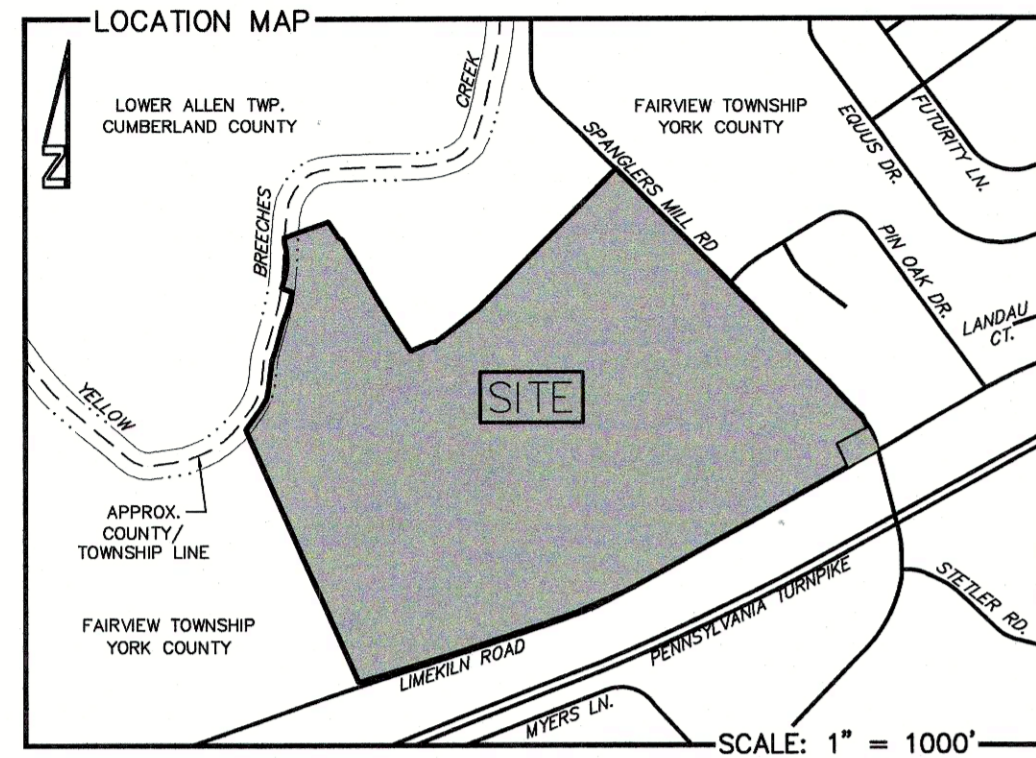


TUS A-5.2_ATTACHMENT

FINAL SUBDIVISION PLAN

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN

FOR SIENNA PHASE 1 FAIRVIEW TOWNSHIP YORK COUNTY, PENNSYLVANIA



OVERALL SITE DATA

NOTE: THIS IS OVERALL SITE DATA; MORE SPECIFIC DATA CAN BE FOUND ON SHEET #2.

1. Applicant / Developer--
Burkentine Real Estate Group
1454 Baltimore Street, Suite A
Hanover, PA 17331
Phone: (717) 633-5163
2. Total Site area:
Gross (includes Spanglers Mill Road and Limekiln Road right-of-way): 4,955,613 square feet, or 113.77 acres.
Net (excludes existing and proposed Spanglers Mill Road and Limekiln Road street right-of-way): 4,786,780.16 square feet, or 109.89 acres.
3. The entire site is zoned RMU: Residential Mixed-Use Zoning District. This site is in the Airport Hazard Zoning District - Airport Surface Zone.
4. This site is identified by the York County Tax Assessment Office as parcels 27-000-RE-003E, 27-000-RE-0029C, 27-000-RE-0029D, 27-000-RE-0029B, 27-000-RE-0029A, and 27-000-RE-0001E.
5. Existing number of lots: 6 (all to be removed)
6. Proposed number of lots: 1
7. Proposed Phase 1 number of dwelling units by use type:
-63 single family detached dwellings
-125 single family attached (townhouse) dwellings
-168 multifamily (apartment) units
-356 Total number of units
8. Proposed total number of proposed dwelling units for the entire tract: 655
9. Proposed density for the entire tract: 5.96 dwelling units per net tract acre.
10. Proposed water supply for all lots: public (PA American Water)
11. Proposed sewage disposal for all proposed lots: public (PA American Water)

ZONING REQUIREMENTS

The site is zoned RMU: Residential Mixed-Use Zoning District.

1. Maximum density: 6 units per lot area
 2. Minimum net lot area: 6,600 square feet
 3. Minimum lot width at lot frontage: 60 feet; 75 feet for a corner lot
 4. Minimum front setback: 30 feet
 5. Minimum side setback: 10 feet
 6. Minimum rear setback: 25 feet
 7. Maximum impervious lot coverage: 50%
 8. Minimum vegetative coverage: 20%
 9. Maximum building height: 35 feet, however, the height of any principal structure may exceed the maximum permitted height requirement by one additional foot for every one additional foot that the width of each yard exceeds the required yard and setback regulations for principal structures.
 10. Maximum number of abutting units in a row: 6
 11. No more than 2 abutting units shall have the same front building setbacks, front building lines and rooflines. The minimum variation of the front building setback and front building line between units is 4 feet.
 12. Minimum number of off-street parking spaces: 2 per dwelling unit, plus 0.5 space per unit in a common visitor compound.
- C. For multifamily dwellings (apartments) with public water and public sewer:**
1. Maximum density: 6 units per lot area
 2. Minimum lot area per dwelling unit: 2,000 square feet
 3. Minimum lot width for interior lots: 85 feet; 100 feet for a corner lot
 4. Minimum front setback: 30 feet
 5. Minimum side setback: 10 feet
 6. Minimum rear setback: 25 feet
 7. Maximum impervious lot coverage: 50%
 8. Minimum vegetative coverage: 20%
 9. Maximum building height: 35 feet, however, the height of any principal structure may exceed the maximum permitted height requirement by one additional foot for every one additional foot that the width of each yard exceeds the required yard and setback regulations for principal structures.
 10. Minimum building separation when located on the same lot:
-front to front, or rear to rear parallel buildings: 45 feet, but if the front or rear faces are obliquely aligned, the above distances may be decreased by as much as 10 feet at one end if increased by similar or greater distance at the other end.
-end wall to end wall: 25 feet, but if the buildings are at right angles to each other, the distance between the corners of the end walls may be reduced to 15 feet.
-end wall to front or rear face of building: 25 feet.
 11. Minimum multifamily dwelling building setback from interior access drive or parking facility: 15 feet
 12. Minimum number of off-street parking spaces: 2 per dwelling unit, plus 0.5 space per unit in a common visitor compound.

INDEX OF DRAWINGS

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- 10 • EXISTING LOT CONSOLIDATION DIAGRAM
- 11-14 • DETAILED SITE PLAN
- 15-19 • GRADING / UTILITY PLAN
- 20-24 • EASEMENT PLAN
- 25-28 • LANDSCAPE AND LIGHTING PLAN
- 29-37 • STREET AND PRIVATE ACCESS DRIVE PROFILES
- 38-41 • SANITARY SEWER PROFILES
- 42-54 • STORM SEWER PROFILES
- 55-57 • PERMANENT SWALE PROFILES
- 58-59 • SANITARY SEWER FORCE MAIN PROFILE
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- 61-67 • MISCELLANEOUS DETAILS AND NOTES

SHEETS 1 TO 28 ARE TO BE RECORDED

DATE :
DECEMBER 2, 2022

REVISED :
MARCH 22, 2023
SEPTEMBER 20, 2023
(PER AMERICAN WATER COMMENTS)

WAIVER/MODIFICATION REQUESTS

THE FOLLOWING WAIVERS OR MODIFICATIONS FROM THE FAIRVIEW TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE WERE APPROVED:

SECTION	DESCRIPTION	DATE OF REQUEST	DATE OF APPROVAL
*260-22.A.(7)	Pertaining to improvement of existing streets (no curbing is proposed)	6/4/2021	5/22/23
*260-22.B.(2)	Pertaining to improvement of existing streets (no curbing is proposed)	6/4/2021	5/22/23
*260-25.A.(1)	Pertaining to sidewalk location	6/4/2021	5/22/23 ****
*260-25.A.(4)	Pertaining to sidewalk construction	6/4/2021	5/22/23
260-26.C.2.(b)	Pertaining to the number of access drives per lot on street frontage	6/4/2021	5/22/23
260-35.C.2.(b)	Pertaining to Rational Method	6/4/2021	5/22/23
260-35.C.3.(b)	Pertaining to Rational Method	6/4/2021	5/22/23
*260-35.C.3.(c)	Pertaining to fencing of stormwater detention basins	6/4/2021	5/22/23
260-35.C.3.(d)	Pertaining to basin bottom slope	6/4/2021	5/22/23
260-35.C.3.(e)	Pertaining to maximum side slope of storm basin	6/4/2021	5/22/23
260-35.C.3.(f)	Pertaining to storm basin berm width	6/4/2021	5/22/23
260-35.C.3.(g)	Pertaining to emergency spillway depth	10/4/2021	5/22/23
*260-35.D.2.(g)	Pertaining to minimum pipe size	6/4/2021	5/22/23 ****

Modification Only **** Contingent on the Developer's Agreement / HOA documents assigning responsibility for maintenance of sidewalks along Spanglers Mill and Limekiln Roads to the HOA.
**** Applies only to the piping outside of a public street right-of-way AND the Developer's Agreement must identify perpetual maintenance and responsibility for the pipes outside of the right-of-way to the HOA.

THE FOLLOWING WAIVERS OR MODIFICATIONS FROM THE FAIRVIEW TOWNSHIP STORMWATER MANAGEMENT ORDINANCE WERE APPROVED:

SECTION	DESCRIPTION	DATE OF REQUEST	DATE OF APPROVAL
*260-35.D.2.(g)	Pertaining to pipe outlet end material	3/24/23	5/22/23

THE FOLLOWING WAIVERS OR MODIFICATIONS FROM THE FAIRVIEW TOWNSHIP STORMWATER MANAGEMENT ORDINANCE WERE APPROVED:

SECTION	DESCRIPTION	DATE OF REQUEST	DATE OF APPROVAL
*252-10.L	Pertaining to stormwater facility setback	6/4/2021	5/22/23
*252-17.C.(1).(b)	Pertaining to storm basin top width	6/4/2021	5/22/23
*252-17.C.(1).(c)	Pertaining to storm basin side slopes	6/4/2021	5/22/23 **
252-17.C.(1).(d)	Pertaining to basin outlet control perforations	10/4/2021	5/22/23
*252-19.D	Pertaining to rate and volume calcs. during erosion control phase	10/4/2021	5/22/23 ***

Modification Only ** Contingent on the area where there will be a 2:1 slope is required to have a six-foot high fence at the 2:1 slope portion area. The fence will need to have the mesh on the outside of the split rails.
*** Contingent on being designed for a 2-year storm event.

THIS PLAN REVIEWED BY THE YORK COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

CHAIRMAN _____

SECRETARY _____

AT A MEETING ON THE _____ DAY OF _____, 20____, THE FAIRVIEW TOWNSHIP PLANNING COMMISSION REVIEWED THIS PLAN ACCORDING TO THE REQUIREMENTS OF THE FAIRVIEW TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. THIS CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL BY THE FAIRVIEW TOWNSHIP BOARD OF SUPERVISORS.

CHAIRMAN _____

VICE CHAIRMAN _____

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE FAIRVIEW TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

JOHN K. MURPHY, P.E., P.L.S. DATE 11/13/23

UTILITY LISTING FOR FAIRVIEW TOWNSHIP

- WATER SERVICE: PENNSYLVANIA AMERICAN WATER, 852 WESLEY DRIVE, MECHANICSBURG, PA 17055. CONTACT: JEFF HORTON. EMAIL: Jeff.Horton@amwater.com
- SANITARY SEWER: PENNSYLVANIA AMERICAN WATER, 852 WESLEY DRIVE, MECHANICSBURG, PA 17055. CONTACT: JEFF HORTON. EMAIL: Jeff.Horton@amwater.com
- TELEPHONE: VERIZON PENNSYLVANIA LLC, 1028 HAY STREET, PITTSBURGH, PA 15221. CONTACT: DEBORAH BARUM. EMAIL: deborah.d.dellio@verizon.com
- PETRO GAS: BUCKEYE PARTNERS FIVE TEK PARK, 9999 HAMILTON BOULEVARD, BREININGVILLE, PA 18031. CONTACT: DAVE JONES. EMAIL: djones@buckeye.com
- PETRO GAS: ENTERPRISE PRODUCTS, 9420 W. SAM HOUSTON PARKWAY N, HOUSTON, TX 77064. CONTACT: RIKI PARKS. EMAIL: rpkarks@eprod.com
- ELECTRIC: FIRSTENERGY CORP, 76 S. MAIN STREET, AKRON, OH 44308. CONTACT: OFFICE PERSONNEL
- ELECTRIC: PPL ELECTRIC UTILITIES CORPORATION, 503 NEW MARKET STREET, WILKES BARRE, PA 18702. CONTACT: MARK SANITAYANA. EMAIL: mcsanitaryan@pplweb.com
- CABLE: COMCAST, 4801 SMITH STREET, HARRISBURG, PA 17109. CONTACT: MICHAEL SWEIGARD. EMAIL: mike_sweigard@cable.comcast.com
- GAS: UGI UTILITIES INC., 1301 AIP DRIVE, MIDDLETOWN, PA 17057. CONTACT: CHESTER WENTZ. EMAIL: cwentz@ugl.com

COMMONWEALTH OF PENNSYLVANIA COUNTY OF York

ON THIS 12 DAY OF October, 2023 BEFORE ME THE UNDERSIGNED, PERSONALLY APPEARED, WHO BEING DULY SWORN ACCORDING TO LAW, DISPOSES AND SAYS THAT THEY ARE THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW AND THEY ARE AWARE OF, AND WILL BE RESPONSIBLE FOR, OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES, AND THEY ARE TO BE A PERMANENT FIXTURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE TOWNSHIP, AND THAT A EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE YORK COUNTY CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

THIS PLAN APPROVED BY THE BOARD OF SUPERVISORS OF FAIRVIEW TOWNSHIP THIS 24th DAY OF June, 2023.

CHAIRMAN [Signature] DE LAURENCE OX

SECRETARY [Signature] DONALD F. MARTIN

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN INFORMATION HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE FAIRVIEW TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

JOHN K. MURPHY, P.E., P.L.S. DATE 11/13/23

I HEREBY CERTIFY THAT THE ENTIRE SITE AND ALL PROPOSED STORMWATER MANAGEMENT FACILITIES ARE UNDERLAIN BY CARBONATE GEOLOGY/LIMESTONE.

JOHN K. MURPHY, P.E.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND DATE ABOVE WRITTEN.

OWNER: SIENNA FEE SIMPLE, LLC, BRYCE BURKENTINE, MEMBER

NOTARY PUBLIC: AMANDA L. LAUGHMAN, My Commission Expires February 19, 2024, Commission Number 1364692

THIS PLAN REVIEWED BY THE TOWNSHIP ENGINEER OF FAIRVIEW THIS 20th DAY OF October, 2023, AND I HAVE REVIEWED AND HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF TOWNSHIP ORDINANCE NO. 2012-5.

TOWNSHIP ENGINEER: [Signature] W. ANTHONY BITNER, P.E.

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH ARTICLE VII, DRAINAGE AND STORMWATER MANAGEMENT, OF THE FAIRVIEW TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

JOHN K. MURPHY, P.E., P.L.S. DATE 11/13/23

RECORDED: NOVEMBER 28, 2023
INSTRUMENT NUMBER: 2023045949

MY COMMISSION EXPIRES February 19, 2024

RECORDED: NOVEMBER 28, 2023
INSTRUMENT NUMBER: 2023045949

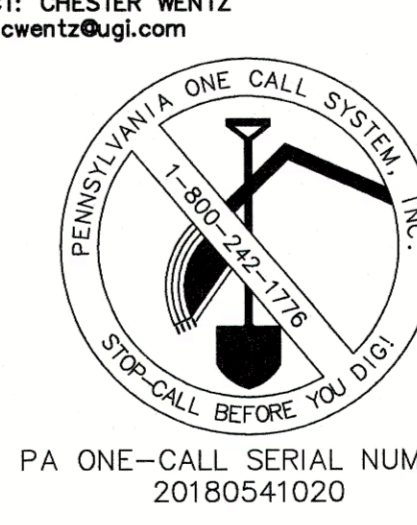
JOHN K. MURPHY, P.E., P.L.S. DATE 11/13/23

JOHN K. MURPHY, P.E.

