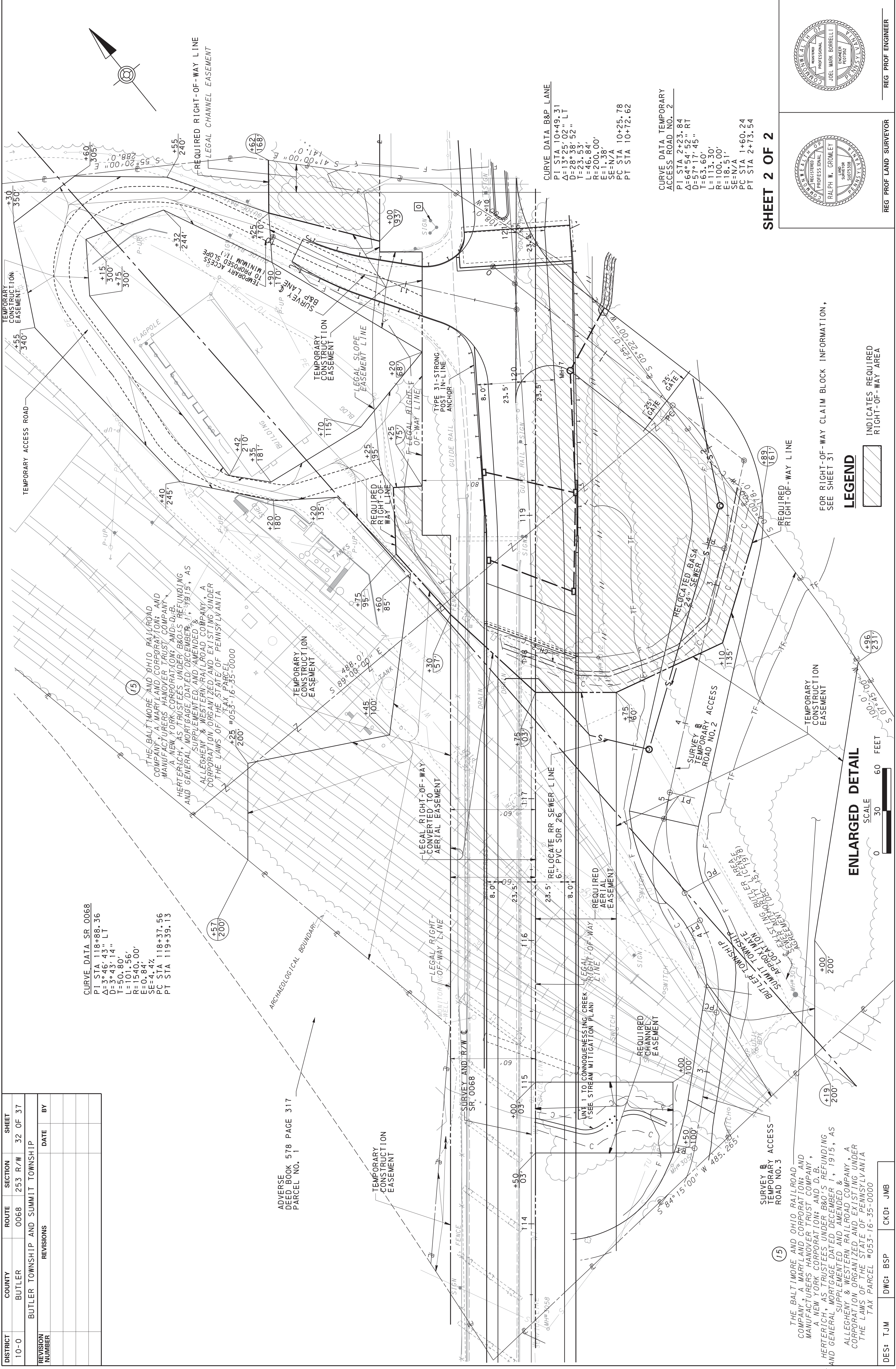
REG PROF LAND SURVEYOR

REG PROF ENGINEER

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	32 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

CURVE DATA SR 0068  
 PI STA 118+88.36  
 $\Delta=3^{\circ}46'43''$  LT  
 $D=3^{\circ}43'14''$   
 $T=50.80'$   
 $L=101.56'$   
 $P=1540.00'$   
 $E=0.84'$   
 $SE=4.4'$   
 PC STA 118+37.56  
 PT STA 119+39.13

ADVERSE DEED BOOK 578 PAGE 317  
 PARCEL NO. 1



THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND CORPORATION; AND MANUFACTURERS HANOVER TRUST COMPANY, A NEW YORK CORPORATION; AND D. B. HERTERICH, AS TRUSTEES UNDER B&O'S REFUNDING AND GENERAL MORTGAGE DATED DECEMBER 1, 1915, AS ALLEGHENY & WESTERN RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA

(15) THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND CORPORATION; AND MANUFACTURERS HANOVER TRUST COMPANY, A NEW YORK CORPORATION; AND D. B. HERTERICH, AS TRUSTEES UNDER B&O'S REFUNDING AND GENERAL MORTGAGE DATED DECEMBER 1, 1915, AS ALLEGHENY & WESTERN RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA

SHEET 2 OF 2

RALPH W. GROMLEY  
SURVEYOR  
LICENSE NO. 122738

JOEL MARK BORRELLI  
ENGINEER  
LICENSE NO. 121514

FOR RIGHT-OF-WAY CLAIM BLOCK INFORMATION, SEE SHEET 31

LEGEND

INDICATES REQUIRED RIGHT-OF-WAY AREA

ENLARGED DETAIL

SCALE

DES: TJM DWG: BSP CKD: JMB

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	33 OF 37
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

<b>RIGHT-OF-WAY CLAIM INFORMATION</b> COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION STATE RTE. 0068 SEC. NO. 253 R/W BUTLER TOWNSHIP, BUTLER COUNTY PARCEL NO. 16 SHEET NOS. 12 & 13 CLAIM NO. 1000890000 PROPERTY OWNER(S) JEROME P. OLIVER	
GRANTOR(S) CONRAD J. GEIBEL AND THELDA L. GEIBEL, HIS WIFE	
TAX PARCEL NO. 290-2F18-13-0000 INSTR. NO. 20000323 DATE OF DEED 03/17/2000 DATE OF RECORD 03/23/2000 CONSIDERATION \$23,500.00 TAX STAMPS	AREAS DEED CALCULATED ADVERSES LEGAL R/W EFFECTIVE TOTAL REQ'D R/W TOTAL RESIDUE RESIDUE LT RESIDUE RT
ACRES 52.59 0.56 52.55 0.61 51.94 51.94	REQUIRED AREA RIGHT OF WAY TEMP CONSTR EASEMENT VERIFICATION DATE 11/23/2021 DRAWN BY MBI

CURVE DATA SR 0068 PI STA 118+88.36 $\Delta=3^{\circ}46'43''$ LT $D=3^{\circ}43'14''$ $I=50.80'$ $L=101.56'$ $R=1540.00'$ $E=0.84'$ $SE=4.47'$ PC STA 118+37.56 PT STA 119+39.13	CURVE DATA SR 0068 PI STA 122+98.03 $\Delta=3^{\circ}46'43''$ RT $D=4^{\circ}48'53''$ $T=39.25'$ $L=78.48'$ $R=1190.00'$ $E=0.65'$ $SE=5.07'$ PC STA 122+58.77 PT STA 123+37.25
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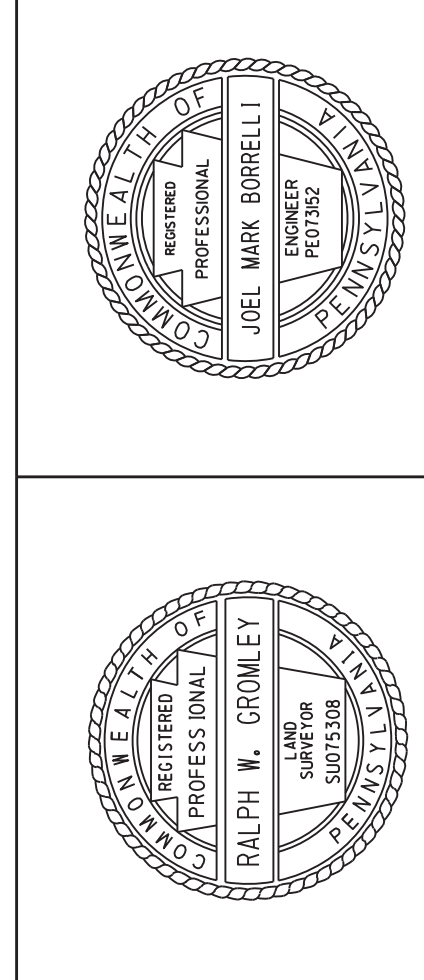
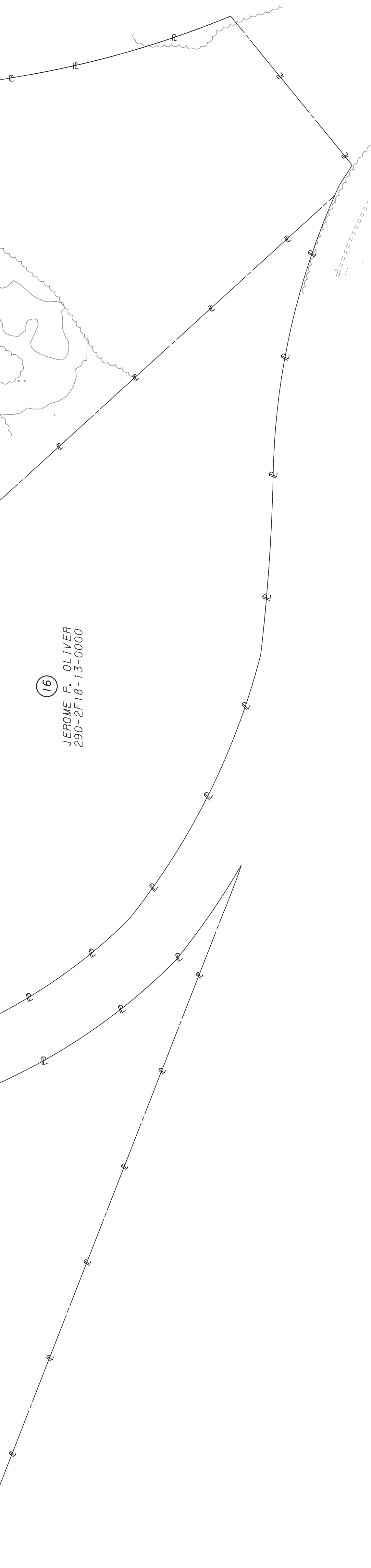
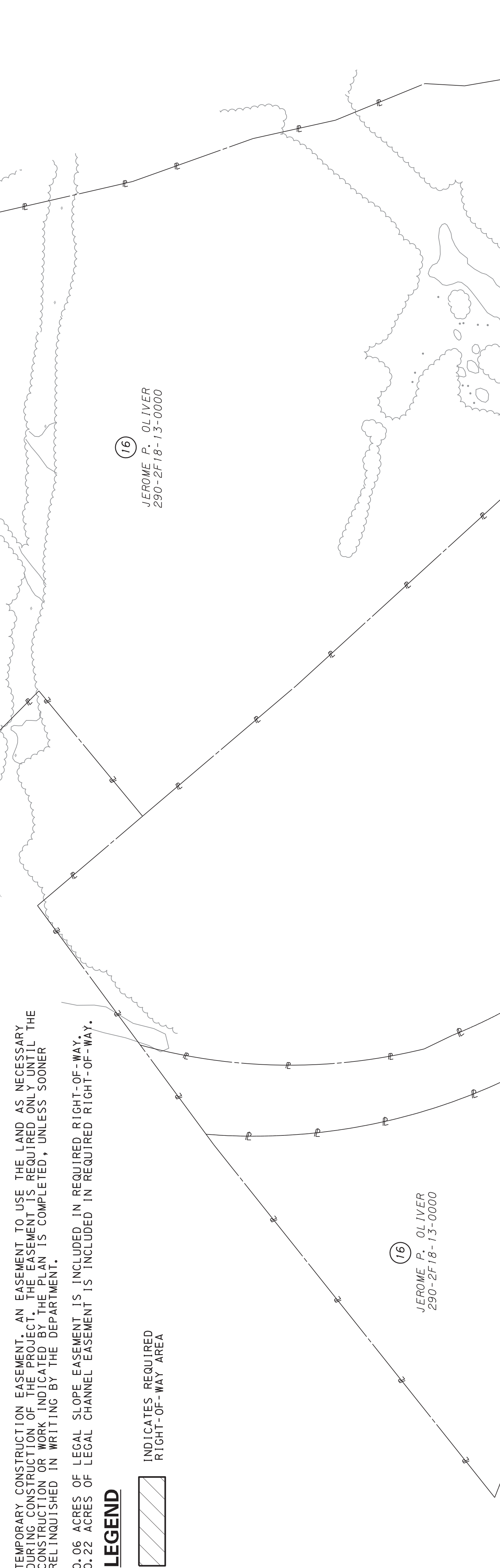
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TEMPORARY CONSTRUCTION EASEMENT, AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

\* 0.06 ACRES OF LEGAL SLOPE EASEMENT IS INCLUDED IN REQUIRED RIGHT-OF-WAY.  
 \* 0.22 ACRES OF LEGAL CHANNEL EASEMENT IS INCLUDED IN REQUIRED RIGHT-OF-WAY.