GENERAL NOTES

1. The purpose of this plan is to combine several existing lots into one tract, then develop Phase 1 of a planned community with a residential development of mixed housing types. The Preliminary Subdivision and Land Development Plan was approved by the Fairview Township Board of Supervisors on March 28, 2022.
2. A portion of this site is subject to the Seneca River Corridor Overlay (SRCO) Zoning District, Section 300-27 of the Township Zoning Ordinance. The district extends 100 feet from the top of stream bank of Yellow Breeches Creek as depicted herein. No development is proposed within the overlay district with the exception of possible private paved and unpaved recreational trails.
3. A portion of this site is subject to the Floodplain Overlay (FPO) Zoning District. No development, filling or earth disturbance is proposed within the overlay district.
4. This site is subject to the Airport Overlay (APO) Zoning District. No proposed building or structure shall exceed the 75 feet in height from surrounding ground level. PennDOT Form AV-57 will be filed with the Bureau of Aviation for clearance.
5. The following non-conformities exist on this property: multiple fence locations are within 5 feet of the property line.
6. All existing pasture fences internal to the site shall be removed.
7. The locations of underground utilities shown should be considered approximate, and horizontal location, vertical location and size shall be verified by the site contractor.
8. Yellow Breeches Creek and the two intermittent tributaries on this site are designated by PA DEP as cold water fisheries (CWF). These streams have no listed impairments.
9. See a Traffic Impact Study prepared by Alpha Consulting Engineers, Inc.
10. See a Carbonate Assessment report prepared by Read & Associates, LLC, for evaluation of geology on this site.
11. No covenants are proposed other than what is shown on this plan and the planned community documents associated with this project.
12. The phasing of this project is subject to change over time, subject to approval by the Fairview Township Board of Supervisors.
13. The developer and their contractor(s) must comply with section 260-35.1(1) of the Township Subdivision and Land Development Ordinance pertaining to scheduling of inspections and Township right of entry for inspection.
14. Sienna Boulevard shall be offered for dedication to Fairview Township as a public street. Additional right-of-way along Limekiln Road and Spanglers Mill Road shall be offered for dedication to Fairview Township.
15. All proposed access drives shall be owned and maintained by the developer until ownership and maintenance is transferred to a homeowners association.
16. The proposed public walk easement is for pedestrian and non-motorized bicycle use only, by the public across this property, in lieu of typical sidewalks in the street right-of-way. The lot owner and/or homeowners association shall be responsible for maintenance of the path.
17. For each single family attached dwelling (townhouse) building, no more than two consecutive (2) units shall have the same front building setback, front building line, and roofline. The minimum variation of the front building setback and front building line shall be (4) feet. In addition, each single family attached dwelling unit shall be distinguished from the abutting single family attached dwelling, in some appropriate manner, such as by varying unit width, use of different exterior materials, or varying arrangement of entrances or windows. Compliance shall be reviewed by the Township at the time of building permit application.
18. Proposed sanitary sewer gravity mains, force main and sewage pumping station will be offered for dedication to Pennsylvania American Water as a public sewer system.
19. Proposed water mains within street rights-of-way will be offered for dedication to Pennsylvania American Water as a public water system. Fire hydrants located within dedicated and accepted street rights-of-way shall be public hydrants owned by Pennsylvania American Water. All other fire hydrants shall be private.
20. Concrete monuments will be set where shown. All other unmarked lot corners shall be marked with iron pins, except lot corners located within Yellow Breeches Creek. Monuments and markers shall be set per Section 260-31 of the S.A.L.D.O.
21. After final grading is complete, monuments and markers shall be set per Section 260-31 of the S.A.L.D.O.
22. A building permit is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1241, No. 428). No building permit will be issued for any lot or parcel which will require access to a state highway until authorized by a Pennsylvania Department of Transportation Highway occupancy permit.
23. All proposed public street lights along Sienna Boulevard, Limekiln Road and Spangler Mill Road shall meet Fairview Township specifications, and shall be owned and maintained by the Township.
24. Street / access drive name signs shall be placed at all intersections and shall be visible from both directions. The type of sign and the location shall be approved by the Township Board of Supervisors, per section 260-25.C. of the subdivision and land development ordinance.
25. The developer shall pay a recreation fee per new dwelling unit, in lieu of providing park and recreation land, to be paid at the time of recording of the Final Plan for each phase. No lands or facilities are proposed for public recreation.
26. Each proposed individual detached single family unit shall have a minimum of two off-street parking spaces on a garage and/or in the paved driveway in front of the garage.
27. Impervious coverage for lot impervious coverage calculation and stormwater management design is based upon the proposed features shown on this plan, including the building outlines, driveways, parking lots, patios and walks. For the stormwater management calculations for this project, the following impervious assumptions are made for each individual single family detached home:
-3,000 square feet for the house footprint;
-100 square feet behind the house for a patio;
-50 square feet in front of the house for walks / stoop.
-driveways as shown on the site plan.
28. Within clear sight triangles shown at street intersections, no obstructions to vision exceeding 36" in height above the street cartway grade shall be erected or maintained, except required traffic control and street identification signs, and street lights.
29. At apartment buildings central trash and recycling collection facilities are proposed. Trash collection for the remainder of the project shall be determined by the township.
30. This site is underlain with carbonate rock (limestone or dolomite). There is potential for sinkhole development, therefore, special construction procedures may apply. A professional geotechnical engineer / hydro-geologist should be retained to oversee sinkhole repairs in the event that a sinkhole materializes. Prospective home buyers should investigate the purchase of sinkhole insurance.
31. Nothing shall be built, placed, planted, set or put within the area of an easement that would adversely affect the function of the easement. No person, firm, corporation, or other entity shall block, impede the flow of, alter, construct any structure, or place any other improvement in a sanitary sewer or drainage easement other than what is depicted on this plan or otherwise approved by Fairview Township.
32. The developer or subsequent homeowners association may restrict vehicular parking at their discretion, to one side of a private access drive, which would be restricted with 'no parking this side' signage. The Township shall not be responsible for enforcement of parking restrictions on private access drives.
33. Any landscaping within islands located within a street or access drive shall be owned and maintained by the developer until maintenance responsibility is transferred to a homeowners association. Fairview Township shall not be responsible for any damage to the plantings for any reason. The Township may trim or remove plantings if deemed necessary for visibility and public safety.
34. No basements or exposed lower floor levels are guaranteed to have gravity sewer service.
35. Any construction and earthmoving within the Enterprise / Sinclair pipeline right-of-way must be approved by the pipeline company.
36. Mail delivery, and location of common mailbox areas, shall be determined by the United States Postal Service.
37. All proposed stormwater management facilities not located in an accepted public street right-of-way shall be maintained by a homeowners association for the development; see the Operation and Maintenance Program. All stormwater management facilities located in an accepted Township street right-of-way shall be owned and maintained by Fairview Township.
38. An easement is hereby granted to Fairview Township to access and modify basin outlet control devices at the expense of the developer so as to function within design parameters. Fairview Township representatives shall have the right to access via drainage easements and private access drives any stormwater management BMPs proposed on this plan, at reasonable times and upon presentation of proper credentials.
39. No person shall modify, fill, damage, impair/impede, landscape, alter, or affect proper functioning of any stormwater management BMPs, facilities, areas or structures without written approval of Fairview Township, with the exception of routine and necessary maintenance of vegetation such as mowing, and erosion control or other necessary maintenance activity outlined in the operation and maintenance program for BMPs. No person, firm, corporation or other entity shall block, impede the flow of, alter, construct any structure, or place any other improvement in any drainage easement, except as approved by Fairview Township.
40. Erosion and Sedimentation Control Plan approval is required prior to the commencement of any earth disturbance activities associated with this project. General NPDES permit #PA6670542 is in effect for this site. A detailed erosion control plan will be prepared with the Final Plan for each phase, addressing the earthmoving associated with that phase; such plans must be approved by the York County Conservation District. See a separate plan set for the approved Phase 1 Erosion Control Plan.
41. The proposed sanitary sewer design and water supply design shown herein is preliminary, and shall be superseded by the final design approved by PA American Water.
42. All spot elevations are referenced to the finished ground surface unless otherwise noted. All elevations shown are referenced to a benchmark and shall be verified by the contractor at groundbreaking.
43. The contractor shall reference detailed building plans for exact building dimensions, elevations, and utility service points, which may differ from what is depicted herein.
44. It is the responsibility of the contractor to bid and perform all utility work in compliance with all applicable local and state codes and regulations.
45. The contractor shall be responsible for all fees associated with the installation, inspecting, testing and final acceptance of all proposed utilities construction.
46. Contractor shall coordinate with the appropriate utility company on the addition, removal and/or relocation of utilities and utility poles and the extension of all proposed utilities.
47. All utilities shall be installed in accordance with the specifications of the respective utility company. It is the responsibility of the contractor to ensure all utilities are installed correctly to meet project requirements whether performed by the contractor or not. Contractor to contact utility companies and coordinate utility connections, including electric and gas.
48. All storm sewer piping, underground roof drains, and connections to be watertight, unless otherwise indicated.
49. The removal of any sub-surface disposal systems and/or well abandonment shall comply with all local, State and Federal regulations. The developer or contractor is responsible for obtaining necessary permits for this work.
50. Crosswalks shall be applied to the final pavement wearing course and shall be white thermoplastic in accordance with PennDOT TC standards.
51. All ADA accessible ramps, parking spaces shall meet applicable ADA standards. The contractor shall verify ADA compliance before placement of asphalt or concrete.
52. All fill areas for proposed structures, streets, parking lots, access drives and public utilities shall be constructed and compacted in accordance with the latest international building code, and shall be tested and confirmed by a qualified soils expert, professional engineer, geo-technical engineer or soils scientist approved by the Owner prior to installation of improvements on or in the fill. The contractor shall verify that the subgrade is prepared in accordance with the geotechnical engineer's recommendations. All unsuitable material within structural fill areas must be removed and replaced with suitable material to a depth directed by the Owner's geotechnical consultant.
53. The contractor and home builder are responsible for maintaining positive drainage away from all buildings. The finish grade around each building foundation must be a minimum of eight (8) inches below the finish floor elevation, or provide the minimum vertical separation distance required by the local building code. All finish grade previous surfaces shall be graded away from the building at a minimum of five (5) percent for the first ten (10) feet, or as required by the local building code. All finish grade impervious surfaces shall be graded away from the building at a minimum of two (2) percent for the first ten (10) feet, or as required by the local building code. The contractor and/or home builder shall set the final building elevation accordingly. Floor elevations shown herein are approximate.
54. All first floor elevations must be set a minimum of 1.5 feet above the calculated 100-year water surface elevation of any adjacent stormwater retention or detention facility.
55. All public improvements construction shall conform to the requirements of Fairview Township, unless specific waivers are granted.
56. Any non-public or non-regulated improvements shown on this plan, such as recreation and community center features, but not specifically detailed shall be selected and coordinated by the developer or their representative.
57. Limekiln Road and Spanglers Mill Road are classified as collector streets by the Fairview Township Comprehensive Plan as found on Map 5, dated June, 2010.
58. No building permit will be issued until the Township Engineer has verified the sight distance and roadway access safety.
59. No direct vehicular motorized access to Spangler Mill Road or Limekiln Road shall be permitted other than what is shown on this plan.
60. The island within Sienna Boulevard shall be owned and maintained by the developer until transferred to a homeowners association. It shall be used only for project signage and landscape amenities. It shall not be a building lot.
61. The receiving streams, the Yellow Breeches and the two unnamed tributaries to it within this site, are designated as cold water fisheries (CWF) by Chapter 93. All development on this site shall comply with the performance standards for all uses, as listed and described in zoning ordinance section 300-46, for uses including vibration, noise, air pollution, odors, water pollution, heat, public nuisances, and outdoor lighting.
62. All proposed signs on this site must comply with Article IV of the zoning ordinance.
63. As-built plans are required as described in section 260-35.F. of the Township subdivision and land development ordinance upon completion of all required improvements and prior to release of the performance bond.
64. All storm sewer construction shall be in accordance with the latest editions of PennDOT Publications 408 and 72, as applicable.
65. Patios, terraces, decks and other similar uncovered (at any point) structures, provided the structure elevation shall not be more than three feet above grade, may extend into any required rear or side yard and/or side setback and rear setback not more than five feet, as long as there is a minimum of five feet remaining between the structure and the lot line.
66. All stormwater management facilities that are part of phase 1 must be converted to the permanent stormwater configuration / design and permanently stabilized once the location is no longer needed as a temporary erosion control BMP. No phase 1 stormwater facilities shall be used as phase 2 construction erosion control BMPs.
67. The Preliminary Subdivision and Land Development Plan for Sienna was conditionally approved by the Fairview Township Board of Supervisors on March 28, 2022, subject to the following conditions:
A. A copy of a plan mylar and three paper copies of the plan with the required signatures and seals.
B. Certification of ownership and statement should be completed, signed and notarized. The notary's seal of the notary's stamp and the notary's signature cannot be touching any other text or lines on the plan.
C. The notary seal on the plans must be clear enough for the Recorder of Deeds scanning instrument to be able to reproduce the seal. The seal cannot be touching any other text or lines on the plan.
D. The registered professional surveyor or engineer's seal, signature and date of plans, who is certifying the accuracy of the plan, must be present.
E. All signatures have to have a printed name beside or below the signature.
F. The signers of the plan must sign the plan as their name appears on the plan; this would include any suffixes (Jr., Sr., I, II, III).
G. If the signers of the plans are owners or officers of a company or corporation, their title with the company or corporation must be declared beside their signatures.
H. The notary statement "On this date before me the undersigned personally appeared ..."; this statement must include the printed name for the signer(s).
I. Payment of any outstanding Township Engineer's plan review fees. An invoice will be forthcoming.
J. Compliance with the Township Staff memo, dated November 27, 2021.
K. Compliance with Rettew memo, dated December 6, 2021.
L. Compliance with McMahon Associates comments, dated March 28, 2022.
M. A signed and completed copy of the Letter of Acceptance.

ALPHA CONSULTING ENGINEERS, INC.
PLANNING • ENGINEERING • SURVEYING
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NEW CUMBERLAND, PA 17070
PHONE: (717) 770 - 2500
FAX: (717) 770 - 2400
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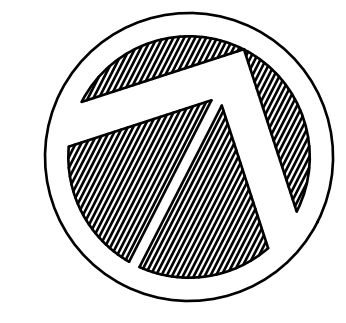
PA ONE—CALL SERIAL NUMBER 20180541020

TENTATIVE PHASING SCHEDULE

PHASE	TENTATIVE START/STOP SCHEDULE	NUMBER OF DWELLINGS/UNITS
1	2023-2024	356
2	2025-2028	299
TOTAL		655

NO.	DATE	DESCRIPTION	BY
9/20/23	PER REVIEW PAWC COMMENTS	SRR	
5/31/23	PER REVIEW PAWC COMMENTS	SRR	
4/18/23	PER REVIEW PAWC COMMENTS	SRR	
3/22/23	PER REVIEW COMMENTS	BKK	

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22



OVERALL PROJECT DATA:

- Net tract area: 4,786,780.16 square feet, or 109.89 acres.
- Proposed total number of dwelling units: 655
- Proposed uses:
 - 62 single family detached dwellings.
 - 125 single family attached (townhouse) dwelling units.
 - 168 multifamily (apartment) dwelling units.
 - accessory community center with private recreation facilities for the overall development.
- Proposed lot area per dwelling unit: 7,308 square feet.
- Proposed impervious lot coverage: 21.3 acres, or 42.3% of the lot.
- Proposed vegetative coverage: 29.08 acres, or 57.7% of the lot.
- Required off-street parking:
 - 2.5 spaces per townhouse or apartment dwelling unit (including visitor parking) = (299x2.5) 733 spaces
 - 2 spaces per single family detached unit = 124 spaces required.
 - Total of 857 parking spaces required.
- Provided parking:
 - 125 townhouse units each have a minimum of 2 parking spaces either in the garage and/or the driveway outside the garage of each unit = 250 spaces minimum.
 - Each of the 62 detached dwelling unit has minimum 2 parking spaces either in the garage and/or driveway outside of the garage = 124 spaces minimum.
 - 735 designated parking spaces are provided in common parking areas scattered throughout the lot.
 - Total number of parking spaces provided: 1109
 - The townhouse and apartment units must have 0.5 space per unit for visitor parking in a common lot(s) = (293 x 0.5) 147 spaces. 735 common spaces are available in the area of the townhouses and apartments after the 2 spaces per apartment unit is accommodated.
 - Visitor parking is accommodated in common lots scattered throughout the lot.
 - Note that 35 of the provided parking spaces are in freestanding common garages.

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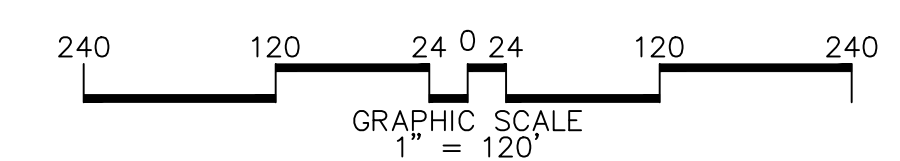


SEAL

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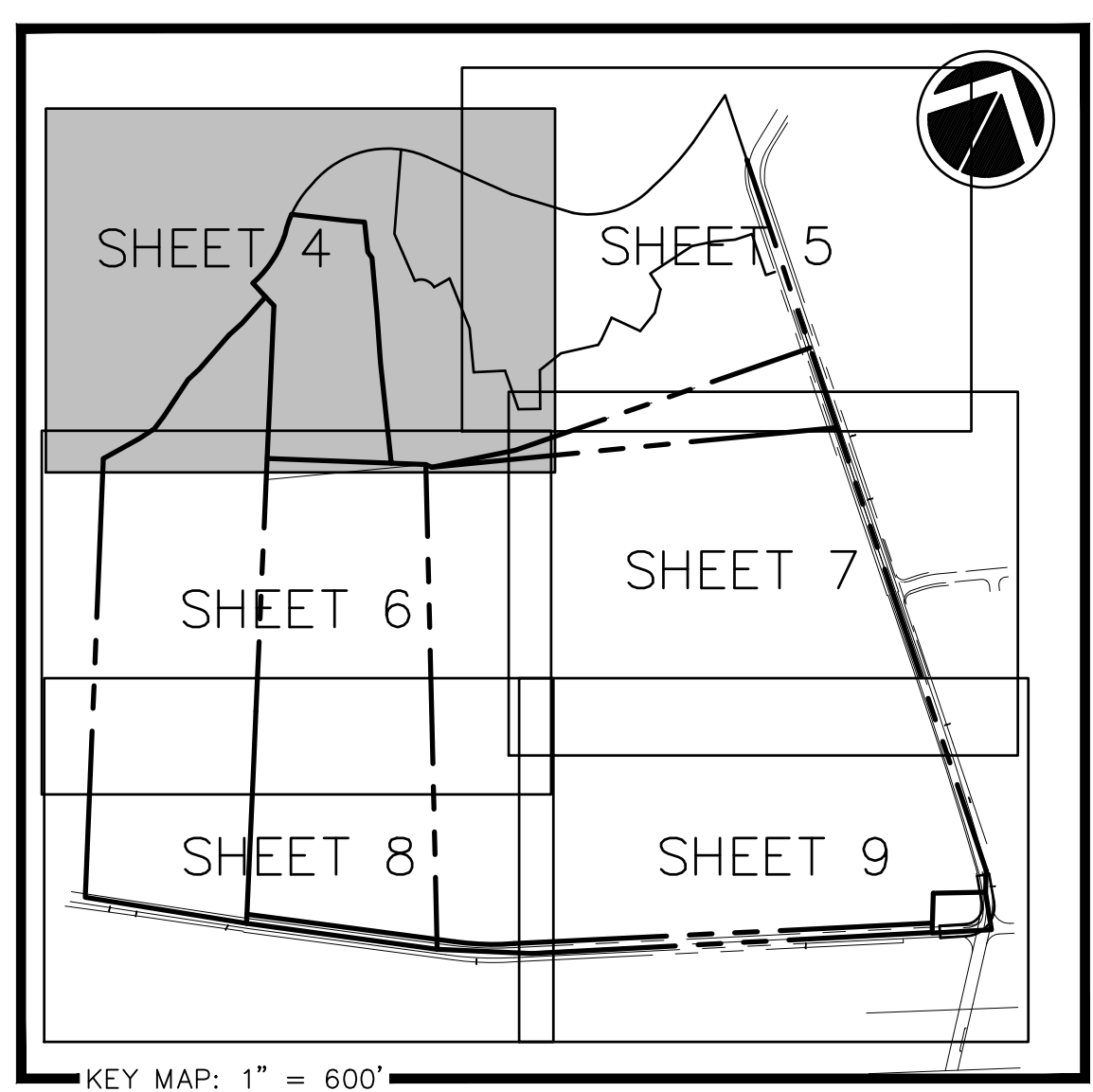
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
OVERALL PROJECT DIAGRAM
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
319582
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 DWS: I:\Data\319582.dwg\319582.dwg
 FILE: 02-0A.DWG
 SHEET **2** of **67**