**LEGEND**

 INDICATES REQUIRED RIGHT-OF-WAY AREA



REG. PROF. LAND SURVEYOR  
 REG. PROF. ENGINEER

DES: TJM DWG: BSP CKD: JMB

<b>RIGHT-OF-WAY CLAIM INFORMATION</b>	
COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION	
STATE RTE. <u>0068</u> SEC. NO. <u>253</u> R/W <u>BUTLER</u> TOWNSHIP <u>BUTLER</u> COUNTY	
PARCEL NO. <u>21</u> SHEET NOS. <u>9</u> & <u>10</u> CLAIM NO. <u>1000892000</u>	
PROPERTY OWNER(S) <u>BACHER HOLDINGS, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY</u>	
GRANTOR(S) <u>KEITH TOSADORI AND CHERYL TOSADORI, HUSBAND AND WIFE</u>	
TAX PARCEL NO. <u>#053-24-6-0000</u>	REQUIRED AREA ACRES
INSTR. NO. <u>20120523</u>	RIGHT OF WAY * <u>0.21</u>
DATE OF DEED <u>05/22/2012</u>	TEMP CONSTR EASEMENT <u>0.22</u>
DATE OF RECORD <u>05/23/2012</u>	LEGAL R/W <u>4.01</u>
CONSIDERATION <u>\$390,000.00</u>	EFFECTIVE <u>4.01</u>
TAX STAMPS	TOTAL REQ'D R/W <u>0.21</u>
	TOTAL RESIDUE <u>3.80</u>
	RESIDUE LT <u>3.80</u>
	RESIDUE RT <u>3.80</u>
	VERIFICATION DATE <u>11/23/2021</u>
	DRAWN BY <u>MBI</u>
	SCALE
	0 50 100 FEET

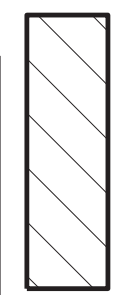
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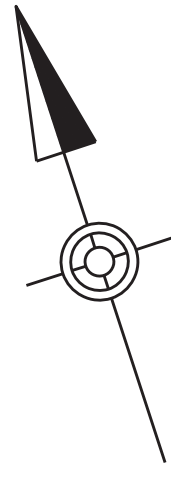
\* 0.01 ACRES OF LEGAL SLOPE EASEMENT INCLUDED IN REQUIRED RIGHT-OF-WAY

**LEGEND**

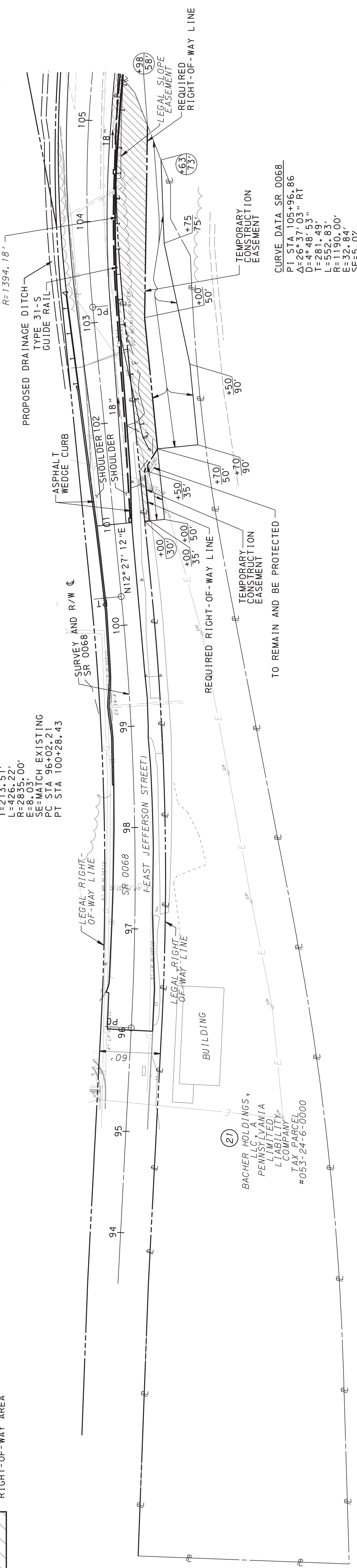


INDICATES REQUIRED RIGHT-OF-WAY AREA

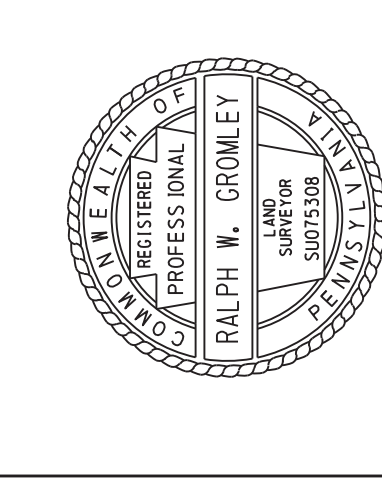
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	34 OF 37
REVISION NUMBER	REVISIONS			DATE
				BY



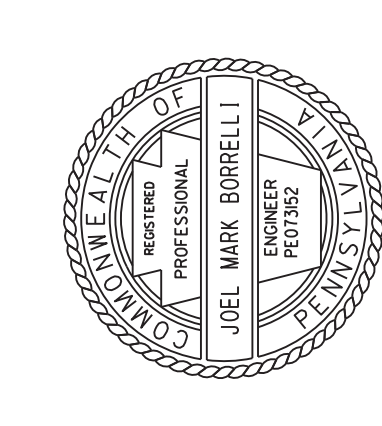
CURVE DATA SR 0068  
 PI STA 98+15.73  
 Δ=8°36'50" LT  
 D=2°01'18"  
 T=213.51'  
 L=428.22'  
 R=2835.00'  
 E=8.03'  
 SE=MATCH EXISTING  
 PC STA 96+02.21  
 PT STA 100+28.43



CURVE DATA SR 0068  
 PI STA 105+96.86  
 Δ=26°37'03" RT  
 D=4°48'53"  
 T=281.49'  
 L=552.83'  
 R=1190.00'  
 E=32.84'  
 SE=5.04'  
 PC STA 103+15.36  
 PT STA 108+68.19



REG. PROF. LAND SURVEYOR



REG. PROF. ENGINEER

RIGHT-OF-WAY CLAIM INFORMATION  
COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION  
STATE RTE. 0068 SEC. NO. 253 R/W BUTLER AND SUMMIT TOWNSHIPS BUTLER COUNTY  
PARCEL NO. 23 SHEET NOS. 9, 10 & 11 CLAIM NO. 1000895000  
PROPERTY OWNER(S) (1), (2), (3), (4), (5), (6)  
GRANTOR(S) (1), (2), (3), (4), (5), (6)

(1)		ACRES	REQUIRED AREA	ACRES
DEED BOOK	252	0.38	RIGHT OF WAY	* 0.45
PAGE	35	0.38	TEMP CONSTR	1.68
DATE OF DEED	04/27/1907	0.45	EASEMENT	0.30
DATE OF RECORD	04/30/1907	0.45	AERIAL EASEMENT	0.12
CONSIDERATION	\$2,500.00	0.45	DRAINAGE EASEMENT	0.12
TAX STAMPS	N/A	0.45	VERIFICATION DATE	11/23/2021
			DRAWN BY	MBJ

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- \* 0.24 ACRES OF LEGAL SLOPE EASEMENT INCLUDED IN REQUIRED RIGHT-OF-WAY
- \* 184 SF OF EXISTING WATER LINE EASEMENT OVERTAKEN BY REQUIRED RIGHT-OF-WAY
- \* 0.38 ACRES OF LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT AND IN WHICH THE UNDERLYING RIGHTS WILL BE VACATED BACK TO THE PROPERTY OWNER.
- TOO INNUMERABLE TO CALCULATE

(1) OWNER - PITTSBURGH, BESSEMER & LAKE ERIE RAILROAD COMPANY  
GRANTOR - GEORGE REIBER, HENRY REIBER, SINGLE, GEORGE L. REIBER, SINGLE, EDWARD REIBER, SINGLE, MARY L. REIBER, SINGLE, ANNA M. REIBER, SINGLE, ELIZABETH REIBER, SINGLE, IDA F. REIBER, SINGLE, WILLIAM F. MILLER AND CAROLINE MILLER (NEE (REIBER), HIS WIFE, ALL OF BUTLER COUNTY PENNSYLVANIA, AND WILHELMINA MEISER (NEE REIBER), WIDOW OF DETRIOT, MICHIGAN, HEIRS OF GEORGE REIBER (DECEASED)

(2) OWNER - PITTSBURGH BESSEMER & LAKE ERIE RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA AND OHIO  
GRANTOR - IRA MCJUNKIN TRUST (IRA MCJUNKIN AND IRA MCJUNKIN TRUSTEE, OF THE BOROUGH OF BUTLER COUNTY OF BUTLER STATE OF PENNSYLVANIA)

(3) OWNER - PITTSBURGH BESSEMER & LAKE ERIE RAILROAD COMPANY  
GRANTOR - IRA MCJUNKIN ET AL (IRA MCJUNKIN, SINGLE MAN, OF BUTLER, PA, IRA MCJUNKIN TRUSTEE FOR W.A. STOVER, A.E. BUTLER AND NELLIE BUTLER, HIS WIFE, GEORGE N. BURKHALTER AND NINA BURKHALTER, HIS WIFE, W.A. STOVER AND JENNIE STOVER, HIS WIFE)

(4) OWNER - THE PITTSBURGH BESSEMER & LAKE ERIE RAILROAD COMPANY, A CORPORATION OF THE STATE OF PENNSYLVANIA AND OHIO  
GRANTOR - IRA MCJUNKIN TRUSTEE ET AL (IRA MCJUNKIN, SINGLE, OF BUTLER, BUTLER COUNTY, PENNSYLVANIA, IRA MCJUNKIN TRUSTEE FOR W.A. STOVER, A.E. BUTLER AND GEORGE BURKHALTER, AND W.A. STOVER AND JENNIE STOVER, HIS WIFE, GEORGE N. BURKHALTER AND NINA BURKHALTER, HIS WIFE, ALL OF BUTLER, BUTLER COUNTY, PENNSYLVANIA, AND A.E. BUTLER AND NELLIE BUTLER, HIS WIFE, OF BRUIN, BUTLER COUNTY, PENNSYLVANIA)

(5) OWNER - PITTSBURGH SHENANGO & LAKE ERIE RAIL ROAD CO (THE PITTSBURGH SHENANGO AND LAKE ERIE RAIL ROAD COMPANY A CORPORATION UNDER THE LAWS OF PENNA  
GRANTOR - SARAH C. MCCLURE)

(6) OWNER - PITTSBURGH SHENANGO AND LAKE ERIE RAIL ROAD CO (THE PITTSBURGH SHENANGO AND LAKE ERIE RAIL ROAD COMPANY A CORPORATION UNDER THE LAWS OF PENNA)  
GRANTOR - CHARLES E. FLAUDRAN ET UX (CHARLES E. FLAUDRAN AND REBECCA B. FLAUDRAN HIS WIFE OF THE CITY OF ST PAUL RAMSEY COUNTY MINNESOTA)

(7) OWNER - WEST PENN & SHENANGO  
CONNECTING RAIL ROAD CO.  
GRANTOR - GEORGE REIBER

(8) OWNER - THE PITTSBURGH, BESSEMER AND LAKE ERIE RAILROAD COMPANY, A CORPORATION OF THE COMMONWEALTH OF PENNSYLVANIA AND THE STATE OF OHIO  
GRANTOR - ALLEGHENY AND WESTERN RAILWAY COMPANY, A CORPORATION OF THE COMMONWEALTH OF PENNSYLVANIA

(9) OWNER - BESSEMER AND LAKE ERIE RAILROAD COMPANY, A CORPORATION OF THE COMMONWEALTH OF PENNSYLVANIA  
GRANTOR - ALLEGHENY AND WESTERN RAILWAY COMPANY, A CORPORATION OF THE COMMONWEALTH OF PENNSYLVANIA

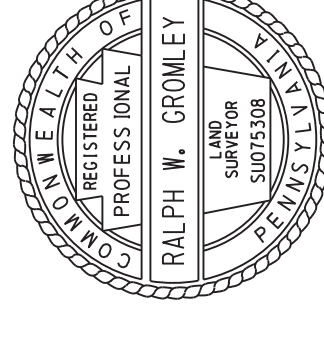
(2)	(3)	(4)
DEED BOOK PAGE DATE OF DEED DATE OF RECORD CONSIDERATION TAX STAMPS	244 37 06/21/1906 06/25/1906 \$800.00 N/A	286 83 12/07/1910 12/28/1910 \$4500.00 N/A
DEED BOOK PAGE DATE OF DEED DATE OF RECORD CONSIDERATION TAX STAMPS	152 479 06/08/1895 07/05/1895 \$145.00 N/A	290 206 08/22/1911 09/09/1911 \$5500.00 N/A

(5)	(6)	(7)
DEED BOOK PAGE DATE OF DEED DATE OF RECORD CONSIDERATION TAX STAMPS	152 481 06/08/1895 07/05/1895 \$138.75 N/A	DATE OF RECORD CONSIDERATION TAX ID
DEED BOOK PAGE DATE OF DEED DATE OF RECORD CONSIDERATION TAX STAMPS	578 317 08/31/1948 11/16/1948 \$2,600.00 N/A	SEPT. 1888

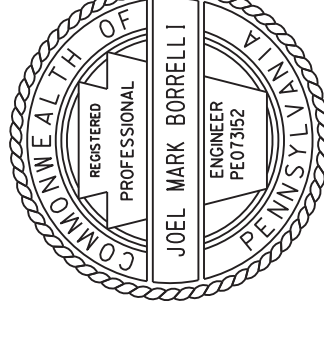
(8)	(9)
DEED BOOK PAGE DATE OF DEED DATE OF RECORD CONSIDERATION TAX STAMPS	697 149 02/20/1957 04/05/1957 \$1,080.00 \$10.80

▲ PARCEL (7)  
UNRECORDED CONDEMNATION OF  
RIGHT-OF-WAY ON SEPTEMBER 1888  
FROM GEORGE REIBER TO W.P.&S.C.R.R. CO.  
CONDEMNATION REPRESENTED AS DOCUMENT  
NUMBER 1, DATED SEPTEMBER 1888 ON THE  
UNRECORDED VAL MAP " RIGHT OF WAY MAP  
OF THE BESSEMER & LAKE ERIE R.R. ", DATED  
JUNE 30, 1916.

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	35 OF 37
REVISION NUMBER	BUTLER TOWNSHIP AND SUMMIT TOWNSHIP			
	REVISIONS			
			DATE	BY



REG. PROF. LAND SURVEYOR



REG. PROF. ENGINEER

RIGHT-OF-WAY CLAIM INFORMATION			
COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION			
STATE RTE. 0068	SEC. NO. 253 R/W	BUTLER AND SUMMIT TOWNSHIPS, BUTLER COUNTY	
PARCEL NO. 24	SHEET NOS. 12 & 13	CLAIM NO. 1000893000	
PROPERTY OWNER(S) UNKNOWN OWNER			
GRANTOR(S)			
TAX PARCEL NO.	TBD	AREAS CALCULATED	ACRES
DEED		DEED	
ADVERSE		ADVERSE	
LEGAL R/W		LEGAL R/W	
EFFECTIVE		EFFECTIVE	
DATE OF RECORD	TBD	TOTAL REQ'D R/W	0.14
CONSIDERATION	TBD	TOTAL RESIDUE	
TAX STAMPS	TBD	RESIDUE LT	
		RESIDUE RT	
RIGHT OF WAY		RIGHT OF WAY	* 0.14
TEMP CONSTR EASEMENT		TEMP CONSTR EASEMENT	0.17
VERIFICATION DATE	11/23/2021	DRAWN BY	MBI

ALL PROPERTIES ARE PLOTTED FROM DEEDS OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, OR FROM FIELD SURVEY. PROPERTY LINES WERE SURVEYED ONLY WHEN DETERMINED NECESSARY BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. PROPERTY LINES NOT ESTABLISHED BY FIELD SURVEY WERE PLOTTED BASED ON EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA.