LEGEND

- Property Line
- Adjoining Property Line
- Existing Right of Way Line
- Easement Line
- Existing Curb Line
- Existing Pavement Edge
- Existing Edge Of Water
- Existing Contour
- Existing Spot Elevation
- Existing Mailbox
- Existing Sign
- Existing Fire Hydrant
- Existing Light Standard
- Existing Utility Pole With Guy Wire
- Existing Storm Sewer Inlet/Pipe
- Existing Sanitary Manhole/Line
- Existing Gas Valve/Line/Pipeline
- Existing Water Valve/Line
- Existing Overhead Electric Line
- Existing Underground Electric Line
- Existing Fence Line
- Existing Tree/Brush Line
- Township & County Boundary Line (Approximate)
- 100 Year Floodplain/Water Surface Elevation
- 500 Year Floodplain Limit
- Regulatory Floodway Limit
- NRCS Soil Boundary Limit
- Soil Test Site; Identification #
- Existing Tree
- Existing Rip-Rap Rock
- Existing Property Corners
- (On-Site)
- Natural 15% Or Greater Slopes

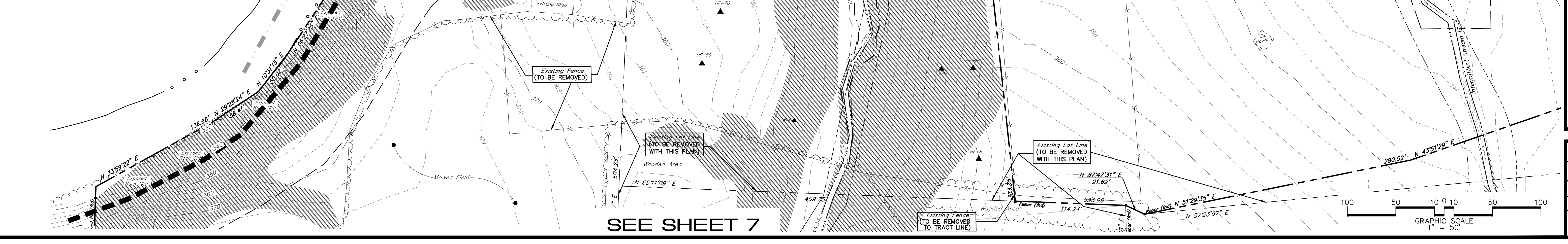


SOIL SYMBOL	SOIL LIMITATIONS PER S.C.S. SOIL SURVEY	CONTRACTOR RESOLUTIONS OF SOIL LIMITATIONS
CKA	outcrops cone, easily erodible, depth to saturated zone/seasonal high water table, low strength, slow permeation, piping, poor source of topsoil, frost action, alkali-swell, potential sinkhole, wetness	<ul style="list-style-type: none"> Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots, and other objectionable material. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures, and conduits, etc. shall be compacted in accordance with local requirements or codes. All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness. All materials shall be free of frozen particles, brush, roots, soil, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills. Frozen materials or soil, muck, or highly compressible materials shall not be incorporated into fills. Fills shall not be placed on saturated or frozen surfaces. Slopes or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method. Proposed grading shall be compacted with equipment, in layers, per standard construction practices to ensure that placed soil is light and strong. Soil with significant clay content shall be proof rolled. Any unsuitable material shall be removed and replaced with adequate subgrade / subbase. Proposed grading will fill low spots where development will occur. Slopes shall be re-graded, then stabilized with topsoil, seed and mulch, and matted if steep. Topsoil can be imported from other sources, as it is readily available in the area. Percolation tests in areas to be used for stormwater management were tested, and percolate adequately. A sinkhole mitigation detail is provided should a sinkhole appear. In general, there are no unusual site characteristics here that are unlike those found elsewhere in the region where similar soils are present. No special construction methods or procedures seem necessary.
DuC	outcrops cone, easily erodible, low strength, slow permeation, piping, poor source of topsoil, alkali-swell, potential sinkhole, wetness	
DwD	outcrops cone, easily erodible, low strength, slow permeation, piping, poor source of topsoil, alkali-swell, potential sinkhole, wetness	
EKB	outcrops cone, easily erodible, low strength, slow permeation, piping, poor source of topsoil, alkali-swell, potential sinkhole, wetness	
Lw	outcrops cone, flooding, depth to saturated zone/seasonal high water table, low strength, slow permeation, piping, frost action, potential sinkhole, wetness	

SOIL SYMBOL	SOIL DESCRIPTION	SLOPE (%)	DEPTH TO HIGH WATER TABLE PER S.C.S. SOIL SURVEY	DEPTH TO BEDROCK PER S.C.S. SOIL SURVEY	HYDROLOGIC SOIL GROUP
CKA	Clarksburg Silt Loam	0-3	1.5'-3'	5'+	C
DuC	Duffield Silt Loam	8-15	6'+	5'+	B
DwD	Duffield and Hagerstown Silt Loams	15-25	6'+	5'+	B
EKB	Elk Silt Loam	3-8	6'+	5'+	B
Lw	Lindside Silt Loam	0-3	1.5'-3'	5'+	C

EXISTING CONDITION NOTES :

- BETWEEN JUNE 21 AND JULY 17, 2018 ALPHA CONSULTING ENGINEERS, INC. PERFORMED FIELD INVESTIGATIONS PER THE U.S. ARMY CORPS OF ENGINEERS' EASTERN MOUNTAINS AND REDMONT REGION REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL. ALPHA CONSULTING ENGINEERS, INC. DETERMINED THAT THERE ARE NO ESTABLISHED WETLANDS OUTSIDE THE BED AND BANKS OF THE MAPPED JURISDICTIONAL WATERWAYS.
- EXISTING FEATURES DEPICTED BY FIELD SURVEY BY ALPHA CONSULTING ENGINEERS, INC. COMPLETED ON MAY 31, 2018.
- THE 100 YEAR FLOOD PLAIN "ZONE AE" AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY AS TAKEN FROM FLOOD INSURANCE RATE MAP PANEL 34 OF 701, MAP NUMBER 421330034F, BEARING AN EFFECTIVE DATE OF DECEMBER 16, 2015, AND ALSO FROM RATE MAP PANEL 33 OF 701, MAP NUMBER 421330033F, BEARING AN EFFECTIVE DATE OF DECEMBER 16, 2015.
- RIGHTS OF COASTCAST OF HARRISBURG AS SET FORTH IN RECORD BOOK 1658, PAGE 2619. (TAX PARCEL 27-RE-0029) - UNABLE TO BE PLOTTED.
- RIGHTS GRANTED TO PENNSYLVANIA POWER AND LIGHT COMPANY AS SET FORTH IN RECORD BOOK M, VOLUME 99, PAGE 725. (TAX PARCEL 27-RE-0029) - UNABLE TO BE PLOTTED.
- POSSIBLE RIGHTS GRANTED TO PENNSYLVANIA POWER AND LIGHT COMPANY AS SET FORTH IN RECORD BOOK I, VOLUME 63, PAGE 650. (TAX PARCELS 27-RE-0298, 001E, 003E, & 0029A) - UNABLE TO BE PLOTTED
- POSSIBLE RIGHTS GRANTED TO UNITED ELECTRIC COMPANY AS SET FORTH IN RECORD BOOK Z, VOLUME 23, PAGE 662.
- SUBJECT TO CONDITIONS AS SET FORTH IN SUBDIVISION PLAN BOOKS RR, PAGE 943 AND INSTRUMENT # 2011056773.
- THE RIGHT-OF-WAY FOR SPANGLERS MILL ROAD (SR 4027) IS BASED ON THE FOLLOWING:
 - COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF HIGHWAYS DRAWINGS FOR CONDEMNATION OF RIGHT-OF-WAY, ROUTE NO. LR. 66028, SECTION NO. 2 DATED AUGUST 13, 1954.
 - S.L.D SHEET 1 OF 1, PAGE 196.
 - COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF HIGHWAYS CONDEMNATION OF RIGHT-OF-WAY, ROUTE NO. 66028, SECTION NO. DATED DECEMBER 28, 1936.
- VERTICAL DATUM (NAV 88) WAS ESTABLISHED BY GPS OBSERVATION. HORIZONTAL DATUM ESTABLISHED BY PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD83), SOUTH ZONE 3702. THE TOPOGRAPHIC BENCHMARK FOR THE SITE IS SHOWN ON SHEET #6. IT IS AN EXISTING CONCRETE MONUMENT WITH ELEVATION 353.22.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE.



NO.	DATE	DESCRIPTION	BY
9/20/23		PER REVIEW PAWC COMMENTS	SRR
5/31/23		PER REVIEW PAWC COMMENTS	SRR
4/18/23		PER REVIEW PAWC COMMENTS	SRR
3/22/23		PER REVIEW COMMENTS	BKK

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22

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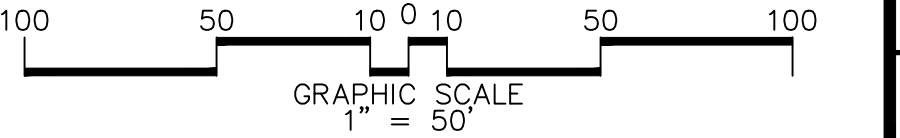
ALPHA
 ALPHA CONSULTING ENGINEERS, INC.

SEE SHEET 6

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 EXISTING FEATURES PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

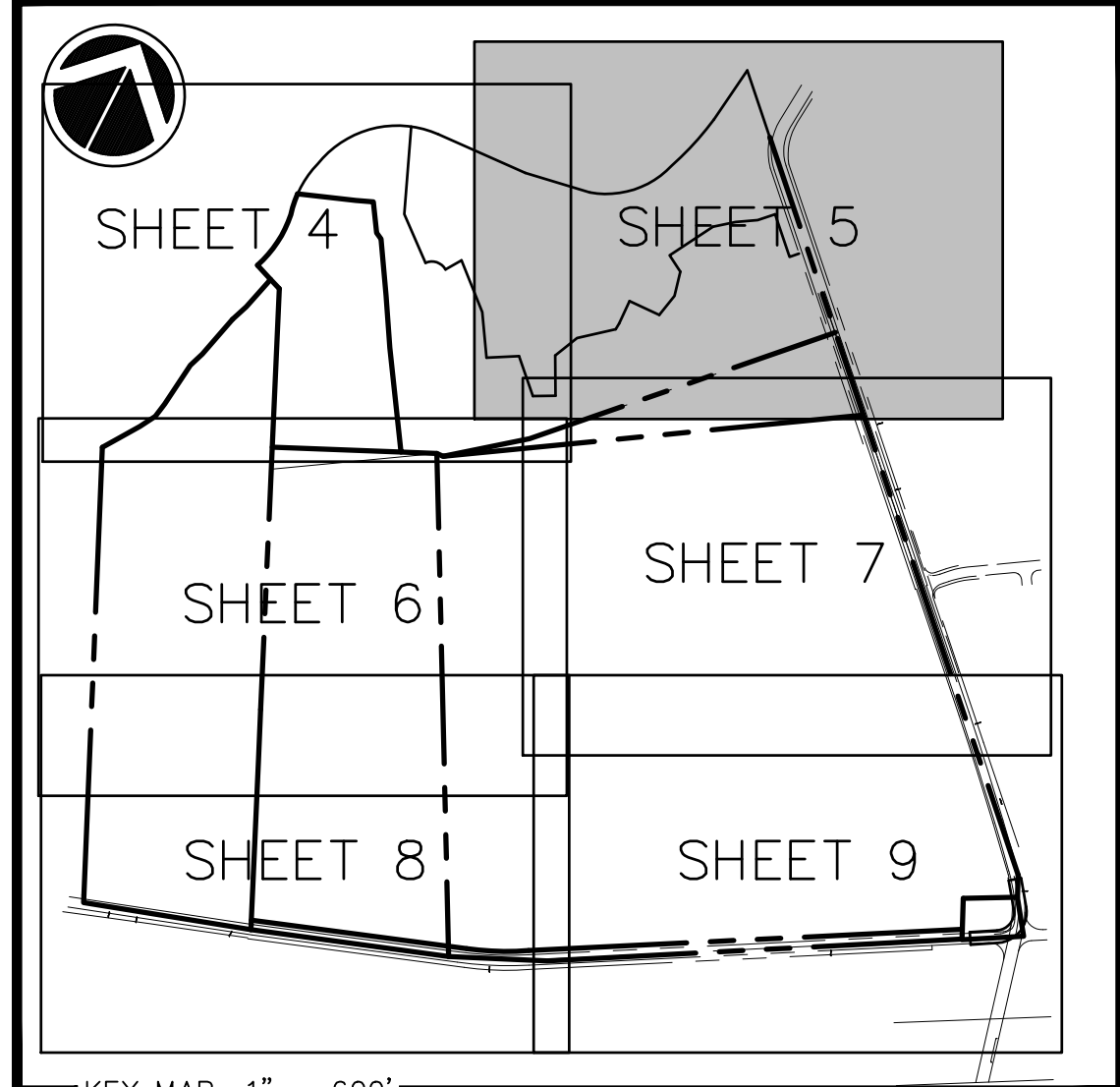
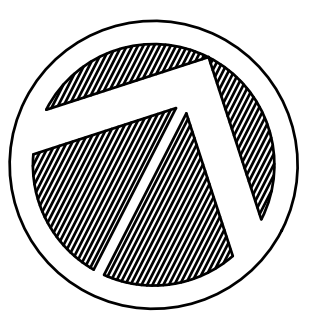
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DWG. FILE :	04-09-EX11-PARTIAL.dwg
SHEET	4 of 67

SEE SHEET 7



LEGEND	
	Property Line
	Adjoining Property Line
	Existing Right of Way Line
	Easement Line
	Existing Curb Line
	Existing Pavement Edge
	Existing Edge Of Water
	Existing Contour
	Existing Spot Elevation
	Existing Mailbox
	Existing Sign
	Existing Fire Hydrant
	Existing Light Standard
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	Existing Sanitary Manhole/Line
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	Existing Water Valve/Line
	Existing Overhead Electric Line
	Existing Underground Electric Line
	Existing Fence Line
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	500 Year Floodplain Limit
	Regulatory Floodway Limit
	NRCS Soil Boundary Limit
	Soil Test Site; Identification #
	Existing Tree
	Existing Rip-Rap Rock
	Existing Property Corners
	(On-Site) Natural 15% Or Greater Slopes

DESIGN :	T.C.S.		
DRAWN :	M.T.S.		
CHECKED :	J.K.M.		
DATE :	12/02/22		
NO.	DATE	DESCRIPTION	BY
1	9/20/23	PER REVIEW PAWC COMMENTS	SRR
2	5/31/23	PER REVIEW PAWC COMMENTS	SRR
3	4/18/23	PER REVIEW PAWC COMMENTS	SRR
4	3/22/23	PER REVIEW COMMENTS	BKK

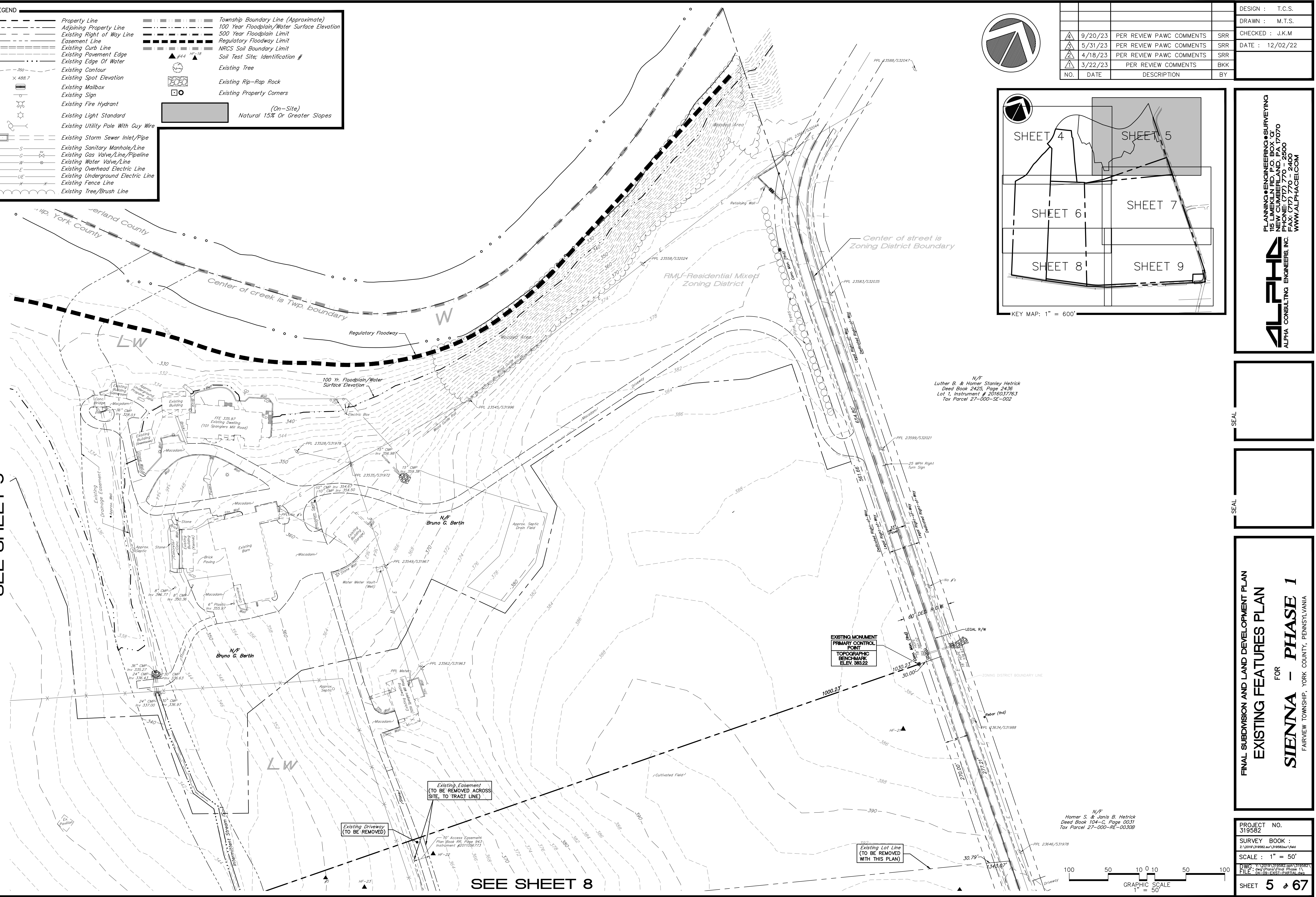


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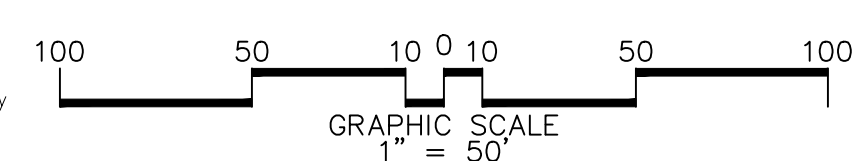
SEE SHEET 5

SEE SHEET 8



N/F
 Luther B. & Homer Stanley Hetrick
 Deed Book 2425, Page 2436
 Lot 1, Instrument # 2016037763
 Tax Parcel 27-000-SE-002

N/F
 Homer S. & Janis B. Hetrick
 Deed Book 104-C, Page 0031
 Tax Parcel 27-000-RE-00308

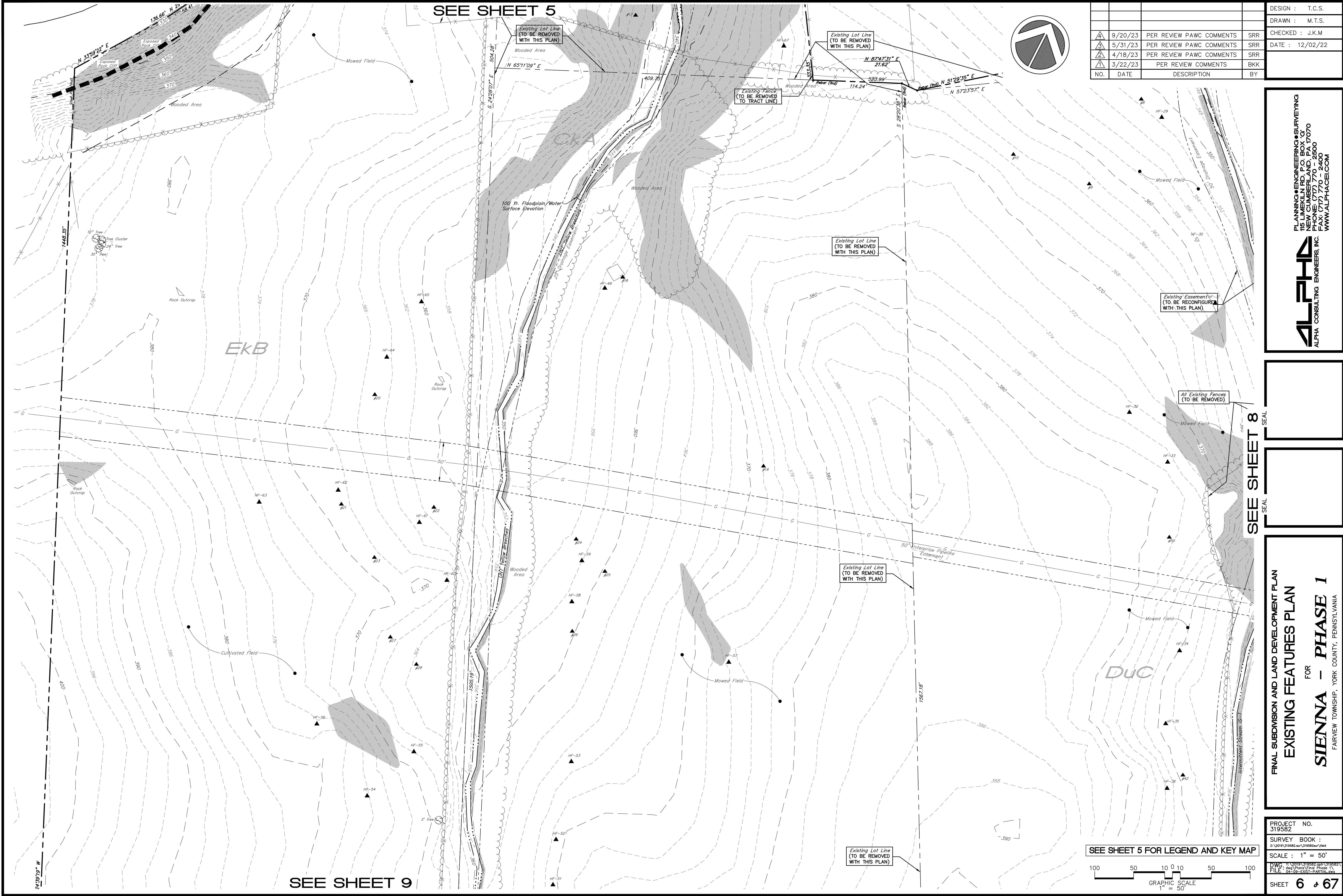


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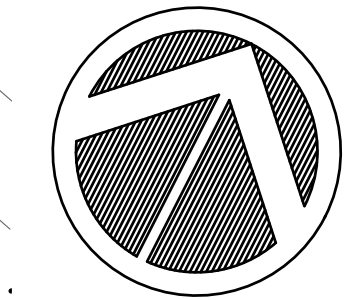
SEAL

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 EXISTING FEATURES PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
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 FILE : 04-09-2022-PARTIAL.dwg
 SHEET 5 of 67



SEE SHEET 5



NO.	DATE	DESCRIPTION	BY
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△	5/31/23	PER REVIEW PAWC COMMENTS	SRR
△	4/18/23	PER REVIEW PAWC COMMENTS	SRR
△	3/22/23	PER REVIEW COMMENTS	BKK

DESIGN : T.C.S.
 DRAWN : M.T.S.
 CHECKED : J.K.M.
 DATE : 12/02/22

PLANNING ENGINEERING & SURVEYING
 115 LIMEKILN RD., P.O. BOX 37
 NEW CUMBERLAND, PA 17070
 PHONE: (717) 770-2600
 FAX: (717) 770-2400
 WWW.ALPHA-CE.COM

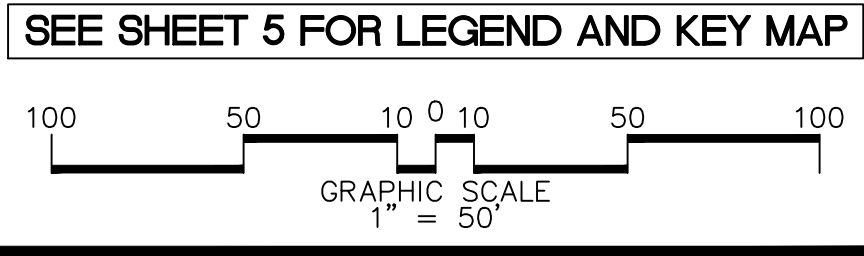
ALPHA CONSULTING ENGINEERS INC.

SEE SHEET 8

SEE SHEET 9

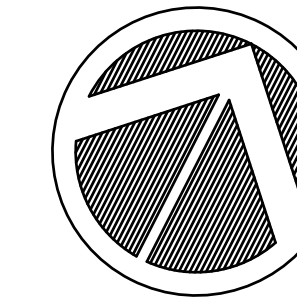
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 EXISTING FEATURES PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
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 FILE: 04-09-2023-PARTIAL.dwg
 SHEET 6 of 67



SEE SHEET 6

N/F
Homer S. & Janis B. Hetrick
Deed Book 104-C, Page 0031
Tax Parcel 27-000-RE-0030B



NO.	DATE	DESCRIPTION	BY
9/20/23		PER REVIEW PAWC COMMENTS	SRR
5/31/23		PER REVIEW PAWC COMMENTS	SRR
4/18/23		PER REVIEW PAWC COMMENTS	SRR
3/22/23		PER REVIEW COMMENTS	BKK

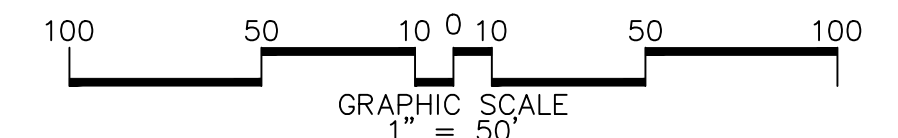
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CHECKED :	J.K.M.
DATE :	12/02/22

SEE SHEET 7

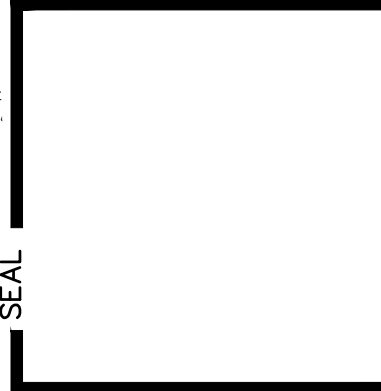
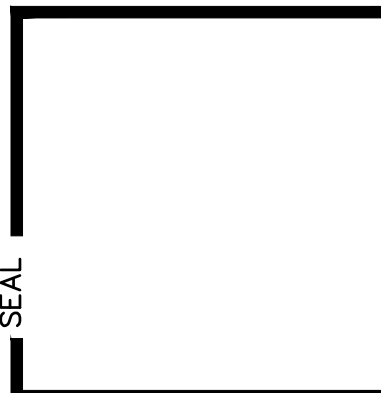
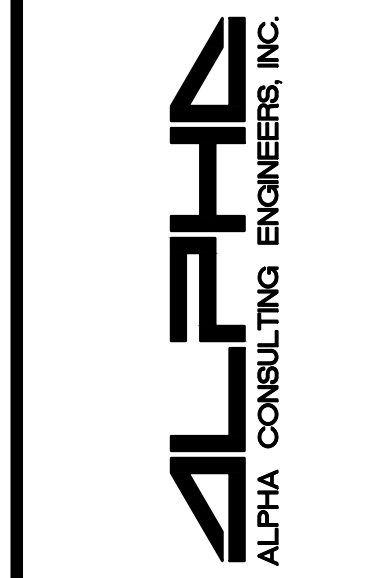


SEE SHEET 10

SEE SHEET 5 FOR LEGEND AND KEY MAP



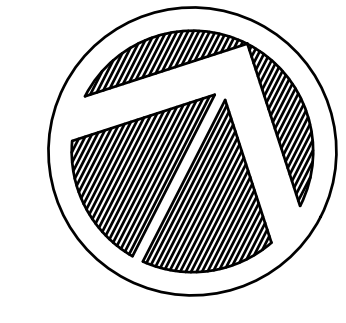
PLANNING & ENGINEERING & SURVEYING
151 LUMKIN RD., P.O. BOX 67
FAIRVIEW TOWNSHIP, YORK COUNTY, PA 17070
PHONE (717) 770-2600
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FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
EXISTING FEATURES PLAN
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SIENNA - PHASE 1
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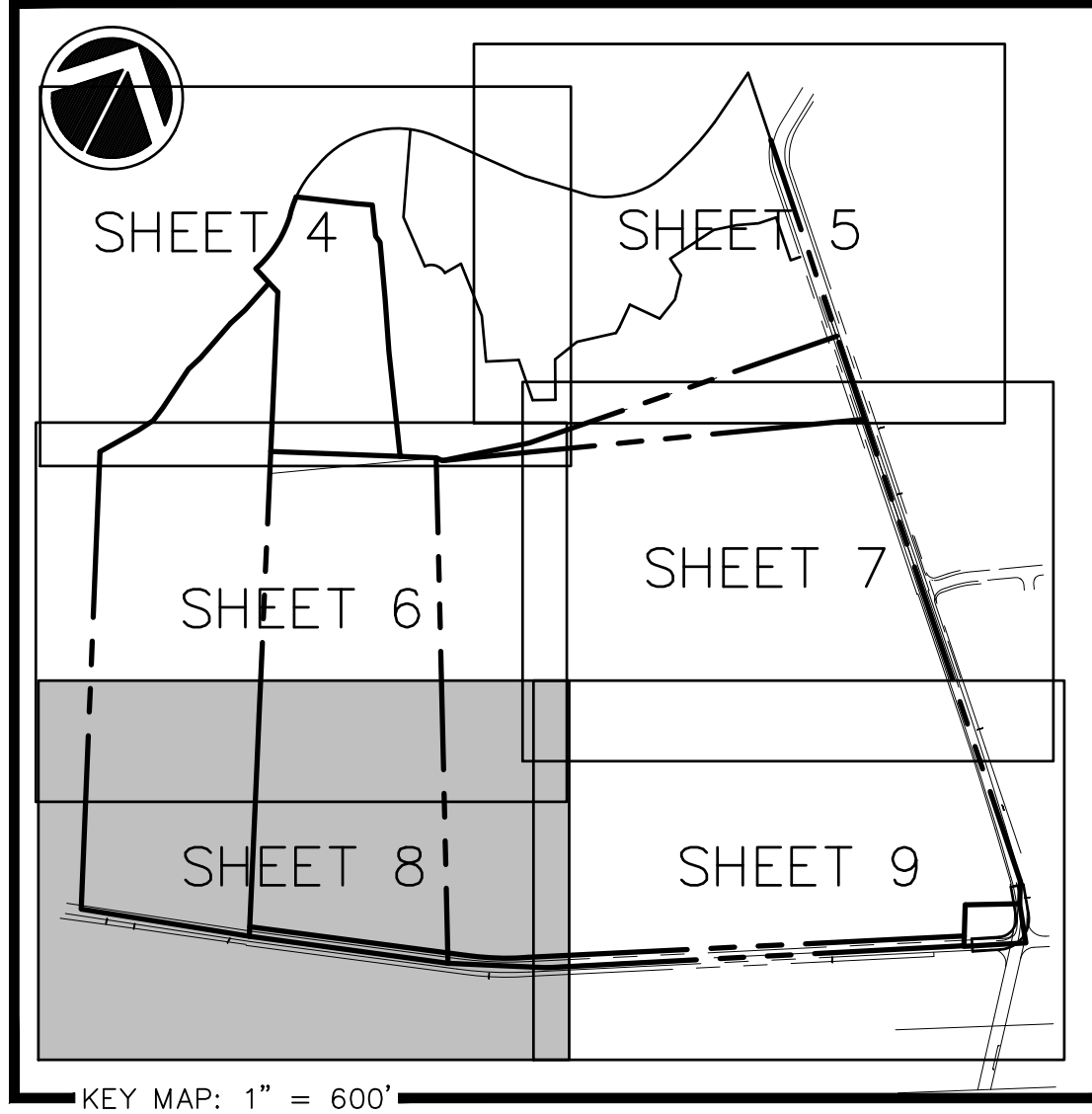
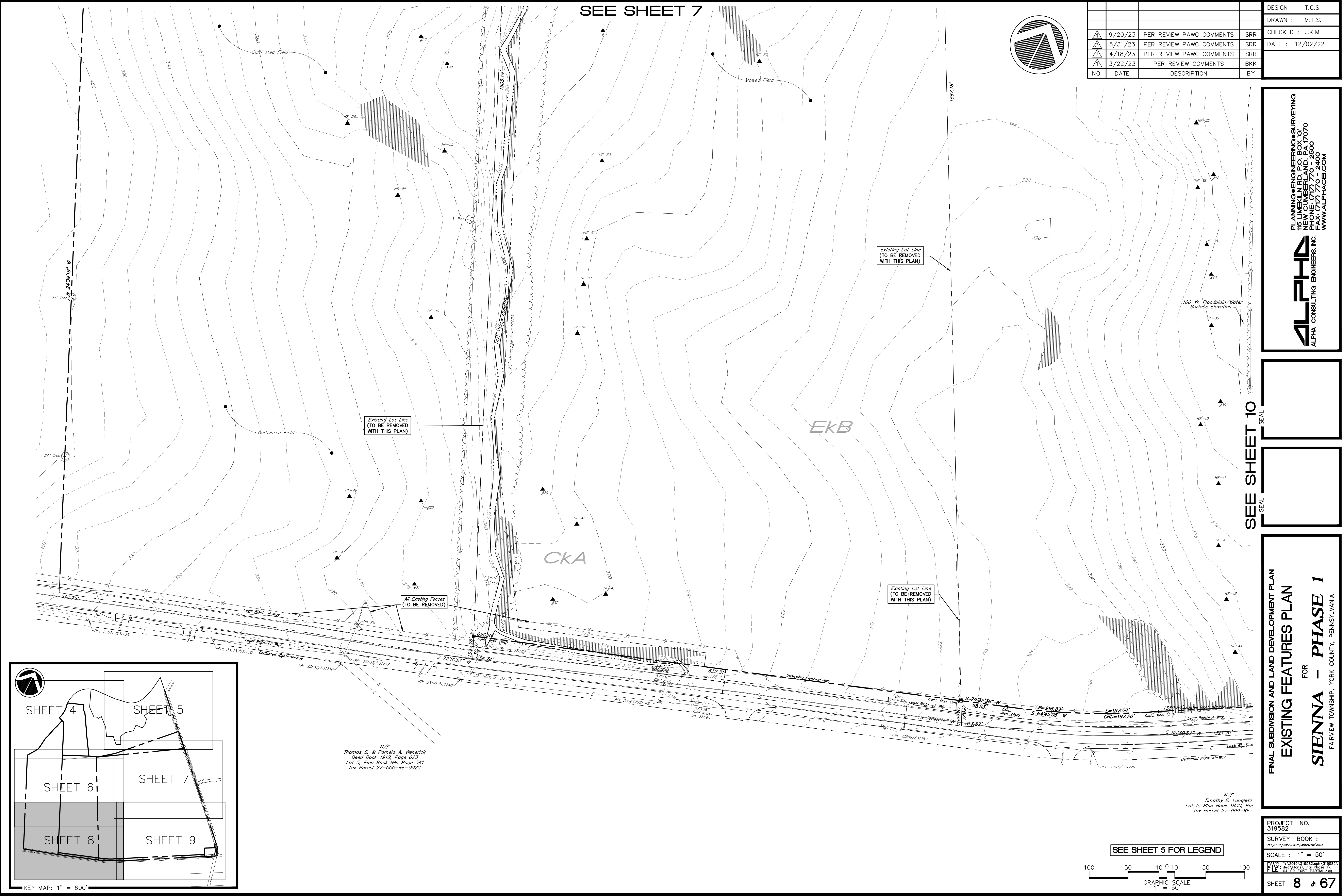
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FILE :	04-09-2023-PARTIAL.dwg
SHEET	7 of 67

SEE SHEET 7



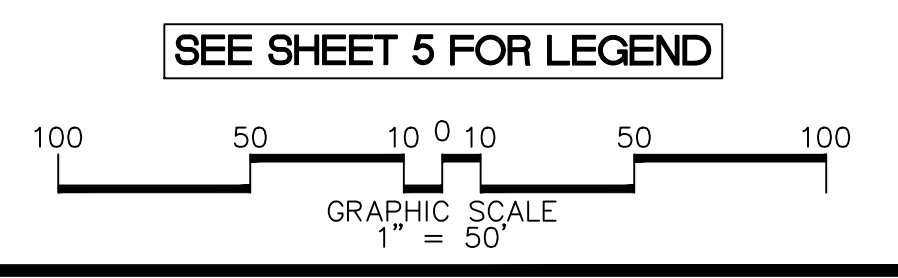
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△	4/18/23	PER REVIEW PAWC COMMENTS	SRR
△	3/22/23	PER REVIEW PAWC COMMENTS	BKK

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22



N/F
Thomas S. & Pamela A. Wenerick
Deed Book 1912, Page 623
Lot 5, Plan Book NN, Page 541
Tax Parcel 27-000-RE-0020

N/F
Timothy E. Langletz
Plan Book 1833, Page
Tax Parcel 27-000-RE-



SEE SHEET 10

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165 LIMEKILN RD., P.O. BOX 67
CUMBERS, MD. 21032
PHONE: (410) 770-2500
FAX: (410) 770-2400
WWW.ALPHA-CE.COM

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ALPHA CONSULTING ENGINEERS, INC.