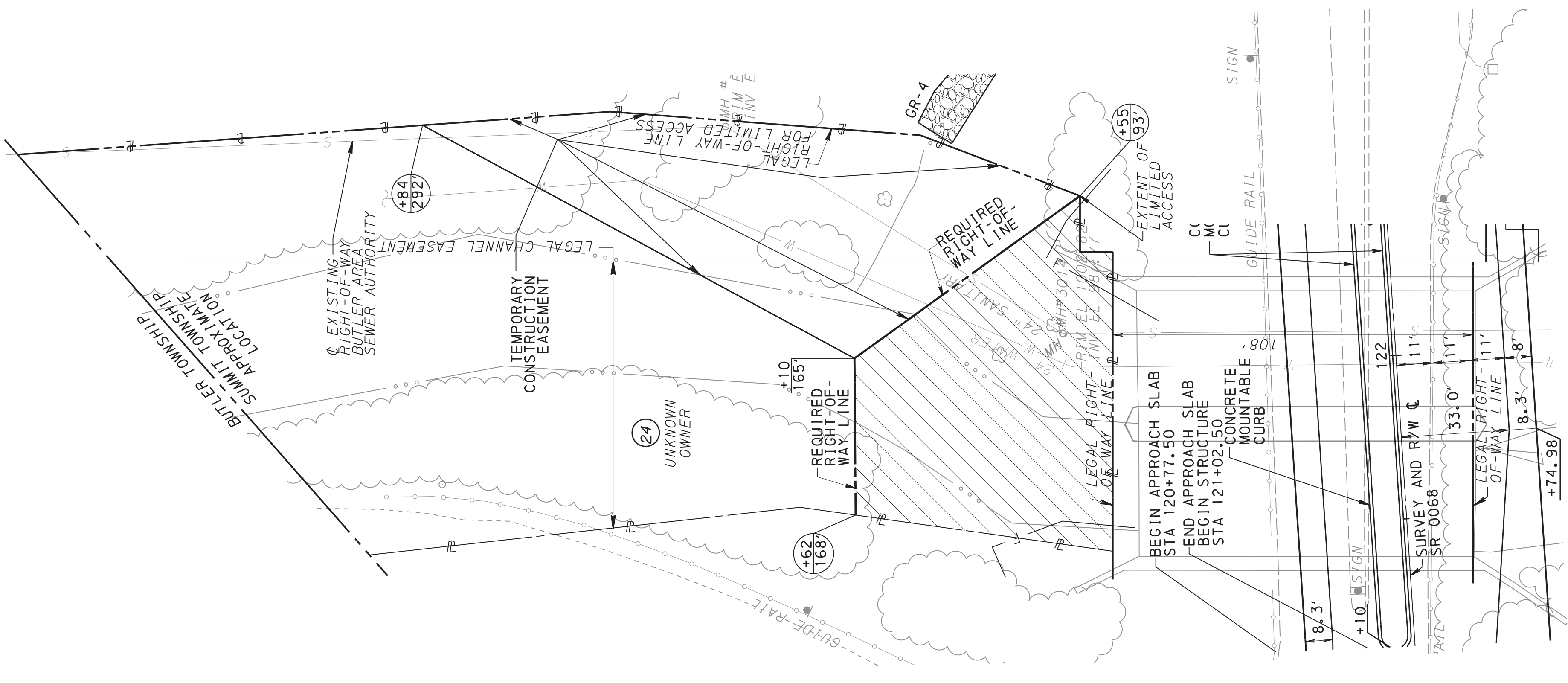
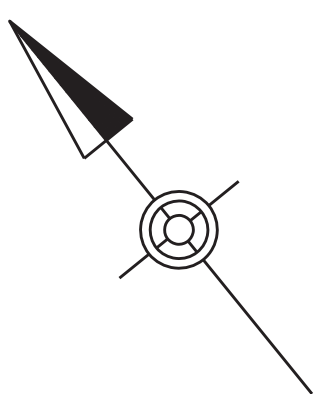
THIS PROPERTY PLOT PLAN IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY.

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

CHANNEL EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF THE COURSE OF THE CHANNEL. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO THE NECESSARY FLOW OF THE WATER.

\* 0.13 ACRES OF LEGAL CHANNEL EASEMENT IS INCLUDED IN REQUIRED RIGHT-OF-WAY.

**LEGEND**



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	36 OF 37
REVISION NUMBER	BUTLER TOWNSHIP AND SUMMIT TOWNSHIP			DATE
	REVISIONS			BY

REG. PROF. LAND SURVEYOR

REG. PROF. ENGINEER

**RIGHT-OF-WAY CLAIM INFORMATION**

COMMONWEALTH OF PENNSYLVANIA-DEPARTMENT OF TRANSPORTATION  
 STATE RTE. 0068 SEC. NO. 253 R/W BUTLER TOWNSHIP BUTLER COUNTY  
 PARCEL NO. 25 SHEET NO. 10 CLAIM NO. 1001057000  
 PROPERTY OWNER(S) KRIS T. KENNEDY AND KATHY J. KENNEDY, HIS WIFE  
 GRANTOR(S) MARSHA H. BERGER EXECUTRIX UNDER THE LAST WILL AND TESTAMENT  
 OF HELEN S. HUBA, A/K/A HELEN J. HUBA

TAX PARCEL NO.	#053-24-B11-0000	SQ FT AREAS	SQ FT REQUIRED AREA	SQ FT RIGHT OF WAY
DEED	2233	CALCULATED	*16,118	426
ADVERSE	0294	LEGAL R/W		
EFFECTIVE	12/14/1992	TOTAL RESIDUE	16,118	
DATE OF RECORD	12/22/1992	RESIDUE LT	15,692	
CONSIDERATION NO.		RESIDUE RT		
TAX STAMPS		VERIFICATION DATE	11/23/2021	
		DRAWN BY	MBI	

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 \* SHOWN AS 0.37 ACRES IN THE REFERENCED DEED

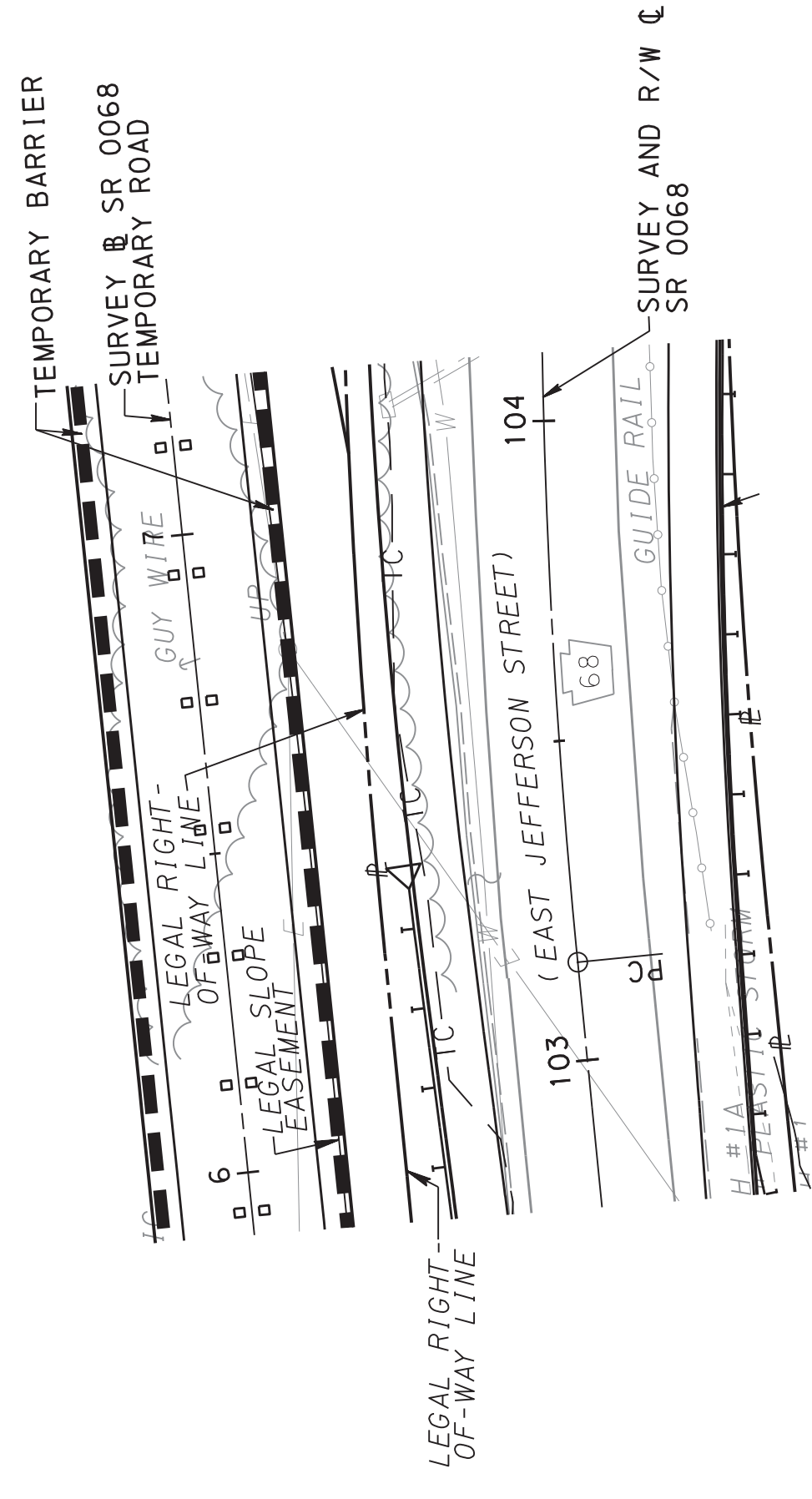
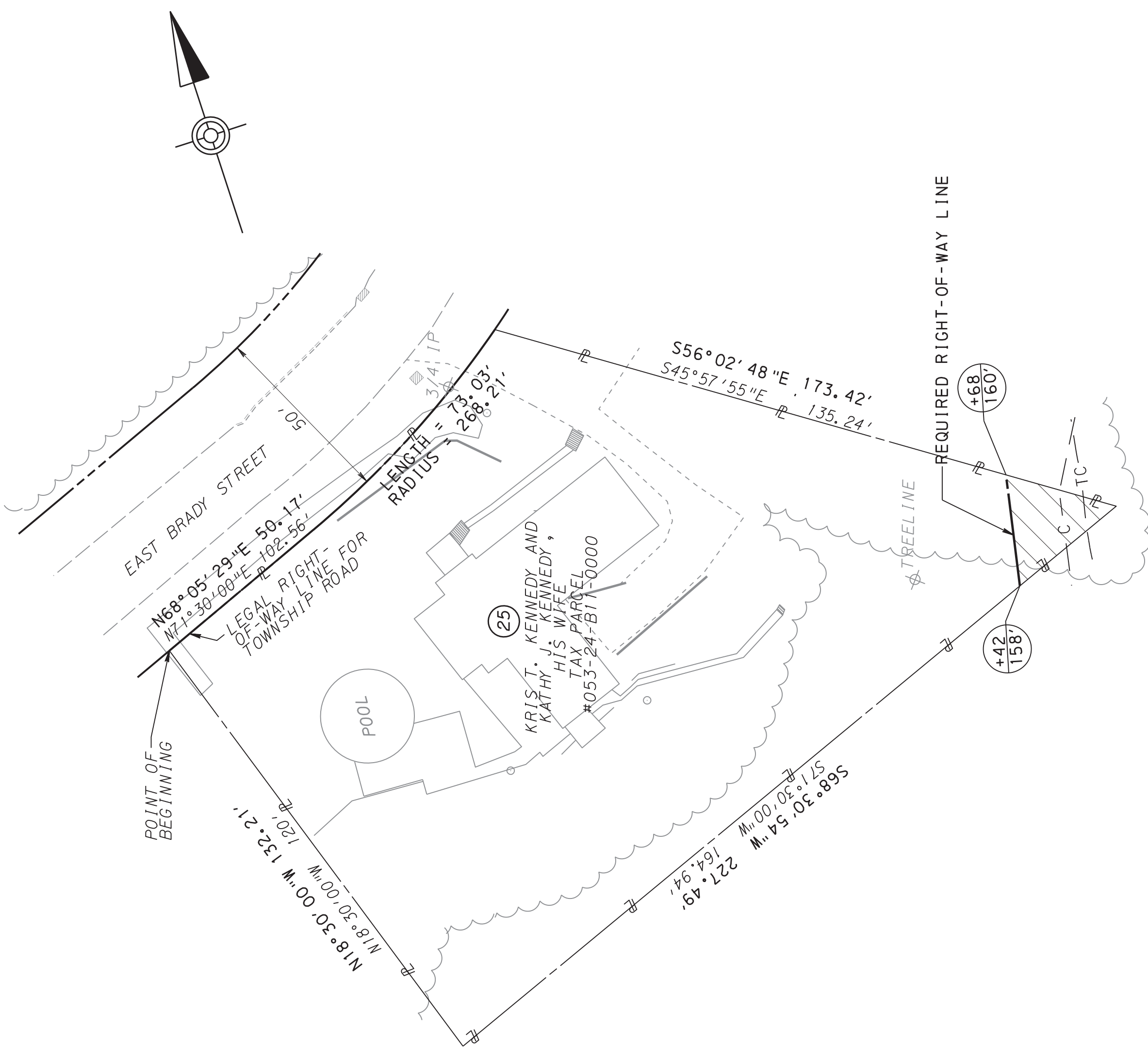
**LEGEND**

N46°15'W 200' = DEED BEARING & DISTANCE  
 S68°30'54"W 227.49 = CALCULATED BEARING AND DISTANCE

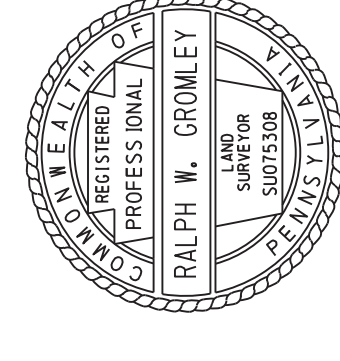


INDICATES REQUIRED RIGHT-OF-WAY AREA

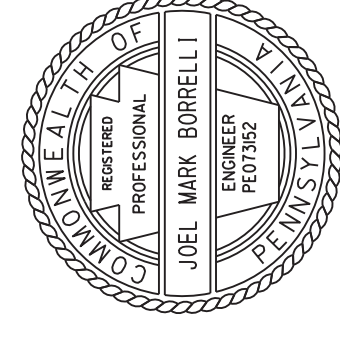
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	37 OF 37
REVISIONS				
REVISION NUMBER	DATE	BY		



CURVE DATA SR 0068  
 PI STA 105+96.86  
 $\Delta=26^{\circ}37'53''$  RT  
 D=4'48'53"  
 T=281.49'  
 L=552.83'  
 R=1190.00'  
 E=32.84'  
 SE=5.0%  
 PC STA 103+15.36  
 PT STA 108+68.19



REG. PROF. LAND SURVEYOR



REG. PROF. ENGINEER

# LIST OF PROPERTY OWNERS

12 THE BUTLER WATER COMPANY, A CORPORATION CREATED BY AND EXISTING UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA

13 NIXSAR CORPORATION, A PENNSYLVANIA NOT-FOR-PROFIT CORPORATION

14 WEINEL ENTERPRISES, LLC

15 THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND CORPORATION; AND MANUFACTURERS HANOVER TRUST COMPANY, A NEW YORK CORPORATION; AND D.B. HERTERICH, AS TRUSTEES UNDER B&O'S REFUNDING AND GENERAL MORTGAGE DATED DECEMBER 1, 1915, AS SUPPLEMENTED AND AMENDED & ALLEGHENY & WESTERN RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA

23 BESSEMER AND LAKE ERIE RAILROAD

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING THE CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

PRIVATE PROPERTY LINES ARE PLOTTED FROM THE DEED OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA. PRIVATE PROPERTY LINES WERE NOT SURVEYED BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT.

LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT. PROPERTY IN WHICH THE DEPARTMENT INTENDS TO VACATE ITS EXISTING SURFACE EASEMENT FOR HIGHWAY PURPOSES AND RETAIN AN AERIAL EASEMENT AS DEFINED ELSEWHERE ON THIS PLAN. SUBJECT TO THE APPROVAL OF THIS PLAN BY THE GOVERNOR, THE FILING OF THIS PLAN AS A PUBLIC RECORD IN THE OFFICE OF THE DEPARTMENT AND THE RECORDING OF THIS PLAN IN THE COUNTY RECORDER OF DEEDS OFFICE, THIS NOTE SHALL CONSTITUTE AN ORDER OF VACATION PURSUANT TO SECTION 210 OF THE STATE HIGHWAY LAW, 36 P.S. SECTION 670-210, AS TO THE SURFACE EASEMENT FOR HIGHWAY PURPOSES, EFFECTIVE WHEN THE CONSTRUCTION IS COMPLETED.

CHANNEL EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF THE COURSE OF THE CHANNEL. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO THE NECESSARY FLOW OF WATER.

FOR THE AERIAL EASEMENT DEFINITION, SEE GENERAL NOTES, SHEET 3 OF THE RIGHT-OF-WAY PLAN

## LEGEND

- TEMPORARY CONSTRUCTION EASEMENT
- REQUIRED AERIAL EASEMENT
- REQUIRED CHANNEL EASEMENT/ TEMPORARY CONSTRUCTION EASEMENT
- REQUIRED CHANNEL EASEMENT/AERIAL EASEMENT
- LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT

PROPOSED STRUCTURE DATA - SR 0068 OVER B & P RAILROAD AND B & LE RAILROAD	
STATION	113+80.00
TYPE	3 SPAN CONTINUOUS COMPOSITE STEEL PLATE GIRDER BRIDGE
SPAN LENGTH	860'-0" TOTAL, 1 @ 270', 1 @ 300', 1 @ 290'
UNDERCLEARANCE	23.92'
ROADWAY WIDTH	63'-0"
SKREW	70°00'00" LEFT
STRUCTURE NO	S-XXXXX

EXISTING STRUCTURE DATA	
STATION	61+40.00
TYPE	12 SPAN PRESTRESSED CONCRETE BOX BEAM, STEEL THROUGH TRUSS, AND STEEL THROUGH GIRDER BRIDGE
SPAN LENGTH	868'-0" TOTAL; TRUSS SPAN: 2@167'-6"
UNDERCLEARANCE	21.3' (SPAN 2), 21.1' (SPAN 10), 22.4' (SPAN 11)
CLEAR ROADWAY WIDTH	34'-0"
SKREW	53°41'51" LEFT
STRUCTURE NO	BMS# 10-0068-0510-0000
BUILT DATE	1936

## HYDRAULIC DATA:

DRAINAGE AREA = 0.17 SQUARE MILES PROPOSED

50 YEAR DESIGN FLOOD  
DISCHARGE = 5,303 CFS  
PROPOSED WATER SURFACE ELEVATION = 1008.75  
PROPOSED CHANNEL VELOCITY = 6.2 FPS

100 YEAR FLOOD  
DISCHARGE = 5,860 CFS  
PROPOSED WATER SURFACE ELEVATION = 1009.57  
PROPOSED CHANNEL VELOCITY = 6.7 FPS

FLOOD OF RECORD: 24,500 CFS (SEPT. 18, 2004)

SCALE  
0 25 50 FEET

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	1 OF 3
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

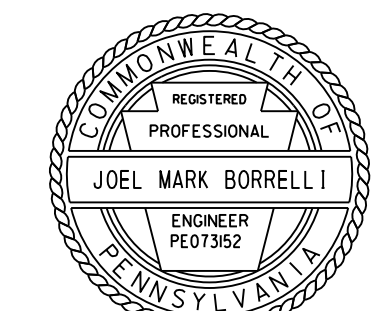
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DES: TJM | DWG: BSP | CKD: JMB



REG PROF LAND SURVEYOR

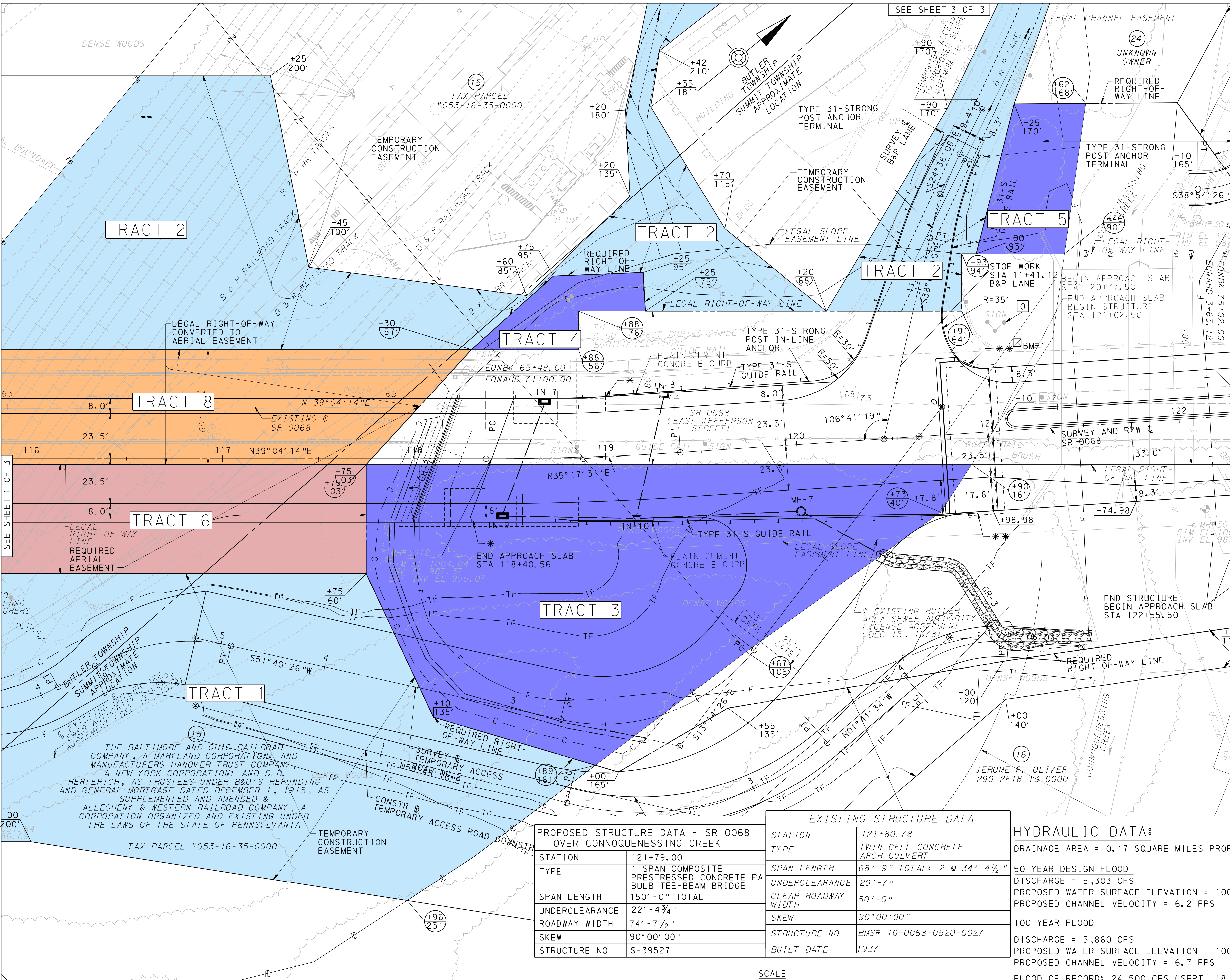


REG PROF ENGINEER

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SEE SHEET 1 OF 3

SR\_0068\_PUC\_ROW\_Parcel\_15.dgn



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	2 OF 3
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

**LIST OF PROPERTY OWNERS**

- 15 THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND CORPORATION; AND MANUFACTURERS HANOVER TRUST COMPANY, A NEW YORK CORPORATION; AND D.B. HERTERICH, AS TRUSTEES UNDER B&O'S REFUNDING AND GENERAL MORTGAGE DATED DECEMBER 1, 1915, AS SUPPLEMENTED AND AMENDED & ALLEGHENY & WESTERN RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA
- 16 JEROME P. OLIVER
- 24 UNKNOWN OWNER

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING THE CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

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FOR THE AERIAL EASEMENT DEFINITION, SEE GENERAL NOTES, SHEET 3 OF THE RIGHT-OF-WAY PLAN

**LEGEND**

- TEMPORARY CONSTRUCTION EASEMENT
- REQUIRED AERIAL EASEMENT
- REQUIRED RIGHT-OF-WAY
- LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT

PROPOSED STRUCTURE DATA - SR 0068 OVER CONNOQUENESSING CREEK		EXISTING STRUCTURE DATA	
STATION	121+79.00	STATION	121+80.78
TYPE	1 SPAN COMPOSITE PRESTRESSED CONCRETE PA BULB TEE-BEAM BRIDGE	TYPE	TWIN-CELL CONCRETE ARCH CULVERT
SPAN LENGTH	150'-0" TOTAL	SPAN LENGTH	68'-9" TOTAL; 2 @ 34'-4 1/2"
UNDERCLEARANCE	22'-4 3/4"	UNDERCLEARANCE	20'-7"
ROADWAY WIDTH	74'-7 1/2"	CLEAR ROADWAY WIDTH	50'-0"
SKEW	90°00'00"	SKEW	90°00'00"
STRUCTURE NO	S-39527	STRUCTURE NO	BMS# 10-0068-0520-0027
		BUILT DATE	1937

**HYDRAULIC DATA:**  
 DRAINAGE AREA = 0.17 SQUARE MILES PROPOSED  
**50 YEAR DESIGN FLOOD**  
 DISCHARGE = 5,303 CFS  
 PROPOSED WATER SURFACE ELEVATION = 1008.75  
 PROPOSED CHANNEL VELOCITY = 6.2 FPS  
**100 YEAR FLOOD**  
 DISCHARGE = 5,860 CFS  
 PROPOSED WATER SURFACE ELEVATION = 1009.57  
 PROPOSED CHANNEL VELOCITY = 6.7 FPS  
 FLOOD OF RECORD: 24,500 CFS (SEPT. 18, 2004)



REG PROF LAND SURVEYOR

REG PROF ENGINEER

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DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	3 OF 3
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

**LIST OF PROPERTY OWNERS**

15 THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND CORPORATION; AND MANUFACTURERS HANOVER TRUST COMPANY, A NEW YORK CORPORATION; AND D. B. HERTRICH, AS TRUSTEES UNDER B&O'S REFUNDING AND GENERAL MORTGAGE DATED DECEMBER 1, 1915, AS SUPPLEMENTED AND AMENDED & ALLEGHENY & WESTERN RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA

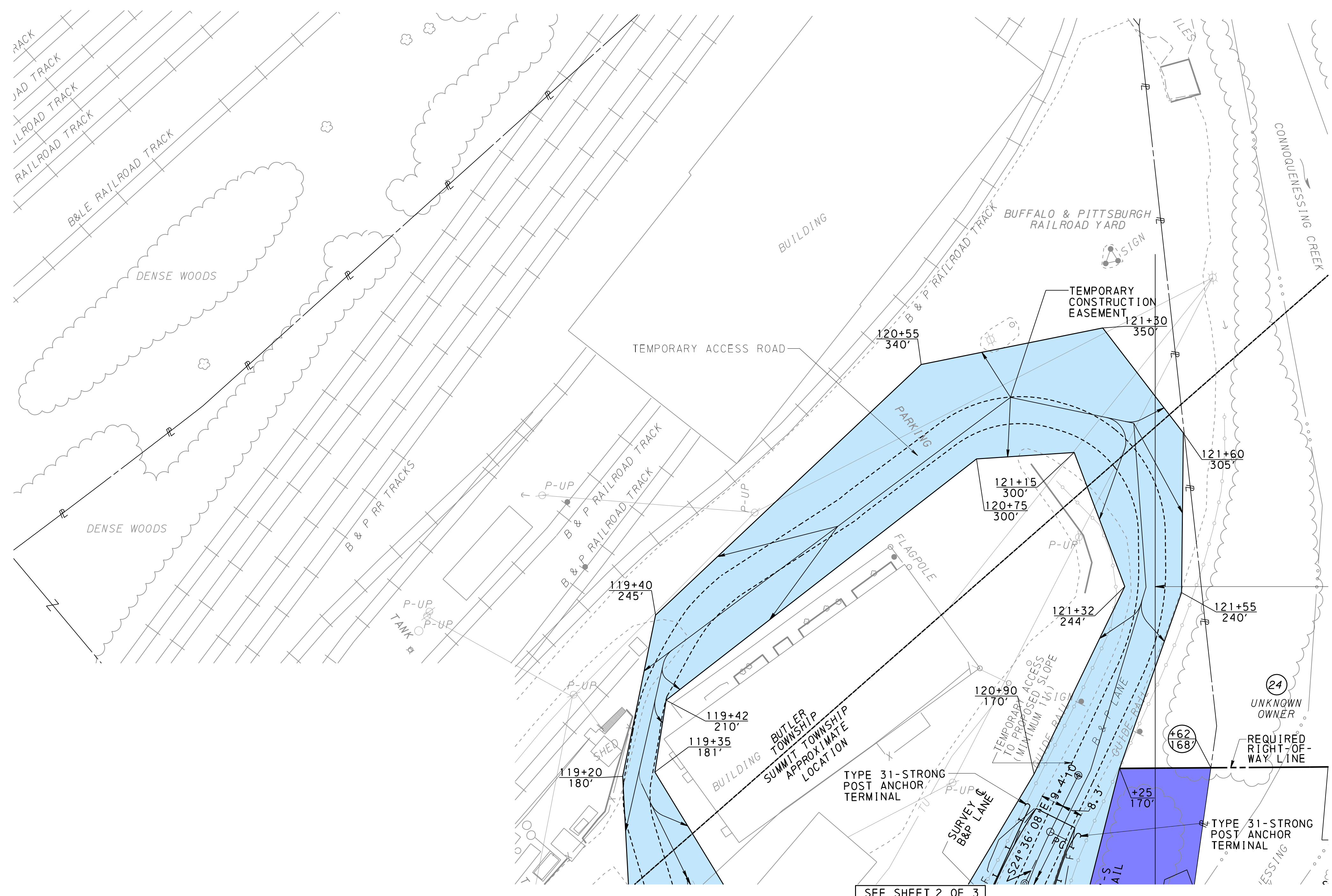
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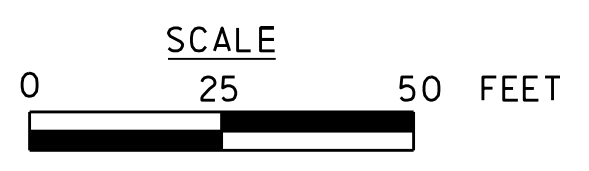
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**LEGEND**

- TEMPORARY CONSTRUCTION EASEMENT
- REQUIRED RIGHT-OF-WAY



SEE SHEET 2 OF 3



DES: TJM    DWG: BSP    CKD: JMB

 RALPH W. GROMLEY LAND SURVEYOR 15075 PENNSYLVANIA	 JOEL MARK BORRELLI ENGINEER PE07352 PENNSYLVANIA
REG PROF LAND SURVEYOR	REG PROF ENGINEER

**The Baltimore and Ohio Railroad Company, a Maryland corporation: And Manufacturers Hanover Trust Company, A New York corporation; and D.B. Herterich, As Trustees Under B&O's refunding and general mortgage dated December 1, 1915, as supplemented and amended & Allegheny & Western Railroad Company, a corporation organized and existing under the laws of Pennsylvania**

**Parcel 15 (CSX Transportation, Inc)**

All those certain tracts of land situated in Butler Township and Summit Township, Butler County, Pennsylvania bounded and described as follows, to wit:

 Temporary Construction Easement

**TRACT 1:**

Beginning at a point, said point being along the easterly required aerial easement line of Parcel 15 right sixty feet (60.00) from centerline of State Route 0068 measured at right angle at station 117+75.00; thence easterly eighty two and seventy six hundredth feet (82.76) to a point, said point being one hundred thirty five feet (135.00) right from centerline of State Route 0068 measured at right angle at station 118+10.00; thence northeasterly eighty eight feet (88) to a point, said point being one hundred sixty one feet (161) right from centerline of State Route 0068 measured at right angle at station 118+89; thence southerly along the easterly property line one hundred twenty one feet (121) to a point, said point being two hundred thirty one feet (231) right from centerline of State Route 0068 measured at right angle at station 117+96; thence southwesterly one hundred ninety nine feet (199) to a point, said point being two hundred feet (200.00) right from centerline of State Route 0068 measured at right angle at station 116+00.00; thence southwesterly eighty one feet (81) to a point, said point being two hundred feet (200) right from centerline of State Route 0068 measured at right angle at station 115+19; thence westerly along southerly property line one hundred ninety three feet (193) to a point, said point being sixty feet (60) right from centerline of State Route 0068 measured at right angle at station 113+86; thence northeasterly three hundred eighty nine feet (389) to place of beginning.