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
EXISTING FEATURES PLAN
FOR
SIENNA - PHASE 1
FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

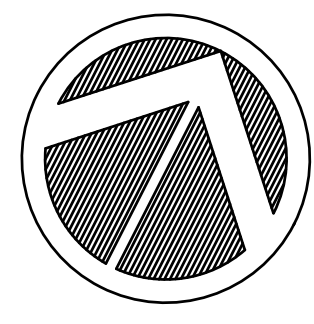
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SEE SHEET 8



NO.	DATE	DESCRIPTION	BY
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▲	5/31/23	PER REVIEW PAWC COMMENTS	SRR
▲	4/18/23	PER REVIEW PAWC COMMENTS	SRR
▲	3/22/23	PER REVIEW COMMENTS	BKK

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22



SEE SHEET 9

PLANNING ENGINEERING & SURVEYING
 115 LIMEKILN RD., P.O. BOX 37
 NEW GUMBERLAND, PA 17070
 PHONE: 717-770-2600
 FAX: 717-770-2400
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SEAL

SEAL

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 EXISTING FEATURES PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

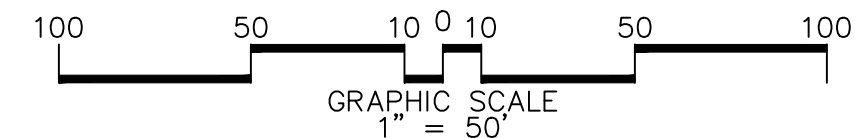
N/F
 Timothy E. Langletz
 Lot 2, Plan Book 1830, Page 2658
 Tax Parcel 27-000-RE-0131

N/F
 Bonnie Pitts, Inc.
 Deed Book 2254, Page 4848
 Lot 1, Plan Book 00, Page 684
 Tax Parcel 27-000-RE-0025N

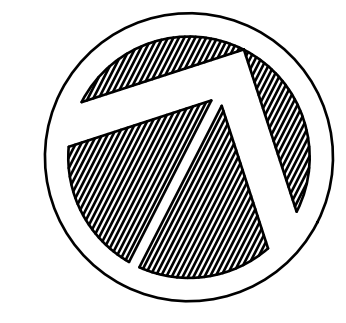
N/F
 Pennsylvania Power & Light Company
 Deed Book 62-Y, Page 079
 Tax Parcel 27-000-RE-0025D

N/F
 James E. Dougl
 Deed Book 1868, Page 079
 Lot 1, Plan Book G,
 Tax Parcel 27-000-RE-0025D

SEE SHEET 4 FOR LEGEND AND KEY MAP

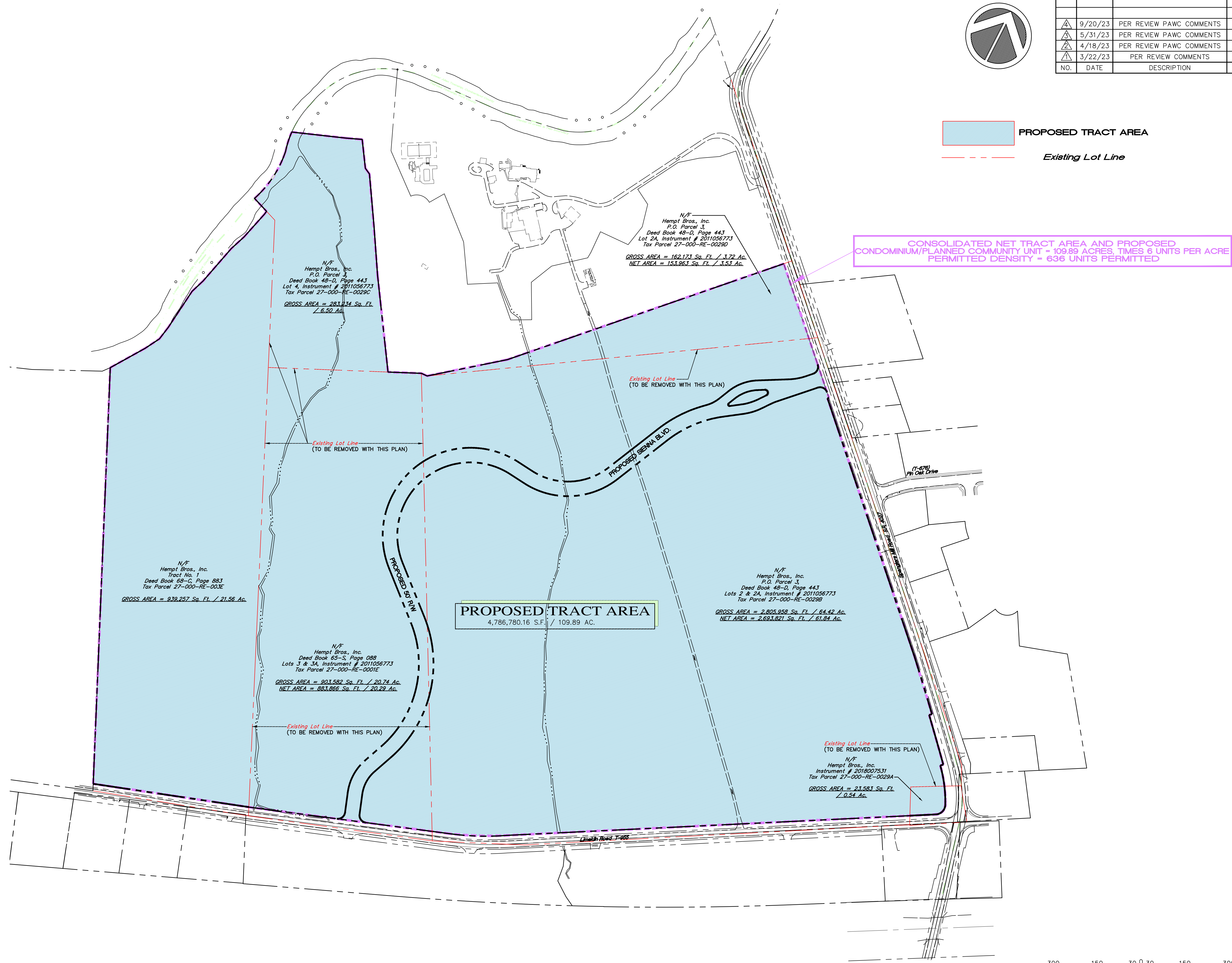


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SCALE :	1" = 50'
DWG. FILE :	04-09-EXIST-PARTIAL.dwg
SHEET	9 of 67



NO.	DATE	DESCRIPTION	BY
9/20/23		PER REVIEW PAWC COMMENTS	SRR
5/31/23		PER REVIEW PAWC COMMENTS	SRR
4/18/23		PER REVIEW PAWC COMMENTS	SRR
3/22/23		PER REVIEW COMMENTS	BKK

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22



 PROPOSED TRACT AREA
 Existing Lot Line

CONSOLIDATED NET TRACT AREA AND PROPOSED
 CONDOMINIUM/PLANNED COMMUNITY UNIT - 109.89 ACRES, TIMES 6 UNITS PER ACRE
 PERMITTED DENSITY - 636 UNITS PERMITTED

PROPOSED TRACT AREA
 4,786,780.16 S.F. / 109.89 AC.

PLANNING ENGINEERING & SURVEYING
 115 LIMEKILN RD., P.O. BOX 13
 NEW GUMBERLAND, PA 17070
 PHONE: 717.770.2600
 FAX: 717.770.2400
 WWW.ALPHAENGINE.COM

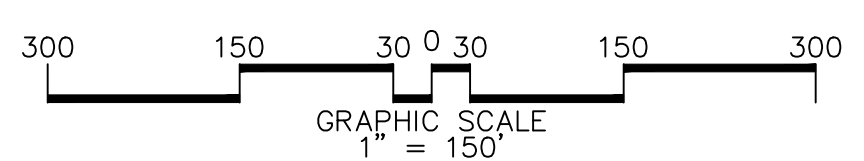
ALPHA
 ALPHA CONSULTING ENGINEERS, INC.

SEAL

SEAL

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 EXISTING LOT CONSOLIDATION DIAGRAM
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
 319582
 SURVEY BOOK :
 2/1019/319582.dwg/319582.dwg/View
 SCALE : 1" = 150'
 DWS: I:\Data\319582.dwg\319582.dwg
 FILE: 10-LOT CONSOLIDATION.dwg
 SHEET 10 of 67



LINE	LENGTH	BEARING
L1	201.82'	S48°52'23"E
L2	57.40'	S84°03'07"E
L3	20.26'	S45°37'11"E
L4	5.00'	S44°22'48"W
L5	931.72'	S45°37'12"E
L6	10.00'	S46°38'32"W
L7	10.82'	N45°42'55"E
L8	88.92'	S60°11'48"W
L9	363.72'	S45°37'11"E
L10	26.99'	N44°20'32"E
L11	107.30'	N61°01'22"E
L12	100.06'	N25°03'59"E
L13	69.60'	N19°18'17"W
L14	83.06'	S21°57'39"W
L15	69.34'	N19°18'17"W
L16	72.95'	N22°03'17"E
L17	201.82'	N48°52'23"W
L18	57.40'	S84°03'07"E
L19	216.76'	N25°03'59"E
L20	67.42'	N55°12'34"E
L21	29.78'	N36°53'02"E
L22	146.41'	N44°20'32"E
L23	29.78'	N36°53'02"E
L24	24.00'	S61°01'22"W
L25	27.01'	S24°39'12"W
L26	41.16'	N55°12'34"E
L27	303.70'	N70°32'38"E
L28	538.18'	N71°31'12"E

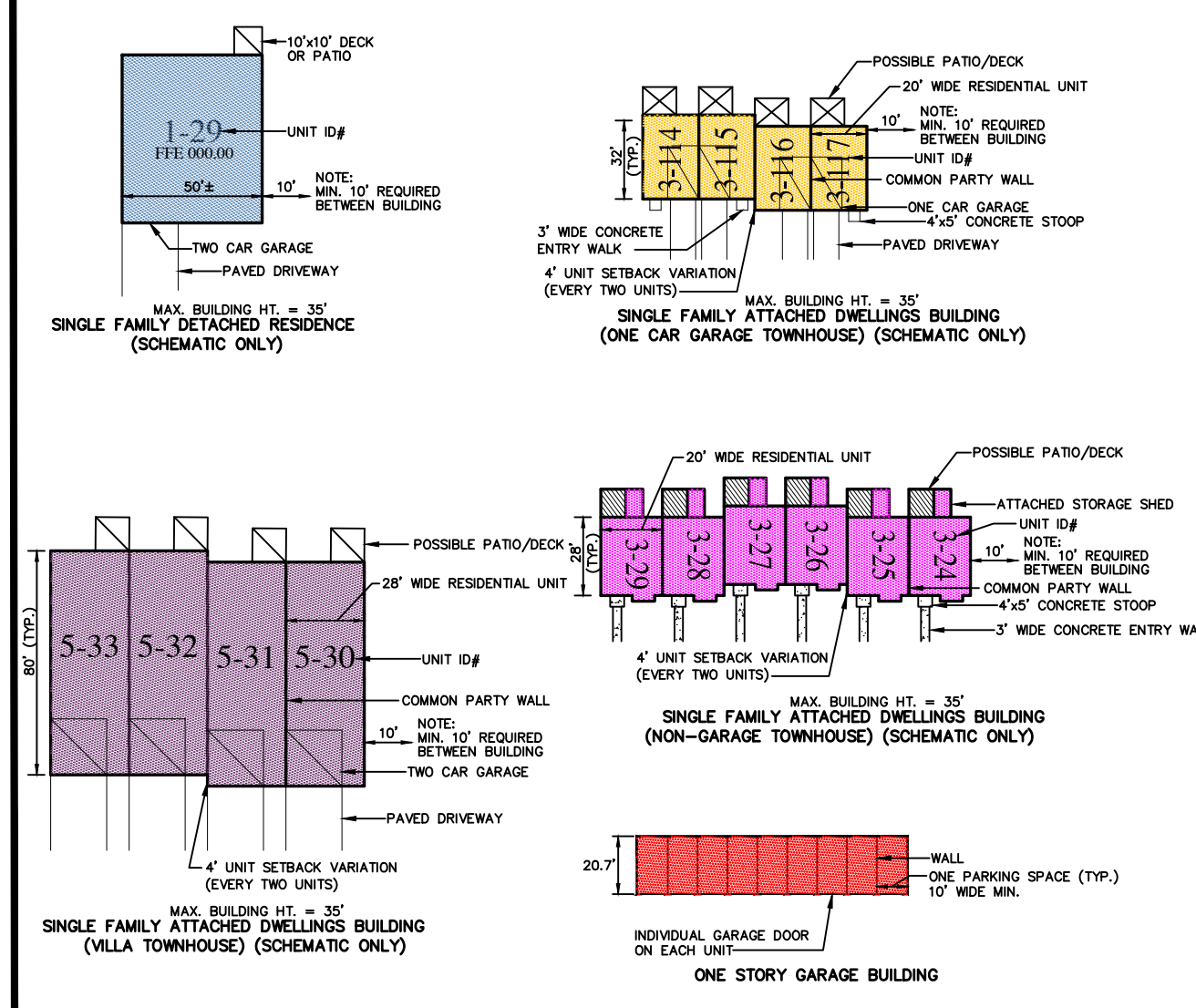
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	39.20'	25.00'	N25°37'11"E	35.31'
C2	126.33'	175.00'	S122°30'W	123.60'
C3	271.22'	375.00'	N0°12'32"W	265.35'
C4	182.90'	375.00'	N34°54'03"W	181.09'
C5	758.28'	300.00'	S23°32'15"W	571.95'
C6	278.35'	225.00'	N60°30'39"E	260.94'
C8	182.27'	450.00'	S36°40'13"W	181.03'
C9	51.53'	125.00'	N36°27'50"E	51.17'
C10	106.64'	168.00'	S42°50'17"W	104.86'
C11	58.23'	200.00'	N52°40'57"E	58.02'
C12	39.25'	25.00'	N0°38'20"W	35.34'
C13	39.29'	25.00'	S89°21'40"W	35.37'
C14	26.03'	200.00'	S40°36'47"W	26.02'
C15	69.73'	218.00'	N46°02'48"E	69.43'
C16	210.44'	400.00'	S40°08'17"W	208.02'
C17	157.64'	275.00'	N41°29'19"E	155.49'
C18	182.57'	275.00'	N76°55'46"E	179.23'
C19	631.90'	250.00'	S23°32'15"W	476.62'
C20	526.12'	425.00'	N13°24'33"W	493.16'
C21	90.23'	125.00'	S122°30'W	88.29'
C22	39.34'	25.00'	S64°22'49"E	35.40'
C23	206.19'	1157.13'	N43°52'15"W	206.19'
C24	176.37'	11507.13'	N42°55'08"W	176.37'
C25	135.72'	452.23'	N34°18'58"W	135.21'
C26	50.98'	34.00'	N17°14'20"E	46.34'
C27	13.04'	5.00'	S50°04'07"E	9.65'
C28	85.69'	135.00'	S42°50'17"W	84.26'
C29	27.26'	10.00'	N40°52'10"W	19.57'
C30	59.17'	185.00'	N46°02'48"E	58.92'

SIGN CHART

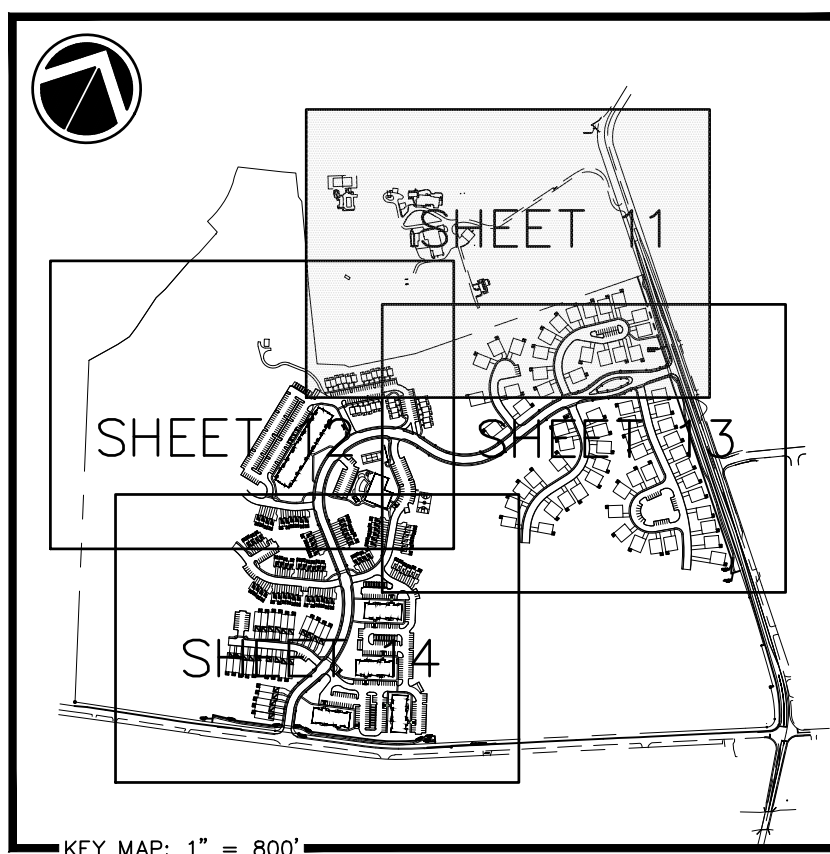
PLAN SYMBOL	PENNDOT DESIGNATION	SIGN DESCRIPTION	SIZE
(A)	R1-1	STOP	24"x24"
(B)	---	STREET NAME SIGN	PER TWP REQ.
(C)	R8-3a	NO PARKING SIGN	12"x12"
(D)	R2-1	SPEED LIMIT SIGN	18"x24"
(E)	R4-7	KEEP RIGHT SIGN	18"x24"
(F)	---	ADA PARKING SIGNAGE	SEE DETAIL
(G)	---	NO PARKING THIS SIDE OF STREET (SEE DIAGRAM)	12' x 18'
(H)	---	NO PARKING SYMBOL AND RIGHT ARROW	12' x 18'
(I)	---	NO PARKING SYMBOL AND LEFT ARROW (SEE DIAGRAM)	12' x 18'

LEGEND

- Property Line
- Adjoining Property Line
- Existing Right-of-way
- Easement Line
- Existing Curb
- Existing Edge Of Pavement
- Existing Gas Line
- Edge Of Stream
- BUILDING SETBACK LINE
- PROPOSED CURB
- PROPOSED EDGE OF PAVEMENT
- LOT LINE
- POSSIBLE PHASE LINE
- PROPOSED 4' WIDE PUBLIC SIDEWALK
- ACCESSIBLE RAMP LOCATION (SEE DETAIL)
- PROPOSED ASPHALT PATH/TRAIL (SEE DETAIL)
- PROPOSED IRON PIN LOT MARKER
- PROPOSED CONCRETE MONUMENT
- PROPOSED STREET LIGHT
- PROPOSED SIGN (SEE SIGN CHART)



SEE SHEETS #20-24 FOR PROPOSED EASEMENTS



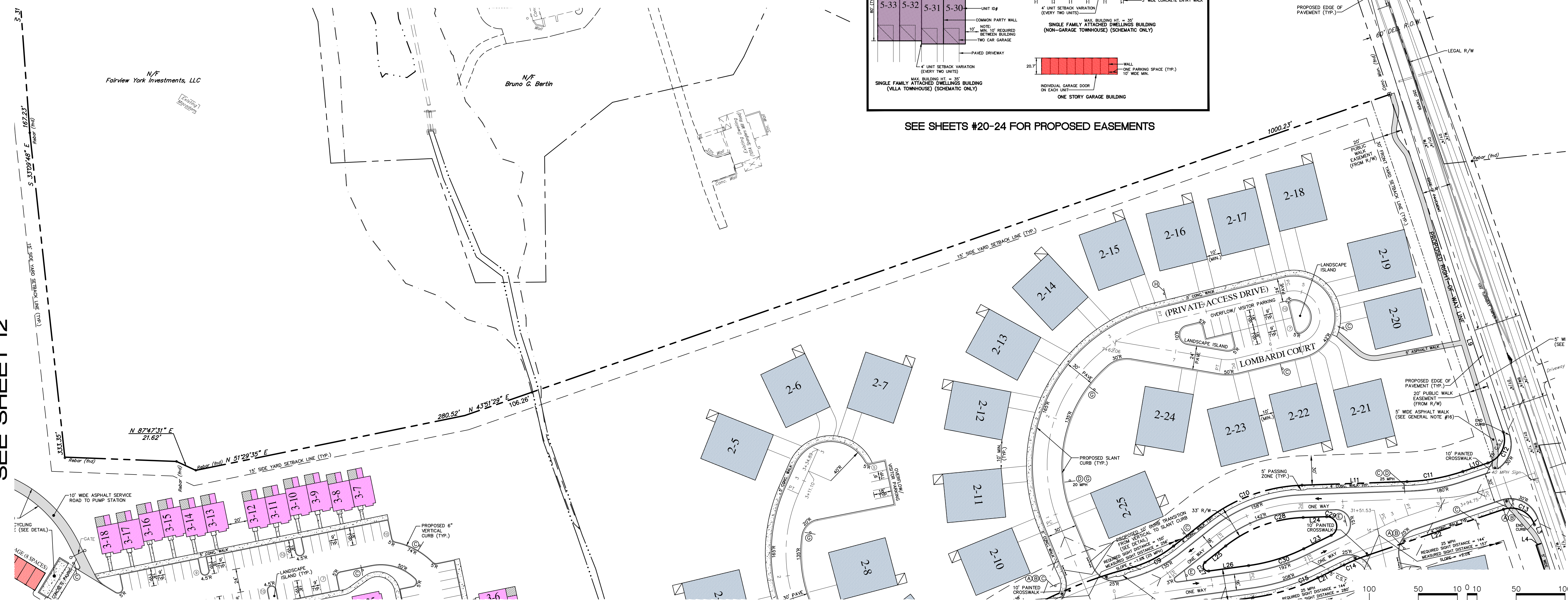
NO.	DATE	DESCRIPTION	BY
9/20/23	PER REVIEW PAWC COMMENTS	SRR	
5/31/23	PER REVIEW PAWC COMMENTS	SRR	
4/18/23	PER REVIEW PAWC COMMENTS	SRR	
3/22/23	PER REVIEW COMMENTS	BKK	

DESIGN : T.C.S.
DRAWN : M.T.S.
CHECKED : J.K.M.
DATE : 12/02/22

PLANNING ENGINEERING SURVEYING
115 LIMEKILN RD. P.O. BOX 'G'
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SEE SHEET 12



SEE SHEET 13

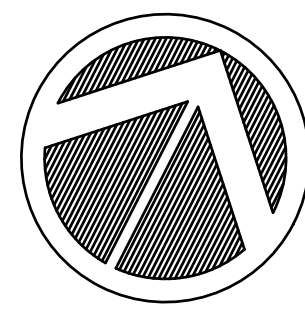


SEAL

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
PROPOSED SITE PLAN
FOR
SIENNA - PHASE 1
FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
319582
SURVEY BOOK :
2/2019/319582 and 319582a/b/c/d
SCALE : 1" = 50'
DWG. : 11214 SITE - PARTIAL - PH1.dwg
FILE : 11214 SITE - PARTIAL - PH1.dwg

SHEET 11 of 67

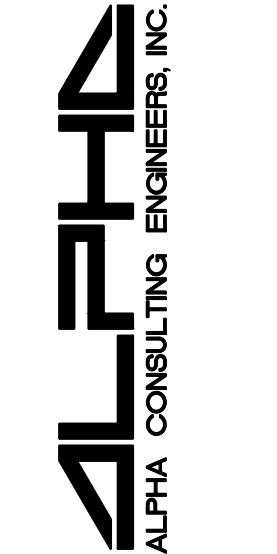


NO.	DATE	DESCRIPTION	BY
9/20/23		PER REVIEW PAWC COMMENTS	SRR
5/31/23		PER REVIEW PAWC COMMENTS	SRR
4/18/23		PER REVIEW PAWC COMMENTS	SRR
3/22/23		PER REVIEW COMMENTS	BKK

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M
DATE :	12/02/22

SEE SHEETS #20-24 FOR PROPOSED EASEMENTS
 SEE SHEET 11 FOR LEGEND AND SIGN CHART
 SEE SHEET 11 FOR LINE / CURVE CHART

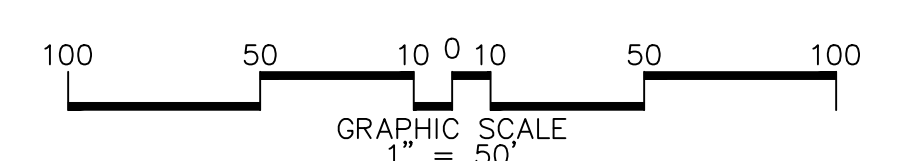
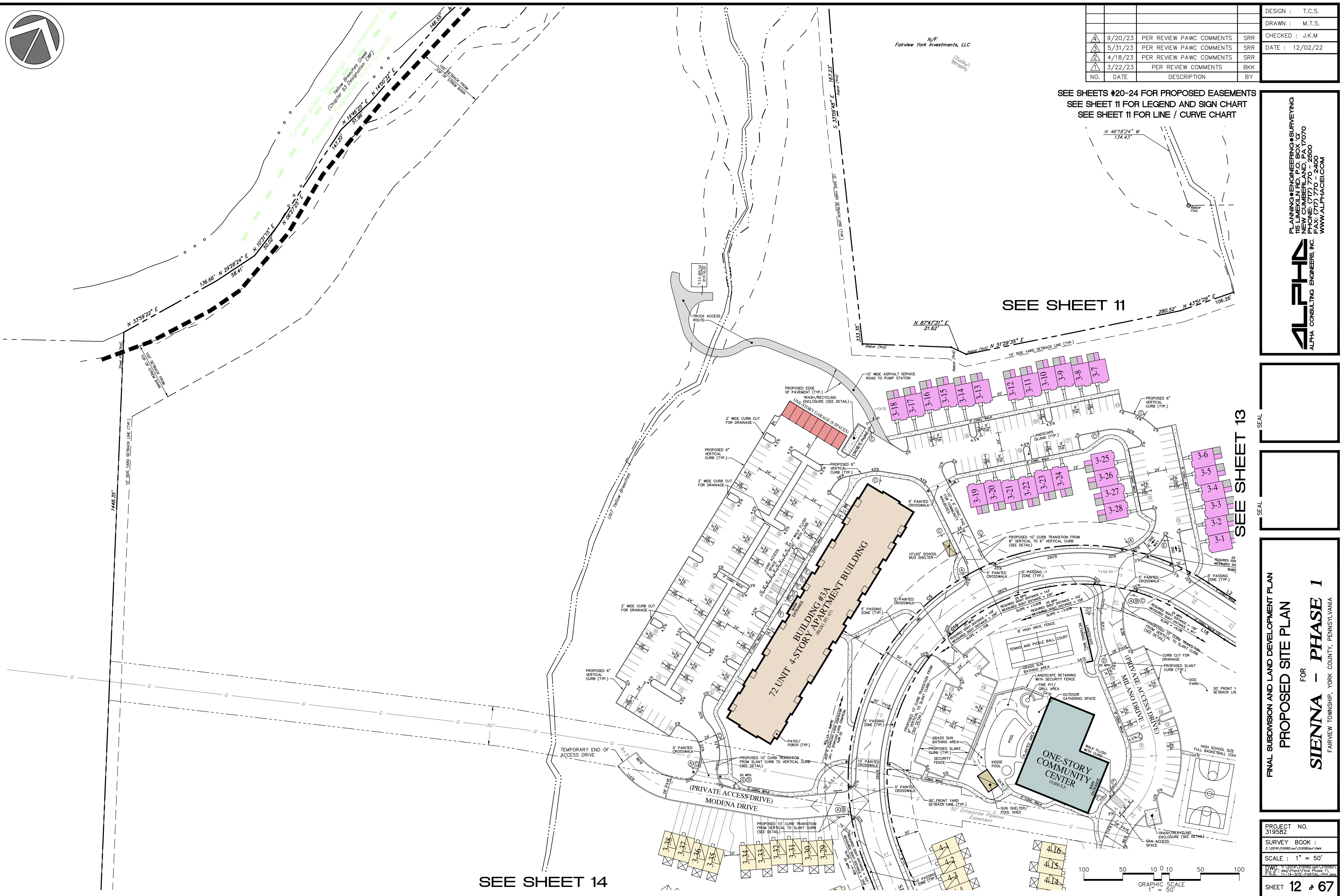
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 NEW CUMBERLAND, PA 17070
 PHONE: (717) 770-2500
 FAX: (717) 770-2400
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SEE SHEET 11

SEE SHEET 13

SEE SHEET 14



FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 PROPOSED SITE PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

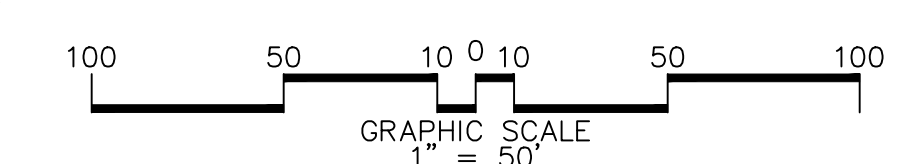
PROJECT NO.	319582
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SCALE :	1" = 50'
DWG. FILE :	2-3098 UNRESOLVED 319582-1.dwg
FILE :	11-14-SIT-PARTIAL-PH1.dwg

SEE SHEET 11

NO.	DATE	DESCRIPTION	BY
9/20/23		PER REVIEW PAWC COMMENTS	SRR
5/31/23		PER REVIEW PAWC COMMENTS	SRR
4/18/23		PER REVIEW PAWC COMMENTS	SRR
3/22/23		PER REVIEW COMMENTS	BKK

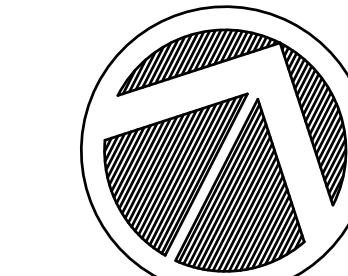
DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22

SEE SHEETS #20-24 FOR PROPOSED EASEMENTS
 SEE SHEET 11 FOR LEGEND AND SIGN CHART
 SEE SHEET 11 FOR LINE / CURVE CHART



N/F
 Sean Christopher Campbell &
 Kelly Lane Martin
 Instrument # 2016017334
 Tax Parcel 27-000-RE-0030

N/F
 Kimberly M. Midgarden
 Deed Book 1956, Page 8116
 Tax Parcel 27-000-RE-0030A



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SEAL

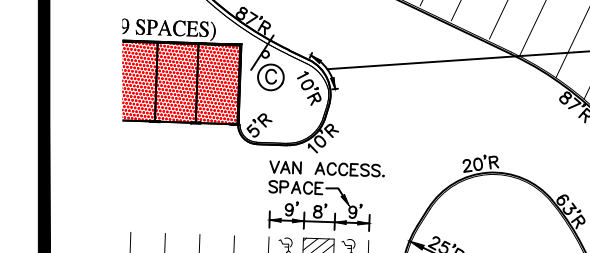
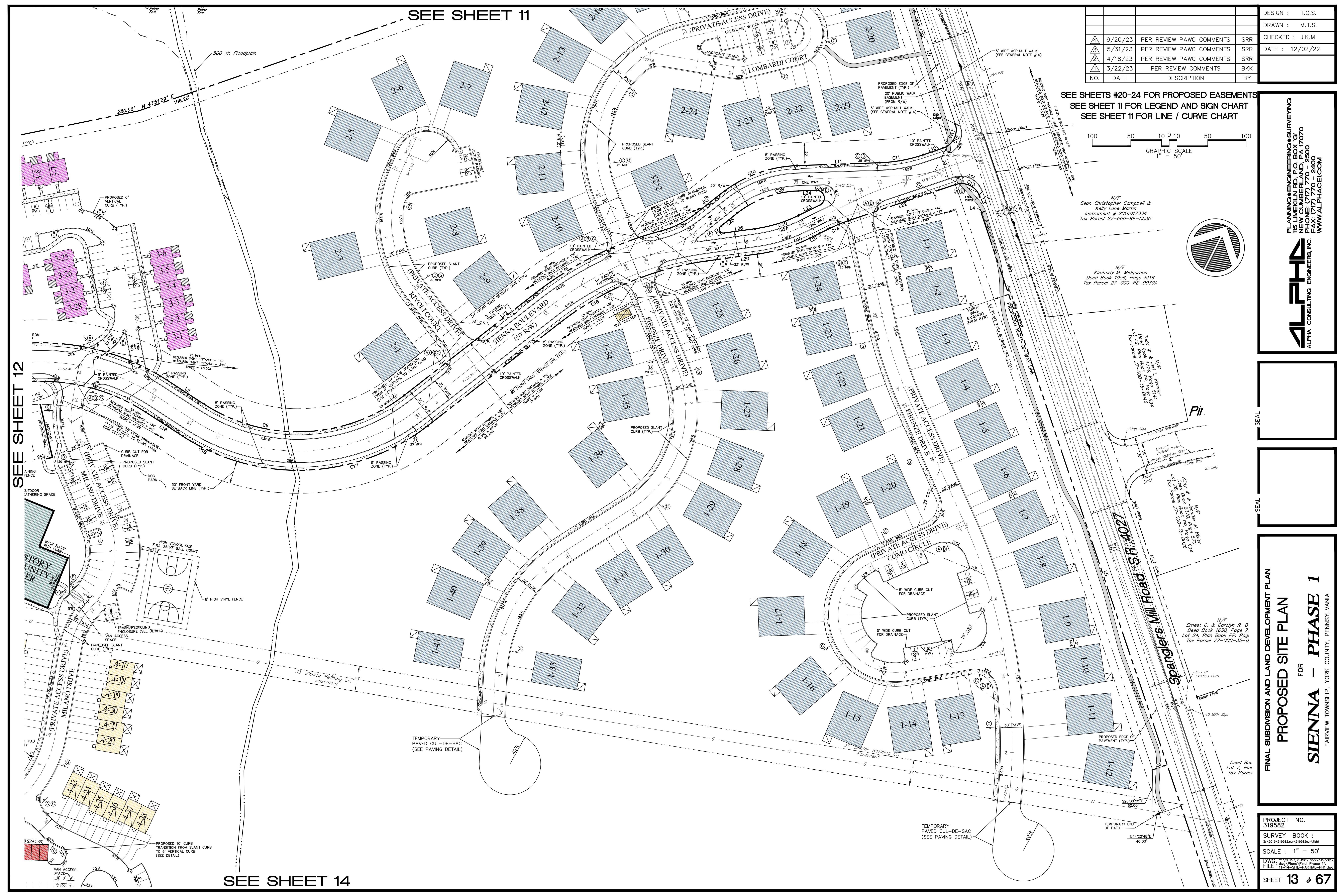
SEAL

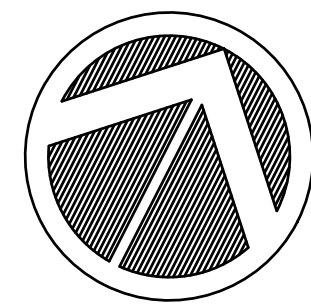
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 PROPOSED SITE PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
 319582
 SURVEY BOOK :
 2/2019/319582.dwg/319582aup/field
 SCALE : 1" = 50'
 DWS: I:\Projects\319582.dwg
 FILE: 11-14-SITE-PARTIAL-Plot.dwg