Containing 1.28 acres/55,842 square feet.

**TRACT 2:**


Beginning at a point, said point being along the westerly legal right-of-way line of SR 0068, left fifty seven feet (57) from centerline of State Route 0068 measured at right angle at station 113+51; thence northerly along westerly property line twenty five feet (25) to a point, said point being seventy one feet (71) left from centerline of State Route 0068 measured at right angle at station 113+72; thence northeasterly along westerly property line one hundred sixty eight feet (168) to a point, said point being fifty seven feet (57) left from centerline of State Route 0068 measured at right angle at station 115+39; thence northwesterly along westerly property line one hundred eighty five feet (185) to a point, said point being two hundred feet (200) left from centerline of State Route 0068 measured at right angle at station 116+57; thence northeasterly sixty eight feet (68) to a point, said point being two hundred feet (200.00) left from centerline of State Route 0068 measured at right angle at station 117+25.00; thence southeasterly one hundred one and ninety eight hundredth feet (101.98) to a point, said point being one hundred feet (100.00) left from centerline of State Route 0068 measured at right angle at station 117+45.00; thence northeasterly one hundred fourteen and seventy three hundredth feet (114.73) to a point, said point being eighty five feet (85.00) left from centerline of State Route 0068 measured at right angle at station 118+60.00; thence northerly seventy four and eighty five

hundredths feet (74.85) to a point, said point being one hundred thirty five feet (135.00) left from centerline of State Route 0068 measured at right angle at station 119+20.00; thence northwesterly forty five feet (45.00) to a point, said point being one hundred eighty feet (180.00) left from centerline of State Route 0068 measured at a right angle at station 119+20; thence northwesterly sixty seven and twenty eight hundredths feet (67.28) to a point, said point being two hundred forty five feet (245.00) left from centerline of State Route 0068 measured at right angle at station 119+40.00; thence northerly one hundred forty nine and sixteen hundredths feet (149.16) to a point, said point being three hundred forty feet (340.00) left from centerline of State Route 0068 measured at a right angle at station 120+55.00; thence northeasterly seventy five and sixty six feet (75.66) to a point, said point being three hundred fifty feet (350.00) left from centerline of State Route 0068 measured at a right angle at station 121+30.00; thence easterly fifty four and eight hundredths feet (54.08) to a point, said point being three hundred five feet (305.00) left from centerline of State Route 0068 measured at a right angle at station 121+60.00; thence southeasterly sixty five and nineteen hundredths feet (65.19) to a point, said point being two hundred forty feet (240.00) left from centerline of State Route 0068 measured at a right angle at station 121+55.00; thence southeasterly seventy six and sixteen hundredths feet (76.16) to a point, said point being one hundred seventy feet (170.00) left from centerline of State Route 0068 measured at a right angle at station 121+25.00; thence southeasterly eighty one feet (81) to a point, said point being ninety three feet (93) left of centerline of State Route 0068 measured at a right angle at station 121+00.00; thence westerly along westerly legal right-of-way line eight feet (8) to a point, said point being ninety four feet (94) left from centerline of State Route 0068 measured at right angle at station 120+93; thence southeasterly along westerly legal right-of-way line thirty feet (30) to a point, said point being sixty four feet (64) left from centerline of State Route 0068 measured at right angle at station 120+91; thence southwestwesterly along northerly legal right-of-way line seventy one feet (71) to a point, said point being along the westerly legal right-of-way line of SR 0068, left sixty eight feet (68) from centerline of State Route 0068 measured at right angle at station 120+20.00; thence northerly one hundred twenty three feet (123) to a point, said point being one hundred seventy feet (170.00) left from centerline of State Route 0068 measured at right angle at station 120+90.00; thence northwesterly eighty five feet and nine hundredths feet (85.09) to a point, said point being two hundred forty four feet (244.00) left from centerline of State Route 0068 measured at a right angle at station 121+32.00; thence northwesterly fifty eight and fifty two hundredths feet (58.52) to a point, said point being three hundred feet (300.00) left from centerline of State Route 0068 measured at a right angle at station 121+15.00; thence southwestwesterly forty feet (40.00) to a point, said point being three hundred feet left (300.00) from centerline of State Route 0068 measured at a right angle at station 120+75.00; thence southerly one hundred sixty and fifty nine hundredths feet (160.59) to a point, said point being two hundred ten feet (210.00) left from centerline of State Route 0068 measured at a right angle at station 119+42.00; thence southeasterly twenty nine and seventy two hundredths feet (29.72) to a point, said point being one hundred eighty one feet (181.00) left from centerline of State Route 0068 measured at a right angle at station 119+35.00; thence easterly seventy four and forty eight hundredths feet (74.48) to a point, said point being one hundred fifteen feet (115.00) left from centerline of State Route 0068 measured at a right angle at station 119+70.00; thence easterly sixty eight feet (68) to a point, said point being sixty eight feet (68) left from centerline of State Route 0068 measured at a right angle at station 120+20.00; thence southwestwesterly ninety five feet (95) to a point, said point being seventy five feet (75) left from centerline of State Route 0068 measured at a right angle at station 119+25.00; thence

northwesterly twenty feet (20) to a point, said point being ninety five feet (95.00) left from centerline of State Route 0068 measured at a right angle at station 119+25.00; thence southwesterly forty six and ninety one hundredths feet (46.91) to a point, said point being ninety five (95.00) left from centerline of State Route 0068 measured at a right angle at station 118+75.00; thence southerly fifty seven feet (57) to a point, said point being fifty seven feet (57) left from centerline of State Route 0068 measured at a right angle at station 118+30.00; thence southwesterly four hundred seventy nine feet (479) to place of beginning.

Containing 1.16 acres/50,679 square feet.

The above two (2) tracts of land shown on the Department's Drawings Authorizing Acquisition of Right-of-Way for State Route 0068, Section 253 R/W, as temporary construction easement and designated and delineated as part of Parcel No. 15 on sheets No. 11, 12, 14, 31 and 32 of said drawings, as recorded in the Butler County Recorder of Deeds Office in Map Book No. 66, Page 96 (Instrument Number 202208260018410) on August 26, 2022, is a portion of real estate which became legally vested in The Baltimore And Ohio Railroad Company, A Maryland Corporation; And Manufacturers Hanover Trust Company, A New York Corporation; And D.B. Herterich, As Trustees Under B&O's Refunding And General Mortgage Dated December 1, 1915, As Supplemented And Amended & Allegheny & Western Railroad Company, A Corporation Organized And Existing Under The Laws Of The State Of Pennsylvania, successors of: The Cheat Haven Railroad Company, A Pennsylvania Corporation, dated December 31, 1980 and recorded August 19, 1982 in Deed Book 1152, Page 935, in Butler County Courthouse; C.H. McCauley and J.A., his wife, dated January 19, 1903 and recorded January 27, 1903 in Deed Book 216, Page 113, in Butler County Courthouse.

 Required Right-of-Way

**TRACT 3:**

Beginning at a point, said point being along the easterly legal right-of-way line of State Route 0068, right sixteen feet (16) from centerline of State Route 0068 measured at right angle at station 120+90; thence southerly along easterly property line thirty feet (30) to a point, said point being forty feet (40) right from centerline of State Route 0068 measured at right angle at station 120+73; thence southerly along the easterly property line two hundred twenty three feet (223) to a point, said point being one hundred sixty one feet (161) right from centerline of State Route 0068 measured at right angle at station 118+89; thence southwesterly along southerly required right-of-way line eighty eight feet (88) to a point, said point being one hundred thirty five feet (135.00) right from centerline of State Route 0068 measured at right angle at station 118+10.00; thence northwesterly westerly required right-of-way line eighty two and seventy seven hundredths feet (82.77) to a point, said point being sixty feet (60.00) right from centerline of State Route 0068 measured at right angle at station 117+75.00; thence northwesterly fifty seven feet (57) to a point, said point being three feet (3) right from centerline of State Route 0068 measured at right angle at station 117+75.00; thence northeasterly three hundred sixteen feet (316) to place of beginning.

Containing 0.73 acres/32,014 square feet.

**TRACT 4:**

Beginning at a point, said point being along the westerly legal right-of-way line of State Route 0068, left fifty seven feet (57) from centerline of State Route 0068 measured at right angle at station 118+30.00; thence northerly fifty seven feet (57) to a point, said point being ninety five feet (95.00) left from centerline of State Route 0068 measured at right angle at station 118+75.00; thence northeasterly forty six and ninety one hundredth feet (46.91) to a point, said point being ninety five feet (95.00) left from centerline of State Route 0068 measured at right angle at station 119+25.00; thence southeasterly twenty feet (20) to a point, said point being seventy five feet (75) left from centerline of State Route 0068 measured at right angle at station 119+25.00; thence southwesterly thirty five feet (35) to a point, said point being seventy six feet (76) left from centerline of State Route 0068 measured at right angle at station 118+88; thence southeasterly twenty feet (20) to a point, said point being fifty six feet (56) left from centerline of State Route 0068 measured at right angle at station 118+88; thence southwesterly fifty six feet (56) to place of beginning.

Containing 0.05 acres/2,004 square feet.

**TRACT 5:**

Beginning at a point, said point being along the westerly legal right-of-way line of State Route 0068, left ninety three feet (93) from centerline of State Route 0068 measured at right angle at station 121+00.00, thence northwesterly eighty and seventy two hundredth feet (80.72) to a point, said point being one hundred seventy feet (170.00) left from centerline of State Route 0068 measured at right angle at station 121+25.00; thence northeasterly thirty seven feet (37) to a point, said point being one hundred sixty eight feet (168) left from centerline of State Route 0068 measured at right angle at station 121+62; thence southeasterly along easterly property line seventy nine feet (79) to a point, said point being ninety feet (90) left from centerline of State Route 0068 measured at right angle at station 121+46; thence southwesterly forty six feet (46) to place of beginning.

Containing 0.08 acres/3,270 square feet.

The above three (3) tracts of land shown on the Department's Drawings Authorizing Acquisition of Right-of-Way for State Route 0068, Section 253 R/W, as required right-of-way and designated and delineated as part of Parcel No. 15 on sheets No. 11, 12, 14, 31 and 32 of said drawings, as recorded in the Butler County Recorder of Deeds Office in Map Book No. 66, Page 96 (Instrument Number 202208260018410) on August 26, 2022, is a portion of real estate which became legally vested in The Baltimore And Ohio Railroad Company, A Maryland Corporation; And Manufacturers Hanover Trust Company, A New York Corporation; And D.B. Herterich, As Trustees Under B&O's Refunding And General Mortgage Dated December 1, 1915, As Supplemented And Amended & Allegheny & Western Railroad Company, A Corporation Organized And Existing Under The Laws Of The State Of Pennsylvania, successors of: The Cheat Haven Railroad Company, A Pennsylvania Corporation, dated December 31,

1980 and recorded August 19, 1982 in Deed Book 1152, Page 935, in Butler County Courthouse; C.H. McCauley and J.A., his wife, dated January 19, 1903 and recorded January 27, 1903 in Deed Book 216, Page 113, in Butler County Courthouse.



Required Aerial Easement

**TRACT 6:**

Beginning at a point, said point being along the easterly legal right-of-way line of State Route 0068, right three feet (3) from centerline of State Route 0068 measured at right angle at station 113+32; thence northeasterly four hundred forty three feet (443) to a point, said point being three feet (3) right from centerline of State Route 0068 measured at right angle at station 117+75.00; thence southeasterly fifty seven feet (57) to a point, said point being sixty feet (60.00) right from centerline of State Route 0068 measured at a right angle at station 117+75.00; thence southwesterly three hundred eighty nine feet (389) to a point, said point being sixty feet (60) right from centerline of State Route 0068 measured at a right angle station 113+86; thence westerly along southerly property line seventy nine feet (79) to the place of beginning.

Containing 0.54 acres/23,705 square feet.

The above tract of land shown on the Department's Drawings Authorizing Acquisition of Right-of-Way for State Route 0068, Section 253 R/W, as required aerial easement and designated and delineated as part of Parcel No. 15 on sheets No. 11, 12, 14, 31 and 32 of said drawings, as recorded in the Butler County Recorder of Deeds Office in Map Book No. 66, Page 96 (Instrument Number 202208260018410) on August 26, 2022, is a portion of real estate which became legally vested in The Baltimore And Ohio Railroad Company, A Maryland Corporation; And Manufacturers Hanover Trust Company, A New York Corporation; And D.B. Herterich, As Trustees Under B&O's Refunding And General Mortgage Dated December 1, 1915, As Supplemented And Amended & Allegheny & Western Railroad Company, A Corporation Organized And Existing Under The Laws Of The State Of Pennsylvania, successors of: The Cheat Haven Railroad Company, A Pennsylvania Corporation, dated December 31, 1980 and recorded August 19, 1982 in Deed Book 1152, Page 935, in Butler County Courthouse; C.H. McCauley and J.A., his wife, dated January 19, 1903 and recorded January 27, 1903 in Deed Book 216, Page 113, in Butler County Courthouse.



Required Channel Easement


**TRACT 7:**

Beginning at a point, said point being along the easterly legal right-of-way line of State Route 0068, right three feet (3.00) from centerline of State Route 0068 measured at right angle at station 115+00.00; thence southeasterly ninety seven feet (97.00) to a point, said point being one

hundred (100.00) right from centerline of State Route 0068 measured at right angle at station 115+00.00; thence southwesterly fifty feet (50.00) to a point, said point being one hundred feet (100.00) right from centerline of State Route 0068 measured at right angle at station 114+50.00; thence northwesterly ninety seven feet (97.00) to a point, said point being three feet (3.00) right from centerline of State Route 0068 measured at right angle at station 114+50.00; thence northeasterly fifty feet (50.00) to place of beginning.

Containing 0.11 acres/4,850 square feet.

The above tract of land shown on the Department's Drawings Authorizing Acquisition of Right-of-Way for State Route 0068, Section 253 R/W, as required channel easement and designated and delineated as part of Parcel No. 15 on sheets No. 11, 12, 14, 31 and 32 of said drawings, as recorded in the Butler County Recorder of Deeds Office in Map Book No. 66, Page 96 (Instrument Number 202208260018410) on August 26, 2022, is a portion of real estate which became legally vested in The Baltimore And Ohio Railroad Company, A Maryland Corporation; And Manufacturers Hanover Trust Company, A New York Corporation; And D.B. Herterich, As Trustees Under B&O's Refunding And General Mortgage Dated December 1, 1915, As Supplemented And Amended & Allegheny & Western Railroad Company, A Corporation Organized And Existing Under The Laws Of The State Of Pennsylvania, successors of: The Cheat Haven Railroad Company, A Pennsylvania Corporation, dated December 31, 1980 and recorded August 19, 1982 in Deed Book 1152, Page 935, in Butler County Courthouse; C.H. McCauley and J.A., his wife, dated January 19, 1903 and recorded January 27, 1903 in Deed Book 216, Page 113, in Butler County Courthouse.

 Legal Right-of-Way converted to Aerial Easement

### **TRACT 8:**

Beginning at a point, said point being along the easterly legal right-of-way line of State Route 0068, right three feet (3) from centerline of State Route 0068 measured at right angle at station 113+32; thence westerly along southerly property line forty one feet (41) to a point, said point being twenty seven feet (27) left from centerline of State Route 0068 measured at right angle at station 113+04; thence northerly along westerly property line fifty six feet (56) to a point, said point being fifty seven feet (57) left from centerline of State Route 0068 measured at right angle at station 113+51; thence northeasterly along westerly legal right-of-way line four hundred seventy nine feet (479) to a point, said point being fifty seven feet (57) left from centerline of State Route 0068 measured at right angle at station 118+30.00; thence southerly along northerly property line eighty one feet (81) to a point, said point being three feet (3) right from centerline of State Route 0068 measured at right angle at station 117+75; thence southwesterly four hundred forty three feet (443) to place of beginning.

Containing 0.66 acres 28,794 square feet.

The above tract of land shown on the Department's Drawings Authorizing Acquisition of Right-of-Way for State Route 0068, Section 253 R/W, as legal right-of-way converted to aerial

easement and designated and delineated as part of Parcel No. 15 on sheets No. 11, 12, 14, 31 and 32 of said drawings, as recorded in the Butler County Recorder of Deeds Office in Map Book No. 66, Page 96 (Instrument Number 202208260018410) on August 26, 2022, is a portion of real estate which became legally vested in The Baltimore And Ohio Railroad Company, A Maryland Corporation; And Manufacturers Hanover Trust Company, A New York Corporation; And D.B. Herterich, As Trustees Under B&O's Refunding And General Mortgage Dated December 1, 1915, As Supplemented And Amended & Allegheny & Western Railroad Company, A Corporation Organized And Existing Under The Laws Of The State Of Pennsylvania, successors of: The Cheat Haven Railroad Company, A Pennsylvania Corporation, dated December 31, 1980 and recorded August 19, 1982 in Deed Book 1152, Page 935, in Butler County Courthouse; C.H. McCauley and J.A., his wife, dated January 19, 1903 and recorded January 27, 1903 in Deed Book 216, Page 113, in Butler County Courthouse.

# LIST OF PROPERTY OWNERS

- ② JEANEAN FRANCESE
- ③ BRENT C. BENOIT, A SINGLE MAN
- ④ JOHN D. WHITTINGTON, SR. AND LORNA M. WHITTINGTON, HUSBAND AND WIFE, AS TENANTS BY THE ENTIRETY
- ⑤ MARTIN MEDIA, A CALIFORNIA LIMITED PARTNERSHIP, A CALIFORNIA PARTNERSHIP
- ⑥ WILLIAM A. KLINE AND LUCY M. KLINE, HIS WIFE
- ⑪ FLOYD W. OSBORNE AND JOAN G. OSBORNE, HIS WIFE
- ⑫ THE BUTLER WATER COMPANY, A CORPORATION CREATED BY AND EXISTING UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA
- ⑳ BACHER HOLDINGS, LLC., A PENNSYLVANIA LIMITED LIABILITY COMPANY
- ㉓ PITTSBURGH BESSEMER & LAKE ERIE RAILROAD COMPANY

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING THE CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

PRIVATE PROPERTY LINES ARE PLOTTED FROM THE DEED OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA. PRIVATE PROPERTY LINES WERE NOT SURVEYED BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT.

LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT. PROPERTY IN WHICH THE DEPARTMENT INTENDS TO VACATE ITS EXISTING SURFACE EASEMENT FOR HIGHWAY PURPOSES AND RETAIN AN AERIAL EASEMENT AS DEFINED ELSEWHERE ON THIS PLAN. SUBJECT TO THE APPROVAL OF THIS PLAN BY THE GOVERNOR, THE FILING OF THIS PLAN AS A PUBLIC RECORD IN THE OFFICE OF THE DEPARTMENT AND THE RECORDING OF THIS PLAN IN THE COUNTY RECORDER OF DEEDS OFFICE, THIS NOTE SHALL CONSTITUTE AN ORDER OF VACATION PURSUANT TO SECTION 210 OF THE STATE HIGHWAY LAW, 36 P.S. SECTION 670-210, AS TO THE SURFACE EASEMENT FOR HIGHWAY PURPOSES, EFFECTIVE WHEN THE CONSTRUCTION IS COMPLETED.

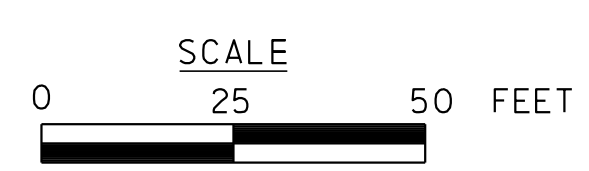
FOR THE AERIAL EASEMENT DEFINITION, SEE GENERAL NOTES, SHEET 3 OF THE RIGHT-OF-WAY PLAN

## LEGEND

- TEMPORARY CONSTRUCTION EASEMENT
- REQUIRED AERIAL EASEMENT
- REQUIRED RIGHT-OF-WAY
- LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT

EXISTING STRUCTURE DATA	
STATION	61+40.00
TYPE	12 SPAN PRESTRESSED CONCRETE BOX BEAM, STEEL THROUGH TRUSS, AND STEEL THROUGH GIRDER BRIDGE
SPAN LENGTH	868'-0" TOTAL; TRUSS SPAN: 2@167'-6"
UNDERCLEARANCE	21.3' (SPAN 2), 21.1' (SPAN 10), 22.4' (SPAN 11)
CLEAR ROADWAY WIDTH	34'-0"
SKEW	53°41'51" LEFT
STRUCTURE NO	BMS# 10-0068-0510-0000
BUILT DATE	1936

PROPOSED STRUCTURE DATA - SR 0068 OVER B & P RAILROAD AND B & LE RAILROAD	
STATION	113+80.00
TYPE	3 SPAN CONTINUOUS COMPOSITE STEEL PLATE GIRDER BRIDGE
SPAN LENGTH	860'-0" TOTAL, 1 @ 270', 1 @ 300', 1 @ 290'
UNDERCLEARANCE	23.92'
ROADWAY WIDTH	63'-0"
SKEW	70°00'00" LEFT
STRUCTURE NO	S-39526



## HYDRAULIC DATA:

DRAINAGE AREA = 44.2 SQUARE MILES

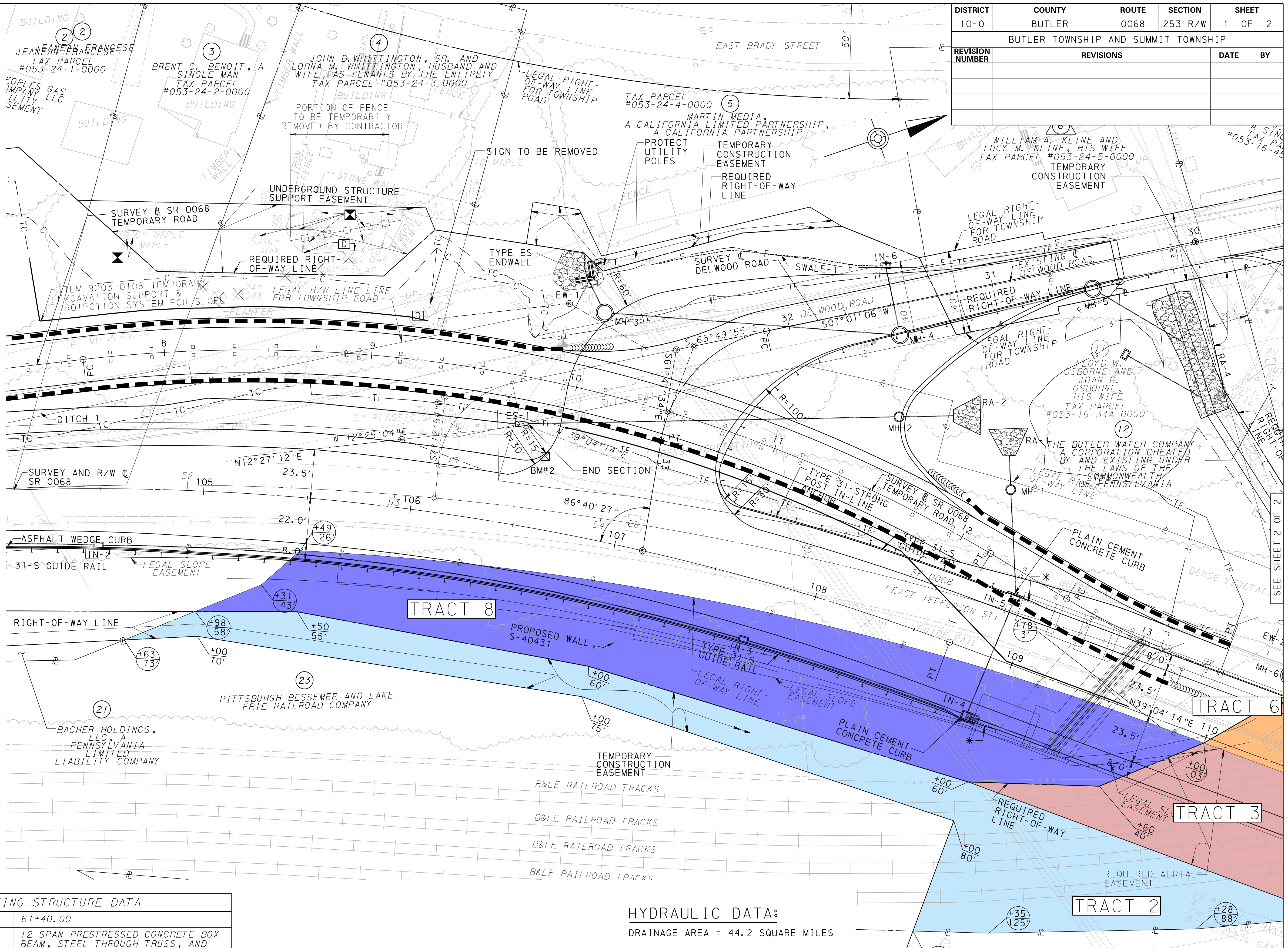
50 YEAR DESIGN FLOOD  
 DISCHARGE = 5,030 CFS  
 PROPOSED WATER SURFACE ELEVATION = 1008.75  
 PROPOSED CHANNEL VELOCITY = 6.2 FPS

100 YEAR FLOOD  
 DISCHARGE = 5,860 CFS  
 PROPOSED WATER SURFACE ELEVATION = 1009.57  
 PROPOSED CHANNEL VELOCITY = 6.7 FPS  
 FLOOD OF RECORD: 24,500 CFS (SEPT. 18, 2004)

REG PROF LAND SURVEYOR

REG PROF ENGINEER

10:35:29 AM 7/8/2022 SR\_0068\_PUC\_ROW\_Parcel 23.dgn



DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	1 OF 2
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

**LIST OF PROPERTY OWNERS**

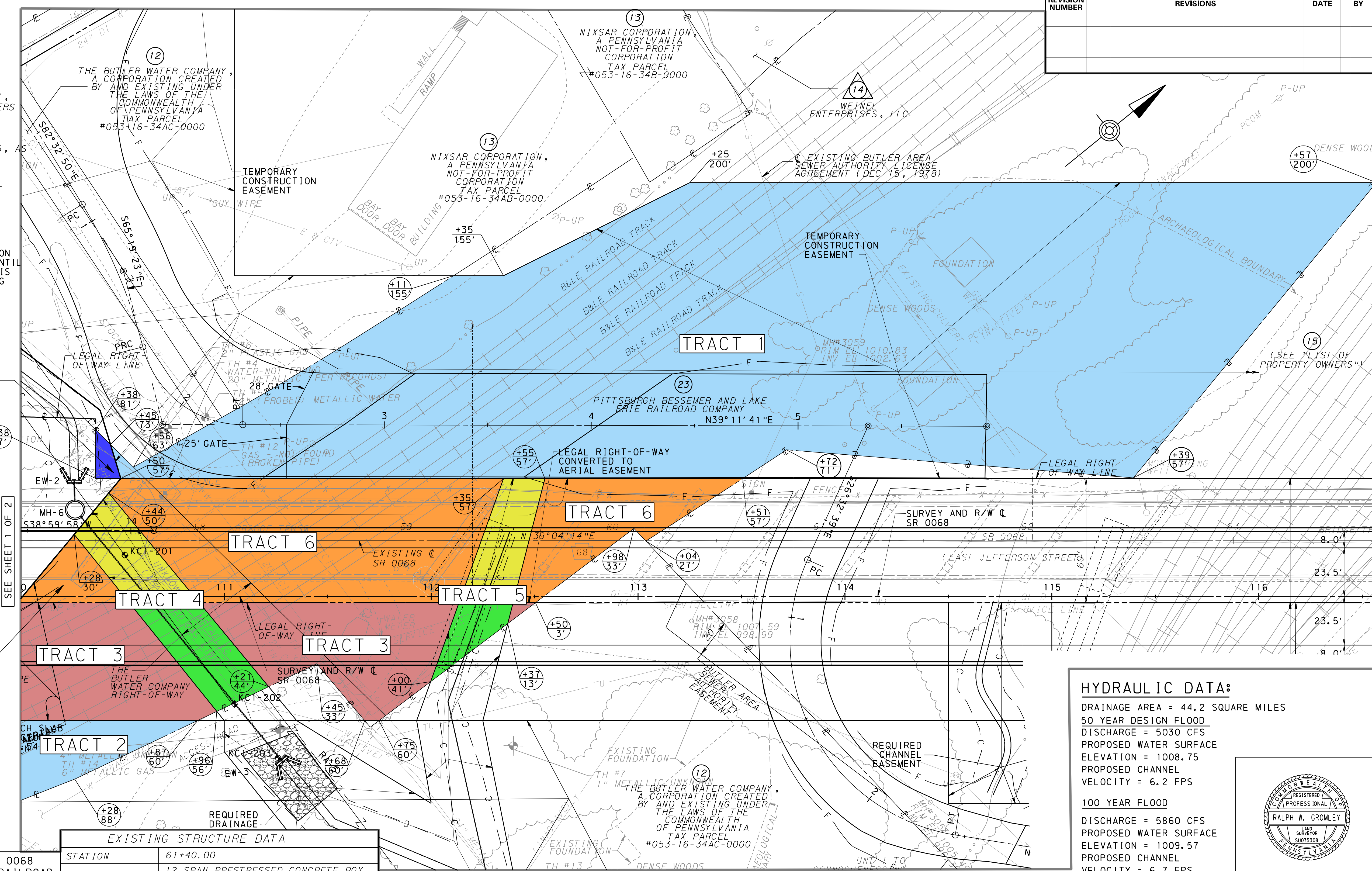
- 12 PITTSBURGH BESSEMER & LAKE ERIE RAILROAD COMPANY
- 13 NIXSAR CORPORATION, A PENNSYLVANIA NOT-FOR-PROFIT CORPORATION
- 14 WEINEL ENTERPRISES, LLC
- 15 THE BALTIMORE AND OHIO RAILROAD COMPANY, A MARYLAND CORPORATION; AND MANUFACTURERS HANOVER TRUST COMPANY, A NEW YORK CORPORATION; AND D. B. HERTERICH, AS TRUSTEES UNDER B&O'S REFUNDING AND GENERAL MORTGAGE DATED DECEMBER 1, 1915, AS SUPPLEMENTED AND AMENDED & ALLEGHENY & WESTERN RAILROAD COMPANY, A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF PENNSYLVANIA
- 23 PITTSBURGH BESSEMER & LAKE ERIE RAILROAD COMPANY