SEE SHEET 12

SEE SHEET 14



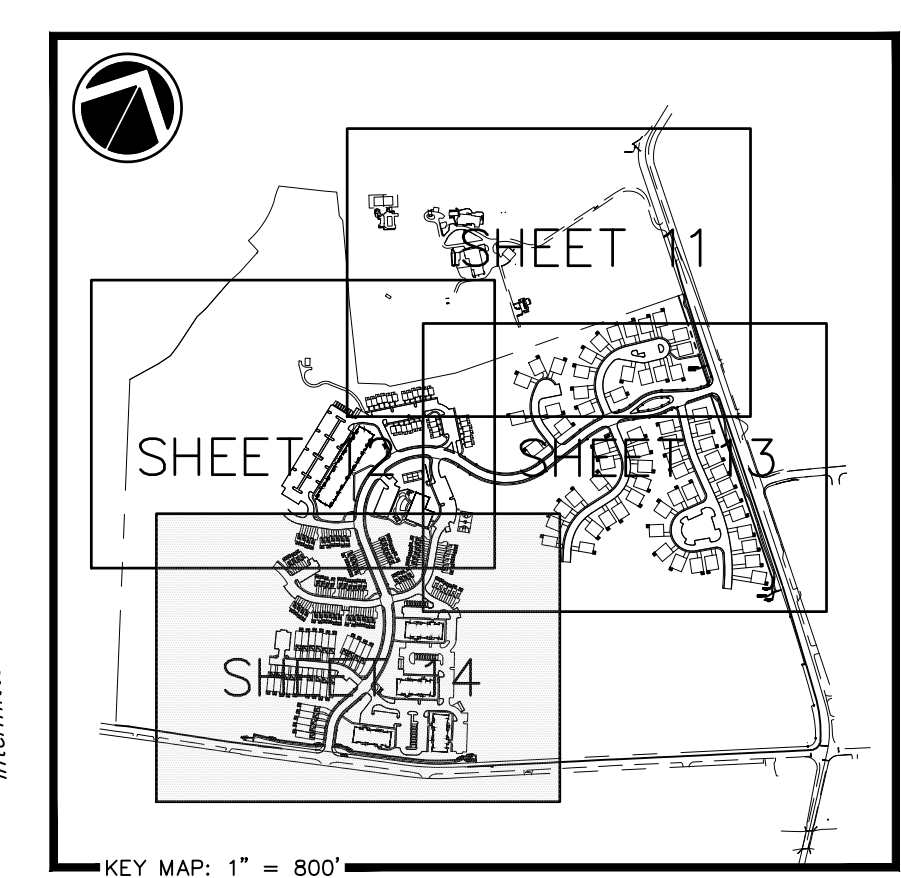
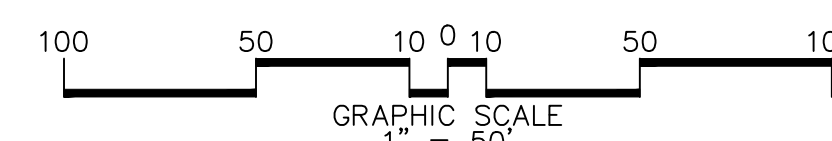


SEE SHEET 12

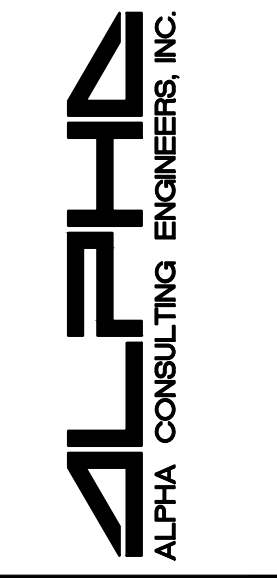
SEE SHEET 13

DESIGN :	T.C.S.		
DRAWN :	M.T.S.		
CHECKED :	J.K.M.		
DATE :	12/02/22		
NO.	DATE	DESCRIPTION	BY
△	9/20/23	PER REVIEW PAWC COMMENTS	SRR
△	5/31/23	PER REVIEW PAWC COMMENTS	SRR
△	4/18/23	PER REVIEW PAWC COMMENTS	SRR
△	3/22/23	PER REVIEW COMMENTS	BKK

SEE SHEETS #20-24 FOR PROPOSED EASEMENTS
 SEE SHEET 11 FOR LEGEND AND SIGN CHART
 SEE SHEET 11 FOR LINE / CURVE CHART



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SEAL

SEAL

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 PROPOSED SITE PLAN

FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
319582
 SURVEY BOOK :
21-2019-319582-001-319582-004-005
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 DWG : 11-14-SITE-PARTIAL-PLAN.dwg
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 SHEET 14 of 67

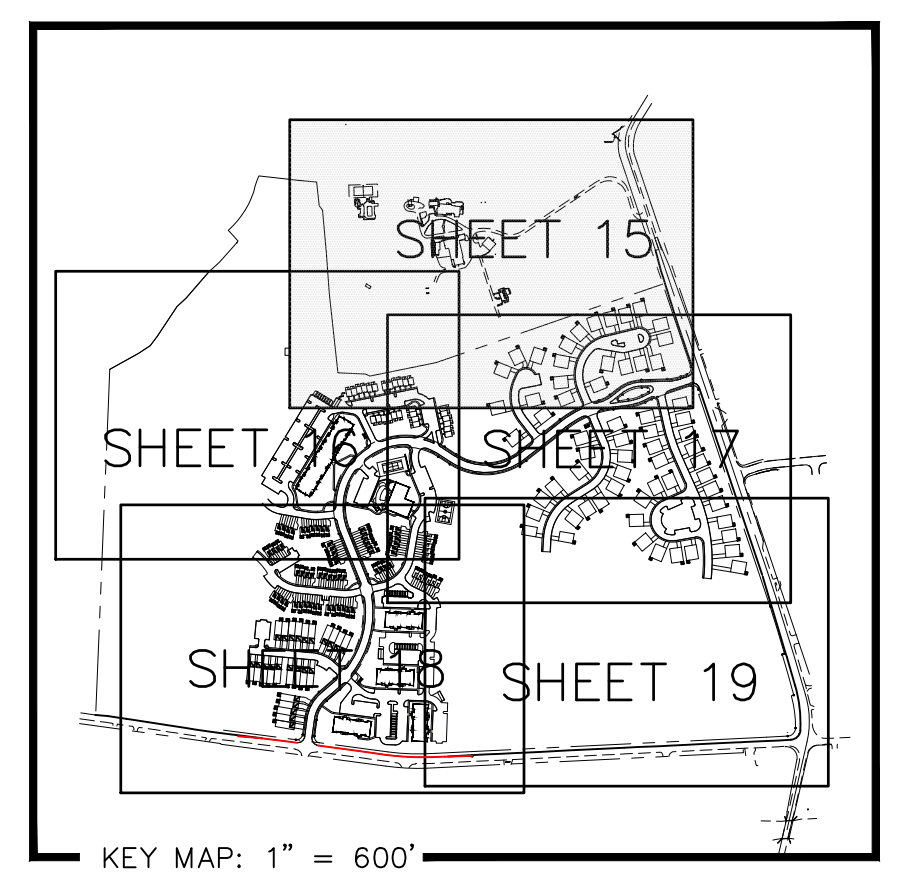
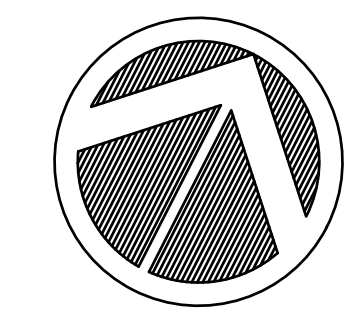
Willow
4592
pg 541
-0020

N/F
Thomas S. & Pamela A. Wenerick
Deed Book 1912, Page 623
Lot 5, Plan Book NN, Page 541
Tax Parcel 27-000-RE-0020

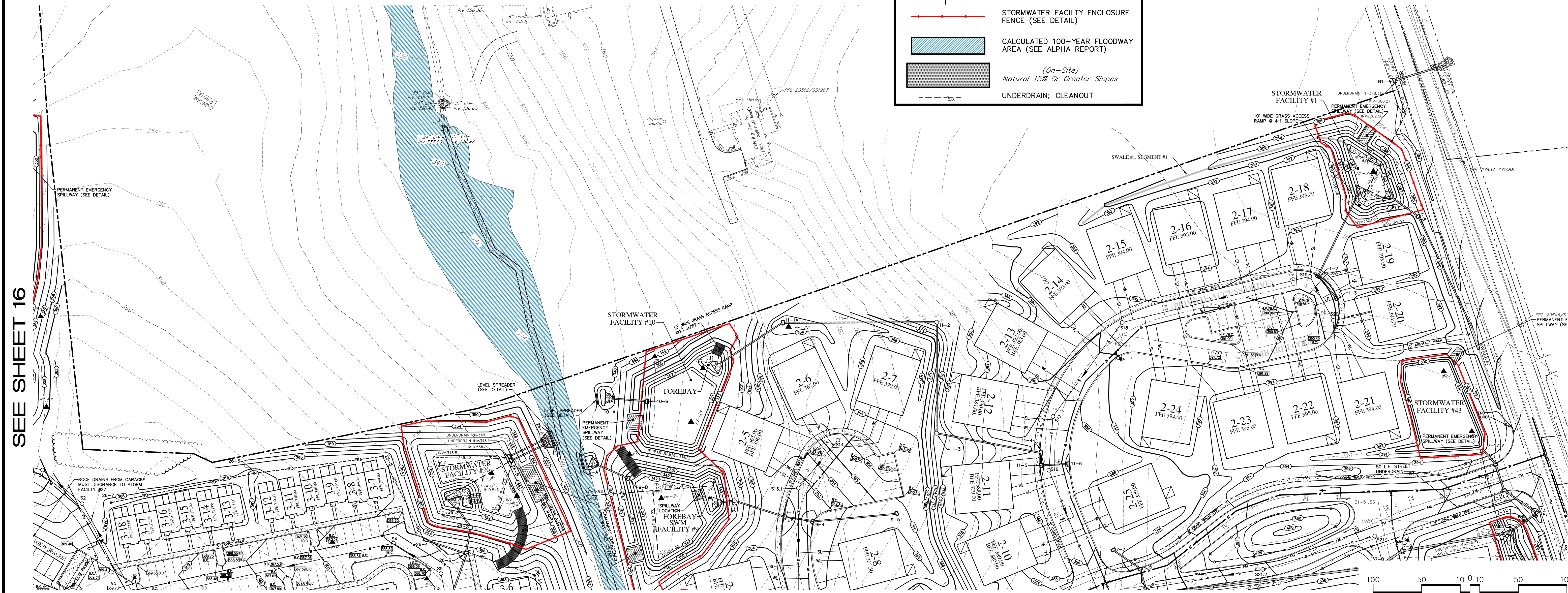
END PHASE 1
STREET IMPROVEMENT

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22

NO.	DATE	DESCRIPTION	BY
▲	9/20/23	PER REVIEW PAWC COMMENTS	SRR
▲	5/31/23	PER REVIEW PAWC COMMENTS	SRR
▲	4/18/23	PER REVIEW PAWC COMMENTS	SRR
▲	3/22/23	PER REVIEW COMMENTS	BKK

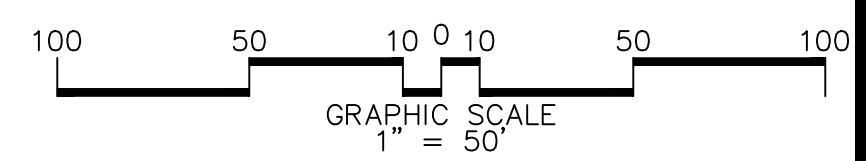


LEGEND	
	Property Line
	Adjoiner Property Line
	Existing Right-of-way
	Easement Line
	Existing Curb
	Existing Edge Of Pavement
	Existing Contour
	Existing Light Pole
	Existing Utility Pole & Guy Wire
	Existing Storm Sewer Pipe & Inlet
	Existing Sanitary Line, Manhole
	Existing Overhead Electric Line
	Existing Underground Electric Line
	Existing Tree/brush Line
	Existing Gas Line/Valve/Pipeline
	Soil Test Site; ID#
	PROPOSED STORM SEWER LINE, INLET, ID#
	ROOF DRAIN COLLECTION PIPE
	PROPOSED RIP RAP APRON
	PROPOSED SANITARY SEWER MAIN; MANHOLE
	PROPOSED SANITARY LATERAL
	PROPOSED WATER LINE; HYDRANT; VALVE
	PROPOSED WATER LATERAL
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION B.C.=BOTTOM OF CURB
	H.P.=HIGH POINT
	PROPOSED WALK/PAVED PATH ACCESSIBLE RAMP LOCATION
	POSSIBLE FIRST FLOOR ELEVATION DECK/PATIO
	POSSIBLE BASEMENT FLOOR ELEVATION (IF EXPOSED)
	UNIT BOUNDARY (SCHEMATIC ONLY)
	DRIVEWAY
	APPROXIMATE LOCATION OF PROPOSED TREE/BRUSH LINE
	HIGH POINT
	STORMWATER FACILITY ENCLOSURE FENCE (SEE DETAIL)
	CALCULATED 100-YEAR FLOODWAY AREA (SEE ALPHA REPORT)
	(On-Site) Natural 15% Or Greater Slopes
	UNDERDRAIN; CLEANOUT



SEE SHEET 16

SEE SHEET 17



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SEAL

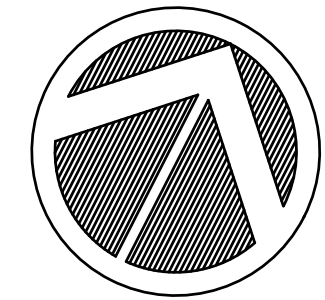
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
GRADING / UTILITIES PLAN
FOR
SIENNA - PHASE 1
FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
319582
SURVEY BOOK :
2:2019\319582.dwg\319582.dwg
SCALE : 1" = 50'
DWG: T.C.S. (319582) (319582) (319582)
FILE: 12-16-GRAD-UTIL-22\FINAL-01.dwg

SHEET 15 of 67

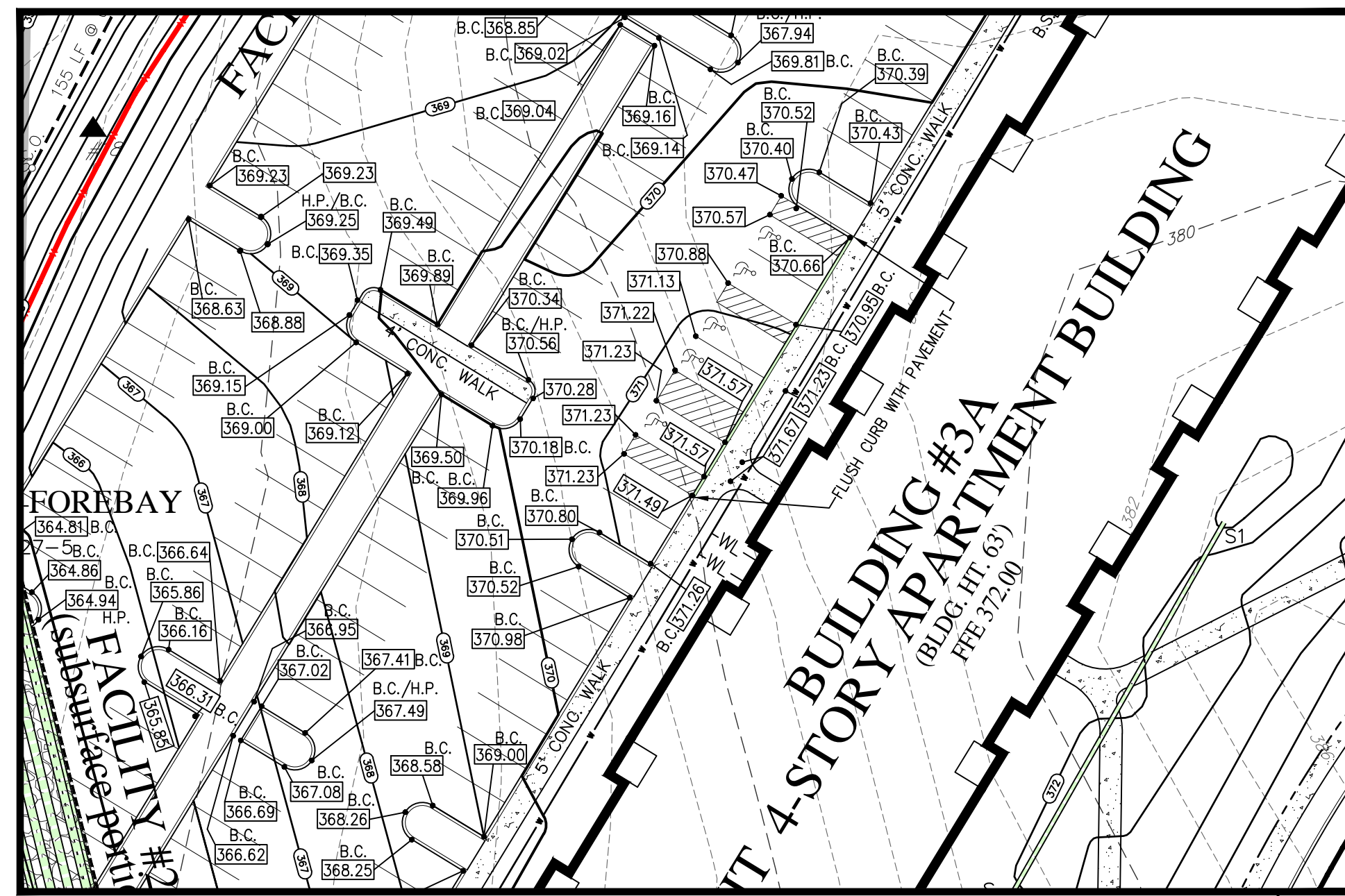
SEE SHEET 15

NOTE: SEE SHEET 18 FOR TYPICAL GARAGE TOWNHOUSE PLAN FOR WATER AND SEWER LATERALS

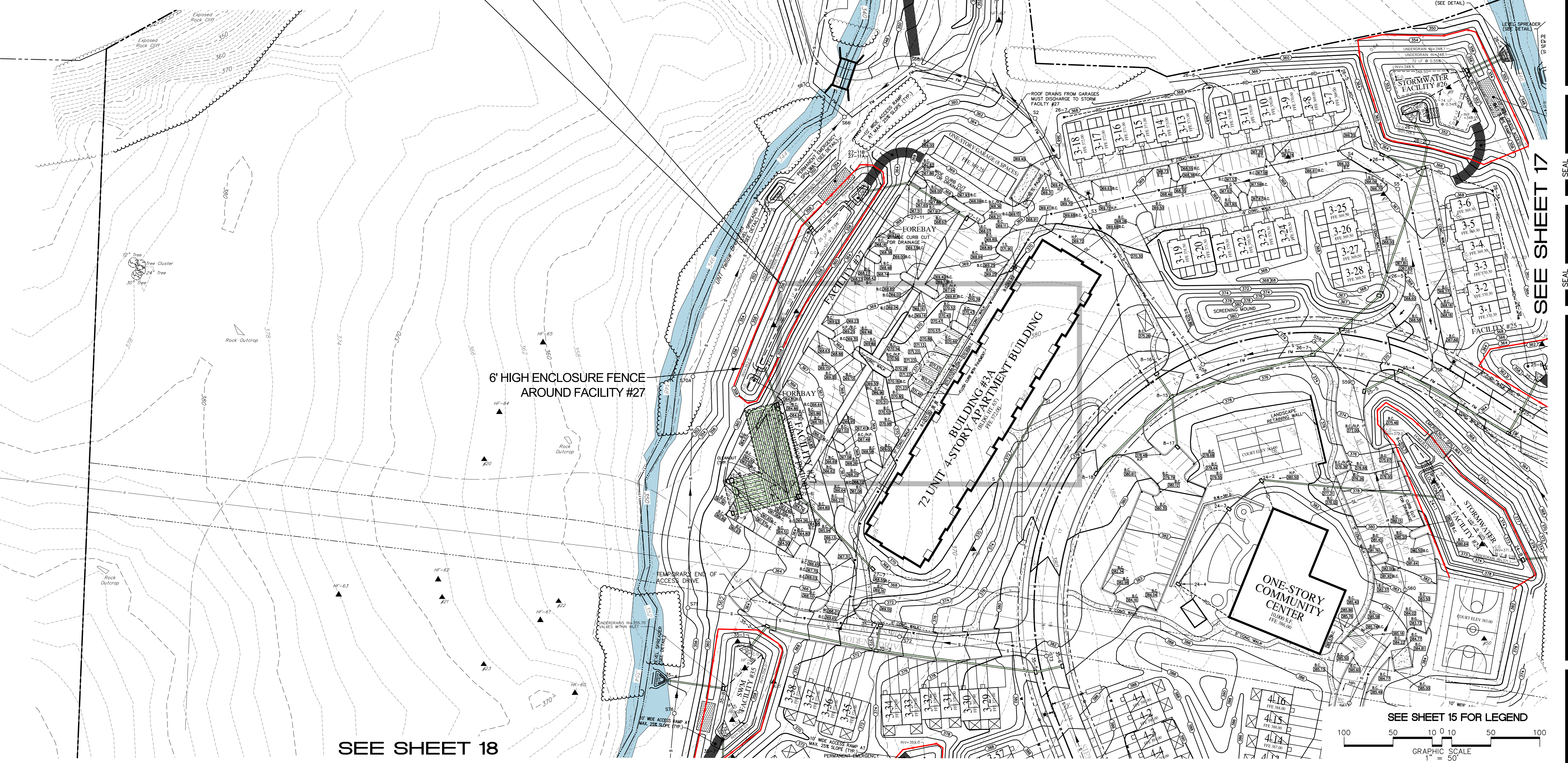


NO.	DATE	DESCRIPTION	BY
9/20/23	PER REVIEW PAWC COMMENTS	SRR	
5/31/23	PER REVIEW PAWC COMMENTS	SRR	
4/18/23	PER REVIEW PAWC COMMENTS	SRR	
3/22/23	PER REVIEW COMMENTS	BKK	