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING THE CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

PRIVATE PROPERTY LINES ARE PLOTTED FROM THE DEED OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA. PRIVATE PROPERTY LINES WERE NOT SURVEYED BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT.

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
10-0	BUTLER	0068	253 R/W	2 OF 2
BUTLER TOWNSHIP AND SUMMIT TOWNSHIP				
REVISION NUMBER	REVISIONS	DATE	BY	

10:29:17 AM  
7/8/2022



**LEGEND**

- TEMPORARY CONSTRUCTION EASEMENT
- REQUIRED AERIAL EASEMENT
- REQUIRED DRAINAGE EASEMENT/AERIAL EASEMENT
- LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT/ DRAINAGE EASEMENT
- LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT
- REQUIRED RIGHT-OF-WAY

**HYDRAULIC DATA:**

DRAINAGE AREA = 44.2 SQUARE MILES  
 50 YEAR DESIGN FLOOD  
 DISCHARGE = 5030 CFS  
 PROPOSED WATER SURFACE ELEVATION = 1008.75  
 PROPOSED CHANNEL VELOCITY = 6.2 FPS

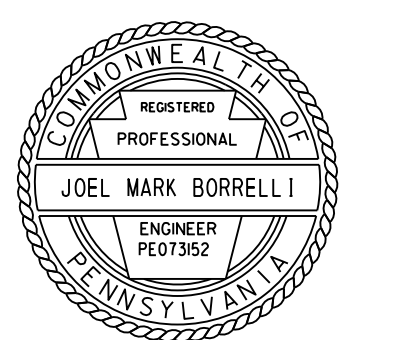
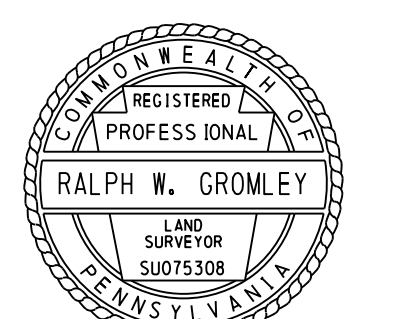
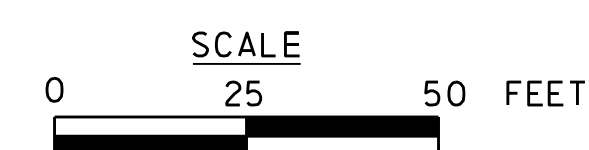
100 YEAR FLOOD  
 DISCHARGE = 5860 CFS  
 PROPOSED WATER SURFACE ELEVATION = 1009.57  
 PROPOSED CHANNEL VELOCITY = 6.7 FPS

FLOOD OF RECORD: 24,500 CFS (SEPT. 18, 2004)

EXISTING STRUCTURE DATA	
STATION	61+40.00
TYPE	12 SPAN PRESTRESSED CONCRETE BOX BEAM, STEEL THROUGH TRUSS, AND STEEL THROUGH GIRDER BRIDGE
SPAN LENGTH	868'-0" TOTAL; TRUSS SPAN: 2@167'-6"
UNDERCLEARANCE	21.3' (SPAN 2), 21.1' (SPAN 10), 22.4' (SPAN 11)
CLEAR ROADWAY WIDTH	34'-0"
SKEW	53°41'51" LEFT
STRUCTURE NO	BMS# 10-0068-0510-0000
BUILT DATE	1936

DRAINAGE EASEMENT. AN EASEMENT FOR THE CONSTRUCTION, INSPECTION, MAINTENANCE, REPAIR, RECONSTRUCTION AND ALTERATION OF HIGHWAY DRAINAGE FACILITIES. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO THE NECESSARY FLOW OF WATER. HOWEVER, NO STRUCTURE OF ANY KIND MAY BE ERRECTED IN THE AREA, NOR MAY ANY PIPE OR DITCH BE CONNECTED TO THE DEPARTMENT'S PIPE OR DITCH WITHOUT ADVANCED WRITTEN APPROVAL BY THE DEPARTMENT OF TRANSPORTATION.

LEGAL RIGHT-OF-WAY CONVERTED TO AERIAL EASEMENT. PROPERTY IN WHICH THE DEPARTMENT INTENDS TO VACATE ITS EXISTING SURFACE EASEMENT FOR HIGHWAY PURPOSES AND RETAIN AN AERIAL EASEMENT AS DEFINED ELSEWHERE ON THIS PLAN. SUBJECT TO THE APPROVAL OF THIS PLAN BY THE GOVERNOR, THE FILING OF THIS PLAN AS A PUBLIC RECORD IN THE OFFICE OF THE DEPARTMENT AND THE RECORDING OF THIS PLAN IN THE COUNTY RECORDER OF DEEDS OFFICE, THIS NOTE SHALL CONSTITUTE AN ORDER OF VACATION PURSUANT TO SECTION 210 OF THE STATE HIGHWAY LAW, 36 P.S. SECTION 670-210, AS TO THE SURFACE EASEMENT FOR HIGHWAY PURPOSES, EFFECTIVE WHEN THE CONSTRUCTION IS COMPLETED.



All those certain tracts of land situated in Butler Township, Butler County, Pennsylvania bounded and described as follows, to wit:

 Temporary Construction Easement

**TRACT 1:**

Beginning at a point, said point being along the westerly legal right-of-way line of State Route 0068, left fifty seven feet (57) from centerline of State Route 0068 measured at right angle at station 110+50.00; thence westerly seventeen feet (17) to a point, said point being seventy three feet (73) left from centerline of State Route 0068 and measured at a right angle at station 110+45; thence easterly along westerly property line sixteen feet (16) to a point, said point being sixty three feet (63) left from centerline of State Route 0068 and measured at a right angle at station 110+56; thence northerly along westerly property line one hundred eighty (180) to a point, said point being one hundred fifty five (155) left from centerline of State Route 0068 and measured at a right angle at station 112+11; thence northeasterly twenty four feet (24) to a point, said point being one hundred fifty five feet (155.00) left from centerline of State Route 0068 and measured at a right angle at station 112+35.00; thence northerly one hundred and sixty two hundredth feet (100.62) to a point, said point being two hundred feet (200.00) left from centerline of State Route 0068 and measured at a right angle at station 113+25.00; thence northeasterly three hundred thirty two feet (332) to a point, said point being two hundred feet (200) left from centerline of State Route 0068 and measured at a right angle at station 116+57; thence southeasterly along easterly property line one hundred eighty five feet (185) to a point, said point being fifty seven feet (57) left from centerline of State Route 0068 and measured at a right angle at station 115+39; thence southerly one hundred sixty eight feet (168) to a point, said point being seventy one feet (71) left from centerline of State Route 0068 and measured at a right angle at station 113+72; thence southeasterly twenty five feet (25) to a point, said point being fifty seven feet (57) left from centerline of State Route 0068 and measured at a right angle at station 113+51; thence southwesterly along westerly required right-of-way line of State Route 0068 three hundred one feet (301) to place of beginning.

Containing 1.35 acres/58,799 square feet

**TRACT 2:**

Beginning at a point, said point being along the easterly legal right-of-way line of State Route 0068, right sixty feet (60) from centerline of State Route 0068 measured at a right angle at station 110+87; thence southerly along southerly property line sixty six feet (66) to a point, said point being eighty eight feet (88) right from centerline of State Route 0068 and measured at a right angle at station 110+28; thence southerly along southerly property line one hundred feet (100) to a point, said point being one hundred twenty five feet (125) right from centerline of State Route 0068 and measured at a right angle at station 109+35; thence southerly along southerly property line thirty seven feet (37) to a point, said point being one hundred thirty seven feet (137) right from centerline of State Route 0068 and measured at a right angle at station 109+00; thence northwesterly fifty seven feet (57) to a point, said point being eighty feet (80.00) right from centerline of State Route 0068 and measured at a right angle at station 109+00.00; thence

southwesterly one hundred eighty eight and ninety seven hundredth feet (188.97) to a point, said point being seventy five feet (75.00) right from centerline of State Route 0068 and measured at a right angle at station 107+00.00; thence southerly one hundred eighty seven and sixty six hundredth feet (187.66) to a point, said point being seventy feet (70.00) right from centerline of State Route 0068 and measured at a right angle at station 105+00.00; thence southerly thirty five feet (35) to a point, said point being seventy three feet (73) right from centerline of State Route 0068 and measured at a right angle at station 104+63; thence northerly along the westerly property line thirty seven feet (37) to a point, said point being fifty eight feet (58) right from centerline of State Route 0068 and measured at a right angle at station 104+98; thence north easterly forty nine feet (49) to a point, said point being fifty five feet (55.00) right from centerline of State Route 0068 and measured at a right angle at station 105+50.00; thence one hundred forty two and seventy five hundredth feet (142.75) to a point, said point being sixty feet (60.00) right from centerline of State Route 0068 and measured at a right angle at station 107+00.00; thence north easterly one hundred ninety one and thirty two feet (191.32) to a point, said point being sixty feet (60.00) right from centerline of State Route 0068 and measured at a right angle at station 109+00.00; thence north easterly one hundred eighty seven and two hundredth feet (187.02) to place of beginning.

Containing 0.33 acres/14,317 square feet.

The above two (2) tracts of land shown on the Department's Drawings Authorizing Acquisition of Right-of-Way for State Route 0068, Section 253 R/W, as temporary construction easement and designated and delineated as part of Parcel No. 23 on sheets No. 11, 14 and 35 of said drawings, as recorded in the Butler County Recorder of Deeds Office in Map Book No. 66, Page 96 (Instrument Number 202208260018410) on August 26, 2022, is a portion of real estate which became legally vested in Pittsburgh Bessemer And Lake Erie Railroad Company, successors of: George Reiber Heirs (Henry Reiber, Single, George L. Reiber, Single, Edward Reiber, Single, Mary L. Reiber, Single, Anna M. Reiber, Single, Elizabeth Reiber, Single, Ida F. Reiber, Single, William F. Miller And Caroline Miller (Nee (Reiber), His Wife, All Of Butler County Pennsylvania, And Wilhelmina Meiser (Nee Reiber), Widow Of Detroit, Michigan, Heirs Of George Reiber Deceased), dated April 27, 1907 and recorded April 30, 1907 in Deed Book 252, Page 35, in Butler County Courthouse;

Ira McJunkin Trust (Ira McJunkin And Ira McJunkin Trustee, Of The Borough Of Butler County Of Butler State Of Pennsylvania), dated June 21, 1906 and recorded June 25, 1906 in Deed Book 244, Page 37, in Butler County Courthouse;

Ira McJunkin Et Al (Ira McJunkin, Single Man, Of Butler, Pa, Ira McJunkin Trustee For W.A. Stover, A.E. Butler And Nellie Butler, His Wife, George N. Burkhalter And Nina Burkhalter, His Wife, W.A. Stover And Jennie Stover, His Wife), dated December 7, 1910 and recorded December 28, 1910 in Deed Book 286, Page 83, in Butler County Courthouse;

Ira Mcjunkin Trustee Et Al (Ira Mcjunkin, Single, Of Butler, Butler County, Pennsylvania, Ira Mcjunkin, Trustee For W.A. Stover, A.E. Butler And George Burkhalter, And W. A. Stover And Jennie Stover, His Wife, George N. Burkhalter And Nina Burkhalter, His Wife, All Of Butler, Butler County, Pennsylvania, And A.E. Butler And Nellie Butler, His Wife, Of Bruin, Butler County, Pennsylvania), dated August 22, 1911 and recorded September 9, 1911 in Deed Book 290, Page 206, in Butler County Courthouse;

Sarah C. McClure, dated June 8, 1895 and recorded July 5, 1895 in Deed Book 152, Page 479, in Butler County Courthouse;

Charles E. Flaudran Et Ux (Charles E. Flaudran And Rebecca B. Flaudran His Wife Of The City Of St Paul Ramsey County Minnesota), dated June 8, 1895 and recorded July 5, 1895 in Deed Book 152, Page 481, in Butler County Courthouse;

George Reiber, based on unrecorded Condemnation of Right-Of-Way on September 1888 from George Reiber to W.P. & S.C.R.R. Co.

Allegheny And Western Railway Company, A Corporation Of The Commonwealth of Pennsylvania, dated August 31, 1948 and recorded November 16, 1948 in Deed Book 578, Page 317, in Butler County Courthouse;

Allegheny And Western Railway Company, A Corporation Of The Commonwealth of Pennsylvania, dated February 20, 1957 and recorded April 5, 1957 in Deed Book 697, Page 149, in Butler County Courthouse.



Required Aerial Easement

### **TRACT 3:**

Beginning at a point, said point being along the easterly legal right-of-way line of State Route 0068, right three feet (3) from centerline of State Route 0068 measured at a right angle at station 110+00; thence northeasterly two hundred fifty feet (250) to a point, said point being three feet (3) right from centerline of State Route 0068 measured at a right angle at station 112+50; thence southerly along the easterly property line ninety five feet (95) to a point, said point being sixty feet (60) right from centerline of State Route 0068 measured at a right angle at station 111+75; thence south westerly seven feet (7) to a point, said point being sixty feet (60) right from centerline of State Route 0068 and measured at a right angle at station 111+68; thence westerly along the easterly property line thirty six feet (36) to a point, said point being thirty three feet (33) right from centerline of State Route 0068 and measured at a right angle at station 111+45; thence southerly along the easterly property line sixty four feet (64) to a point, said point being sixty feet (60) right from centerline of State Route 0068 and measured at a right angle at station 110+87; thence southwesterly one hundred eighty seven feet (187) to a point, said point being sixty feet (60.00) right from centerline of State Route 0068 and measured at a right angle at station 109+00.00; thence northerly sixty three and twenty five hundredth feet (63.25) to a point, said point being forty feet (40.00) right from centerline of State Route 0068 and measured at a right angle at station 109+60.00; thence northerly fifty four feet (54) to place of beginning.

Containing 0.30 acres/13,146 square feet.

The above tract of land shown on the Department's Drawings Authorizing Acquisition of Right-of-Way for State Route 0068, Section 253 R/W, as required aerial easement and designated and delineated as part of Parcel No. 23 on sheets No. 11, 14 and 35 of said drawings, as recorded in the Butler County Recorder of Deeds Office in Map Book No. 66, Page 96 (Instrument Number 202208260018410) on August 26, 2022, is a portion of real estate which became legally vested in Pittsburgh Bessemer And Lake Erie Railroad Company, successors of:

George Reiber Heirs (Henry Reiber, Single, George L. Reiber, Single, Edward Reiber, Single, Mary L. Reiber, Single, Anna M. Reiber, Single, Elizabeth Reiber, Single, Ida F. Reiber, Single, William F. Miller And Caroline Miller (Nee Reiber), His Wife, All Of Butler County Pennsylvania, And Wilhelmina Meiser (Nee Reiber), Widow Of Detroit, Michigan, Heirs Of

George Reiber Deceased), dated April 27, 1907 and recorded April 30, 1907 in Deed Book 252, Page 35, in Butler County Courthouse;

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Ira Mcjunkin Trustee Et Al (Ira Mcjunkin, Single, Of Butler, Butler County, Pennsylvania, Ira Mcjunkin, Trustee For W.A. Stover, A.E. Butler And George Burkhalter, And W. A. Stover And Jennie Stover, His Wife, George N. Burkhalter And Nina Burkhalter, His Wife, All Of Butler, Butler County, Pennsylvania, And A.E. Butler And Nellie Butler, His Wife, Of Bruin, Butler County, Pennsylvania), dated August 22, 1911 and recorded September 9, 1911 in Deed Book 290, Page 206, in Butler County Courthouse;

Sarah C. McClure, dated June 8, 1895 and recorded July 5, 1895 in Deed Book 152, Page 479, in Butler County Courthouse;

Charles E. Flaudran Et Ux (Charles E. Flaudran And Rebecca B. Flaudran His Wife Of The City Of St Paul Ramsey County Minnesota), dated June 8, 1895 and recorded July 5, 1895 in Deed Book 152, Page 481, in Butler County Courthouse;

George Reiber, based on unrecorded Condemnation of Right-Of-Way on September 1888 from George Reiber to W.P. & S.C.R.R. Co.

Allegheny And Western Railway Company, A Corporation Of The Commonwealth of Pennsylvania, dated August 31, 1948 and recorded November 16, 1948 in Deed Book 578, Page 317, in Butler County Courthouse;

Allegheny And Western Railway Company, A Corporation Of The Commonwealth of Pennsylvania, dated February 20, 1957 and recorded April 5, 1957 in Deed Book 697, Page 149, in Butler County Courthouse.



Required Drainage Easement

#### **TRACT 4:**

Beginning at a point, said point being along the southerly property line, left fifty feet (50.00) from centerline of State Route 0068 measured at a right angle at station 110+44; thence easterly one hundred twenty one feet (121) to a point, said point being forty four feet (44) right from centerline of State Route 0068 measured at a right angle at station 111+21; thence southerly along the easterly property line twenty eight feet (28) to a point, said point being fifty six feet (56) right from centerline of State Route 0068 measured at a right angle at station 110+96; thence westerly one hundred ten feet (110) to a point, said point being thirty feet (30.00) left from centerline of State Route 0068 measured at a right angle at station 110+28; thence northerly twenty six feet (26) to place of beginning.

Containing 0.07 acres/3,036 square feet.

#### **TRACT 5:**

Beginning at a point, said point being along the westerly legal right-of-way line of State Route 0068, left fifty seven feet (57) left from centerline of State Route 0068 measured at a right angle at station 112+55; thence southeasterly seventy two feet (72) to a point, said point being thirteen feet (13) right from centerline of State Route 0068 measured at a right angle at station 112+37; thence southerly along easterly property line forty seven feet (47) to a point, said point being forty one feet (41) right from centerline of State Route 0068 measured at a right angle at station 112+00; thence westerly one hundred four feet (104) to a point, said point being fifty seven feet (57) left from centerline of State Route 0068 measured at a right angle at station 112+35.00; thence northeasterly along westerly legal right-of-way line twenty feet (20) to point of beginning.

Containing 0.05 acres/2,035 square feet.

The above two (2) tracts of land shown on the Department's Drawings Authorizing Acquisition of Right-of-Way for State Route 0068, Section 253 R/W, as required drainage easement and designated and delineated as part of Parcel No. 23 on sheets No. 11, 14 and 35 of said drawings, as recorded in the Butler County Recorder of Deeds Office in Map Book No. 66, Page 96 (Instrument Number 202208260018410) on August 26, 2022, is a portion of real estate which became legally vested in Pittsburgh Bessemer And Lake Erie Railroad Company, successors of: George Reiber Heirs (Henry Reiber, Single, George L. Reiber, Single, Edward Reiber, Single, Mary L. Reiber, Single, Anna M. Reiber, Single, Elizabeth Reiber, Single, Ida F. Reiber, Single, William F. Miller And Caroline Miller (Nee (Reiber), His Wife, All Of Butler County Pennsylvania, And Wilhelmina Meiser (Nee Reiber), Widow Of Detroit, Michigan, Heirs Of George Reiber Deceased), dated April 27, 1907 and recorded April 30, 1907 in Deed Book 252, Page 35, in Butler County Courthouse;

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Ira McJunkin Et Al (Ira McJunkin, Single Man, Of Butler, Pa, Ira McJunkin Trustee For W.A. Stover, A.E. Butler And Nellie Butler, His Wife, George N. Burkhalter And Nina Burkhalter, His Wife, W.A. Stover And Jennie Stover, His Wife), dated December 7, 1910 and recorded December 28, 1910 in Deed Book 286, Page 83, in Butler County Courthouse;

Ira Mcjunkin Trustee Et Al (Ira Mcjunkin, Single, Of Butler, Butler County, Pennsylvania, Ira Mcjunkin, Trustee For W.A. Stover, A.E. Butler And George Burkhalter, And W. A. Stover And Jennie Stover, His Wife, George N. Burkhalter And Nina Burkhalter, His Wife, All Of Butler, Butler County, Pennsylvania, And A.E. Butler And Nellie Butler, His Wife, Of Bruin, Butler County, Pennsylvania), dated August 22, 1911 and recorded September 9, 1911 in Deed Book 290, Page 206, in Butler County Courthouse;


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Allegheny And Western Railway Company, A Corporation Of The Commonwealth of Pennsylvania, dated February 20, 1957 and recorded April 5, 1957 in Deed Book 697, Page 149, in Butler County Courthouse.

 Legal Right-of-Way Converted to Aerial Easement

**TRACT 6:**

Beginning at a point, said point being along the easterly legal right-of-way line of State Route 0068, right three feet (3) from centerline of State Route 0068 measured at a right angle at station 110+00.00; thence northerly seventy eight feet (78) to a point, said point being fifty seven feet (57) left from centerline of State Route 0068 measured at a right angle at station 110+50.00; thence northeasterly along the westerly legal right-of-way line three hundred one feet (301) to a point, said point being fifty seven feet (57) left from centerline of State Route 0068 measured at a right angle at station 113+51; thence southerly along the easterly property line fifty six feet (56) to a point, said point being twenty seven feet (27) left from centerline of State Route 0068 measured at a right angle at station 113+04; thence westerly along easterly property line eight feet (8) to a point, said point being thirty three feet (33) left from centerline of State Route 0068 measured at a right angle at station 112+98; thence southerly along easterly property line sixty feet (60) to a point, said point being three feet (3) right from centerline of State Route 0068 measured at a right angle at station 112+50; thence southwesterly along easterly legal right-of-way line of State Route 0068 two hundred fifty feet (250) to place of beginning.

Containing 0.38 acres/16,393 square feet.

The above tract of land shown on the Department's Drawings Authorizing Acquisition of Right-of-Way for State Route 0068, Section 253 R/W, as legal right-of-way converted to aerial easement and designated and delineated as part of Parcel No. 23 on sheets No. 11, 14 and 35 of said drawings, as recorded in the Butler County Recorder of Deeds Office in Map Book No. 66, Page 96 (Instrument Number 202208260018410) on August 26, 2022, is a portion of real estate which became legally vested in Pittsburgh Bessemer And Lake Erie Railroad Company, successors of:

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Butler County, Pennsylvania, And A.E. Butler And Nellie Butler, His Wife, Of Bruin, Butler County, Pennsylvania), dated August 22, 1911 and recorded September 9, 1911 in Deed Book 290, Page 206, in Butler County Courthouse;

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Required Right-of-Way

#### **TRACT 7:**

Beginning at a point, said point being along the westerly legal right-of-way line of State Route 0068, left fifty seven feet (57) from centerline of State Route 0068 measured at a right angle at station 110+38; thence northwesterly along westerly legal right-of-way line twenty four feet (24) to a point, said point being eighty one feet (81) left from centerline of State Route 0068 measured at a right angle at station 110+38; thence easterly along westerly property line ten feet (10) to a point, said point being seventy three feet (73) left from centerline of State Route 0068 measured at a right angle at station 110+45; thence southeasterly seventeen feet (17) to a point, said point being fifty seven feet (57) left from centerline of State Route 0068 measured at a right angle at station 110+50.00; thence southwesterly along westerly legal right-of-way line twelve feet (12) to place of beginning.

Containing 0.004 acres/184 square feet.

#### **TRACT 8:**

Beginning at a point, said point being along the easterly legal right-of-way line of State Route 0068, right three feet (3) from centerline of State Route 0068 measured at a right angle at station 110+00.00; thence southerly fifty five feet (55) to a point, said point being forty feet (40.00) right from centerline of State Route 0068 measured at a right angle at station 109+60.00; thence southwesterly sixty three and twenty five hundredth feet (63.25) to a point, said point being sixty feet (60.00) right from centerline of State Route 0068 measured at a right angle at station 109+00.00; thence southwesterly one hundred ninety one and thirty two hundredth feet (191.32) to a point, said point being sixty feet (60.00) right from centerline of State Route 0068 measured at a right angle at station 107+00.00; thence southwesterly one hundred forty two and seventy five hundredth feet (142.75) to a point, said point being fifty five feet (55.00) right from centerline of State Route 0068 measured at a right angle at station 105+50.00; thence southerly forty nine feet (49) to a point, said point being fifty eight feet (58) right from centerline of State

Route 0068 measured at a right angle at station 104+98; thence northerly along westerly property line thirty four feet (34) to a point, said point being forty three feet (43) right from centerline of State Route 0068 measured at a right angle at station 105+31; thence northwesterly along westerly property line twenty five feet (25) to a point, said point being twenty six feet (26) right from centerline of State Route 0068 measured at a right angle at station 105+49; thence northeasterly along legal right-of-way line four hundred twenty five feet (425) to a point, said point being three feet (3) right from centerline of State Route 0068 measured at a right angle at station 109+78; thence northeasterly along legal right-of-way line twenty two feet (22) to a point to place of beginning.

Containing 0.44 acres/19,221 square feet.

The above two (2) tracts of land shown on the Department's Drawings Authorizing Acquisition of Right-of-Way for State Route 0068, Section 253 R/W, as required right-of-way and designated and delineated as part of Parcel No. 23 on sheets No. 11, 14 and 35 of said drawings, as recorded in the Butler County Recorder of Deeds Office in Map Book No. 66, Page 96 (Instrument Number 202208260018410) on August 26, 2022, is a portion of real estate which became legally vested in Pittsburgh Bessemer And Lake Erie Railroad Company, successors of: George Reiber Heirs (Henry Reiber, Single, George L. Reiber, Single, Edward Reiber, Single, Mary L. Reiber, Single, Anna M. Reiber, Single, Elizabeth Reiber, Single, Ida F. Reiber, Single, William F. Miller And Caroline Miller (Nee Reiber), His Wife, All Of Butler County Pennsylvania, And Wilhelmina Meiser (Nee Reiber), Widow Of Detroit, Michigan, Heirs Of George Reiber Deceased), dated April 27, 1907 and recorded April 30, 1907 in Deed Book 252, Page 35, in Butler County Courthouse;

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**BEFORE THE  
PENNSYLVANIA PUBLIC UTILITY COMMISSION**

Application of the Department of Transportation of the Commonwealth of Pennsylvania for approval to replace the existing structure that carries State Route 0068 over four tracks of the Bessemer and Lake Erie Railroad (DOT No. 051 674J) and ten tracks of the Buffalo and Pittsburgh Railroad, Inc. (DOT No. 149 033 D) in Butler County and the allocation of costs incident thereto.

Application  
Docket No. **A-2020-3022688**

**Electronically Filed**

CERTIFICATE OF SERVICE

I hereby certify that I have this day served a true copy of the foregoing document upon the participants listed below by electronic mail pursuant to the Emergency Order at Docket Number M-2020-3019262:

**CN/Bessemer and Lake Erie Railroad Company**  
**ATTN: Thomas Brasseur, Senior Engineer Public Improvements**  
700 Pershing Road  
Pontiac, MI 48340  
[Thomas.Brasseur@cn.ca](mailto:Thomas.Brasseur@cn.ca)

**Michael Sliper, Project Manager II**  
CSX Public Projects  
1 Bell Crossing  
Selkirk, NY 12158  
[michael\\_sliper@csx.com](mailto:michael_sliper@csx.com)

**Debra-Ann Bocash, Manager - Engineering**  
Buffalo & Pittsburgh Railroad, Inc.  
Northern Region, East District  
2 Federal Street, Suite 201  
St. Albans, VT 05478  
[deb.bocash@gwrr.com](mailto:deb.bocash@gwrr.com)

**Honorable Leslie A. Osche**  
**Butler County Commissioners**  
Government Center  
PO Box 1208  
Butler, PA 16003-1208  
[losche@co.butler.pa.us](mailto:losche@co.butler.pa.us)

**Wilfred Adams, Chairperson**

Summit Township Supervisors  
502 Bonniebrook Road  
Butler, PA 16002  
[summittwp@zoominternet.net](mailto:summittwp@zoominternet.net)

**David Zarnick, President**

Butler Township Supervisors  
290 South Duffy Road  
Butler, PA 16001  
[dzarnick@butlertwp.org](mailto:dzarnick@butlertwp.org)

**Lou Marello**

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**Rob Wolthers**

Armstrong  
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