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22



SCALE: 1" = 30"

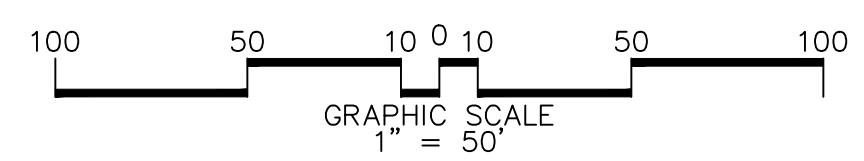


6' HIGH ENCLOSURE FENCE AROUND FACILITY #27

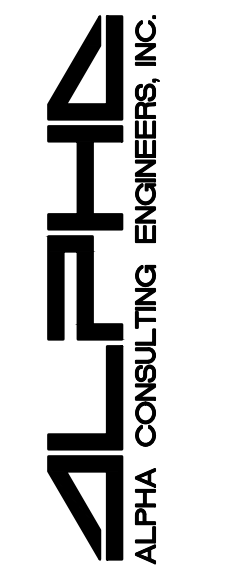
SEE SHEET 17

SEE SHEET 18

SEE SHEET 15 FOR LEGEND



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 FAX: (717) 770-2400
 WWW.ALPHA-PAE.COM



FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 GRADING / UTILITIES PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

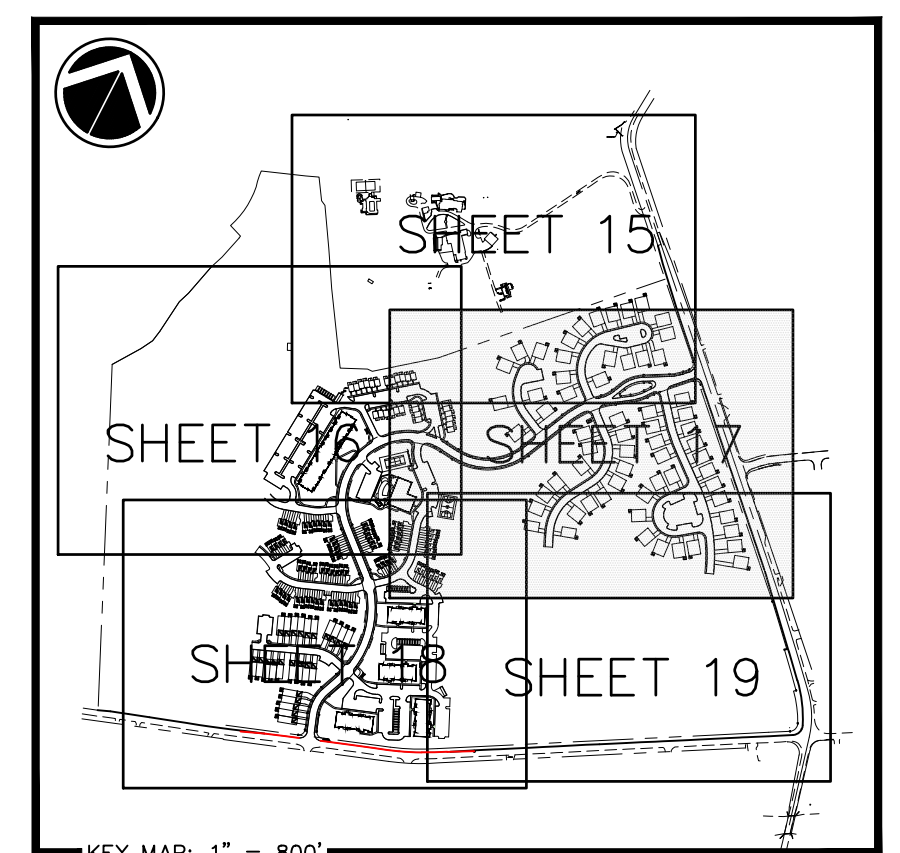
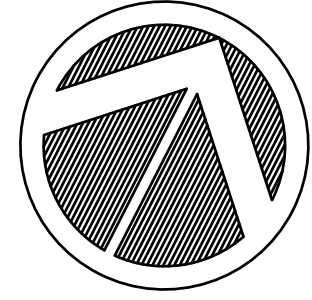
PROJECT NO.
319582
 SURVEY BOOK :
2: 2019_319582.dwg / 319582.dwg
 SCALE : 1" = 50'
 DWG : 12/02/2022 10:52:21 AM
 FILE : 12-16-2022-224714-01.dwg
 SHEET 16 of 67

SEE SHEET 15

SEE SHEET 16

SEE SHEET 18

DESIGN :	T.C.S.		
DRAWN :	M.T.S.		
CHECKED :	J.K.M.		
DATE :	12/02/22		
NO.	DATE	DESCRIPTION	BY
△	9/20/23	PER REVIEW PAWC COMMENTS	SRR
△	5/31/23	PER REVIEW PAWC COMMENTS	SRR
△	4/18/23	PER REVIEW PAWC COMMENTS	SRR
△	3/22/23	PER REVIEW COMMENTS	BKK



KEY MAP: 1" = 800'

SEE SHEET 15 FOR LEGEND

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22

PLANNING • ENGINEERING • SURVEYING
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FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 GRADING / UTILITIES PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

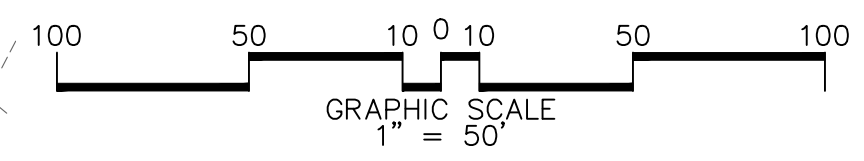
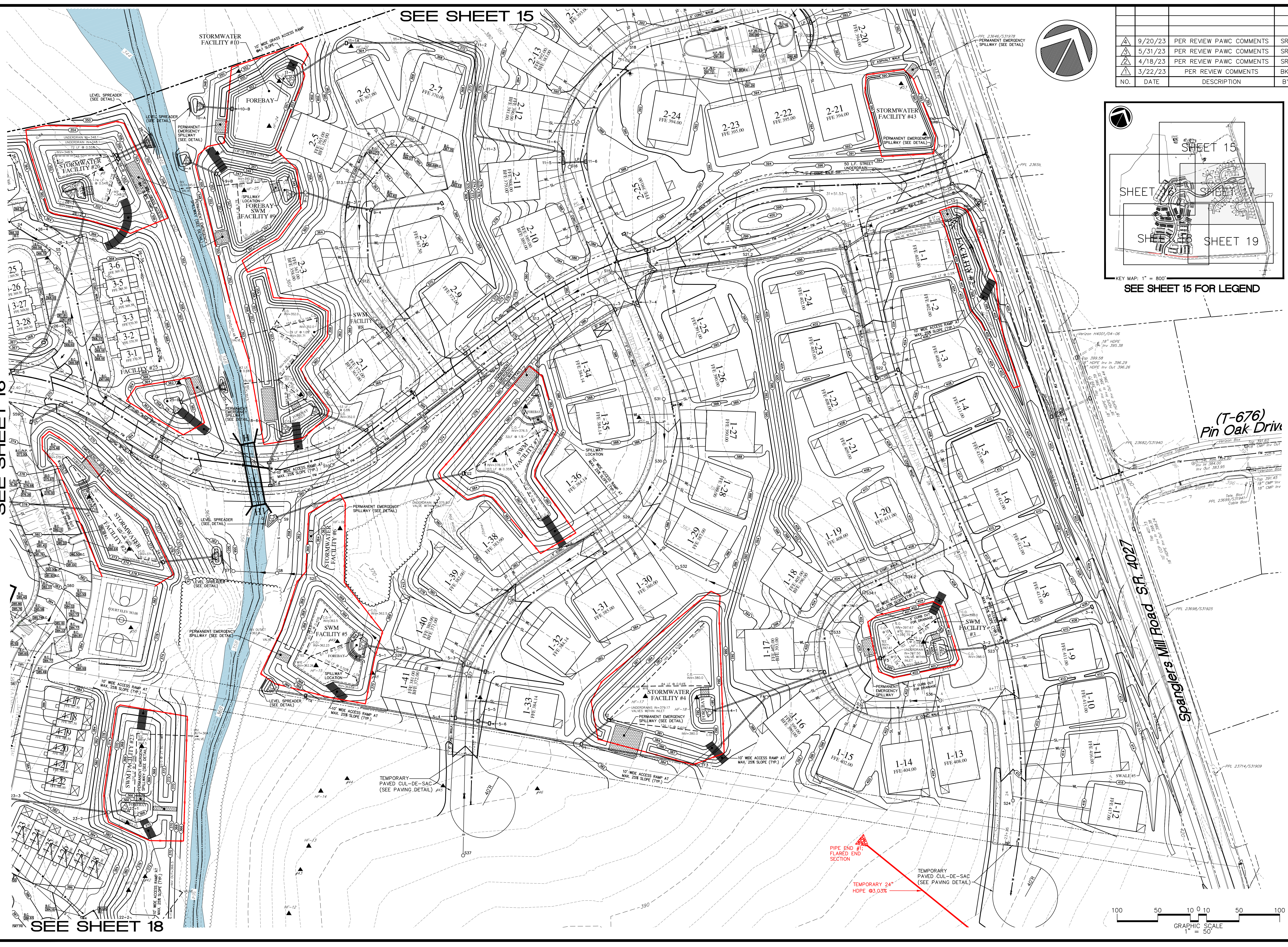
PROJECT NO.
319582

SURVEY BOOK :
2-2019-319582.sur\319582.mxd

SCALE : 1" = 50'

DWG. NO. 15-18-GRAD-UTILITIES-PLAN-01

SHEET 17 of 67

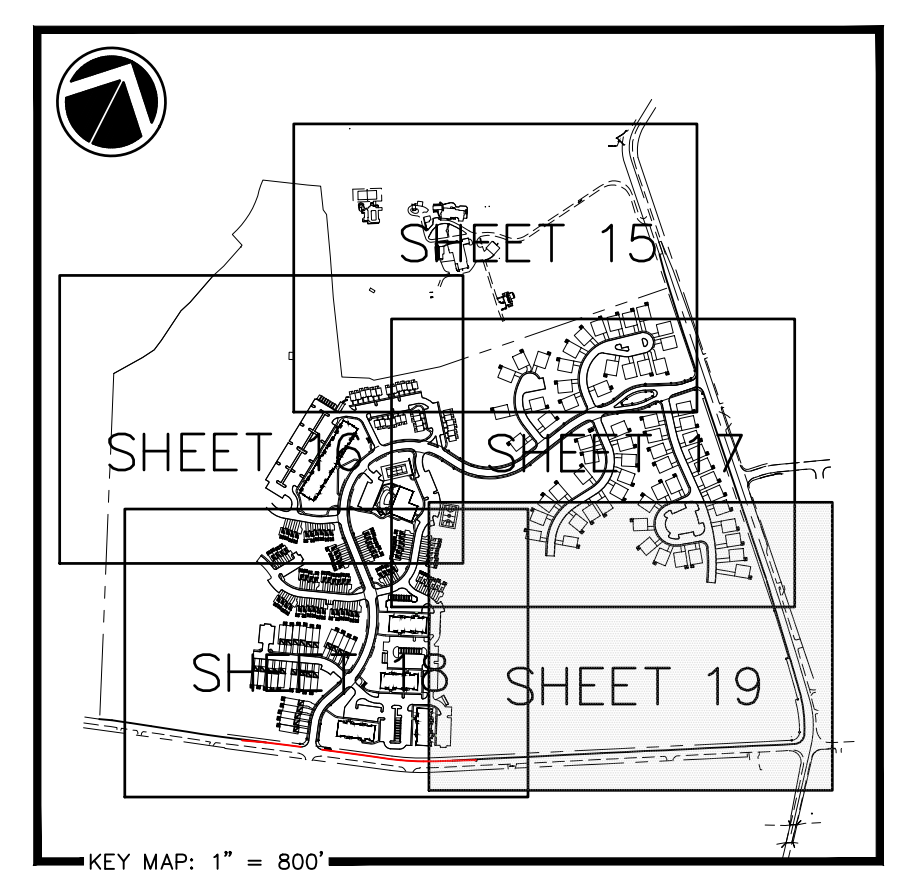


PIPE END WITH FLARED END SECTION

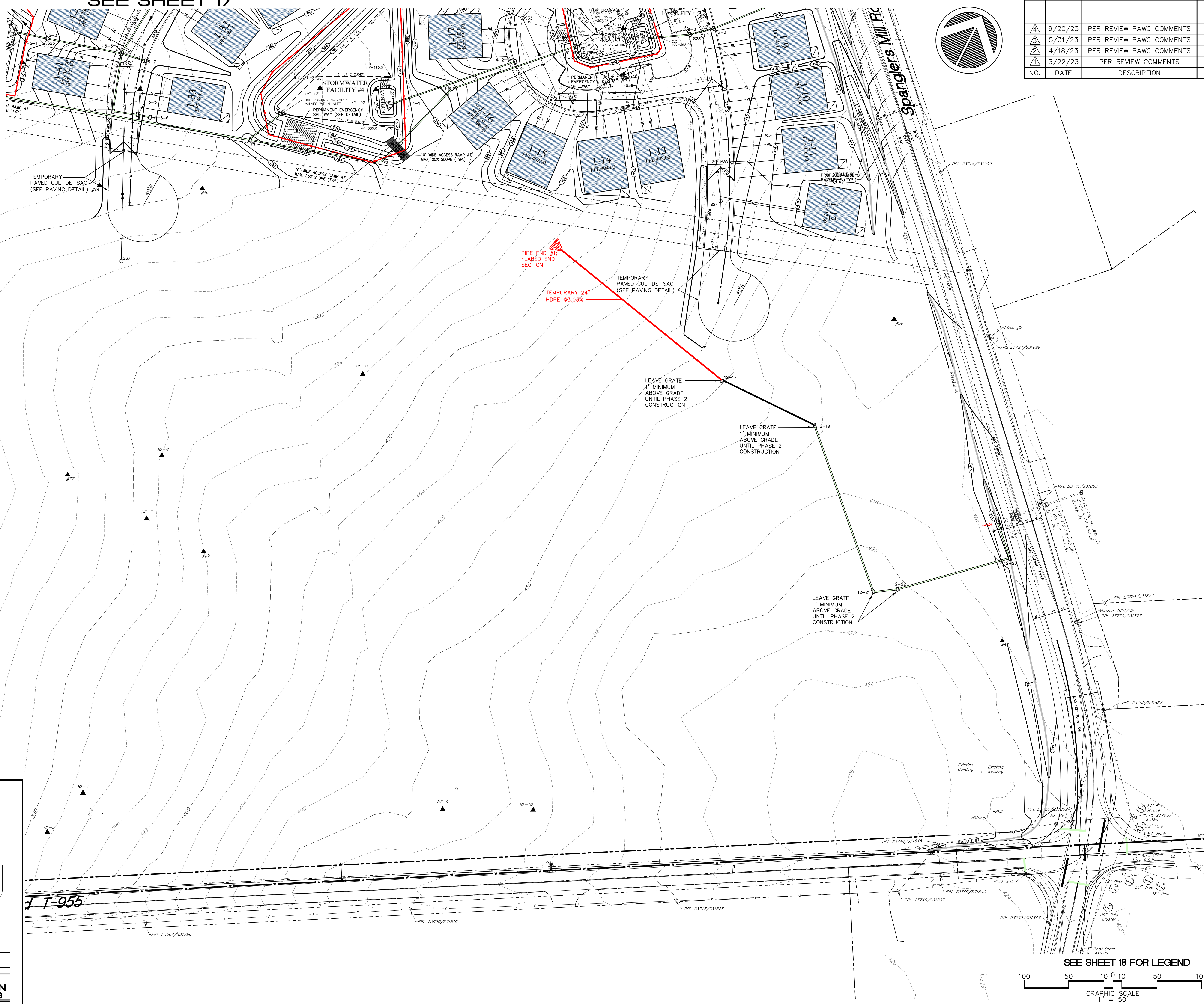
TEMPORARY 24" HDPE @ 3.03%

TEMPORARY PAVED CUL-DE-SAC (SEE PAVING DETAIL)

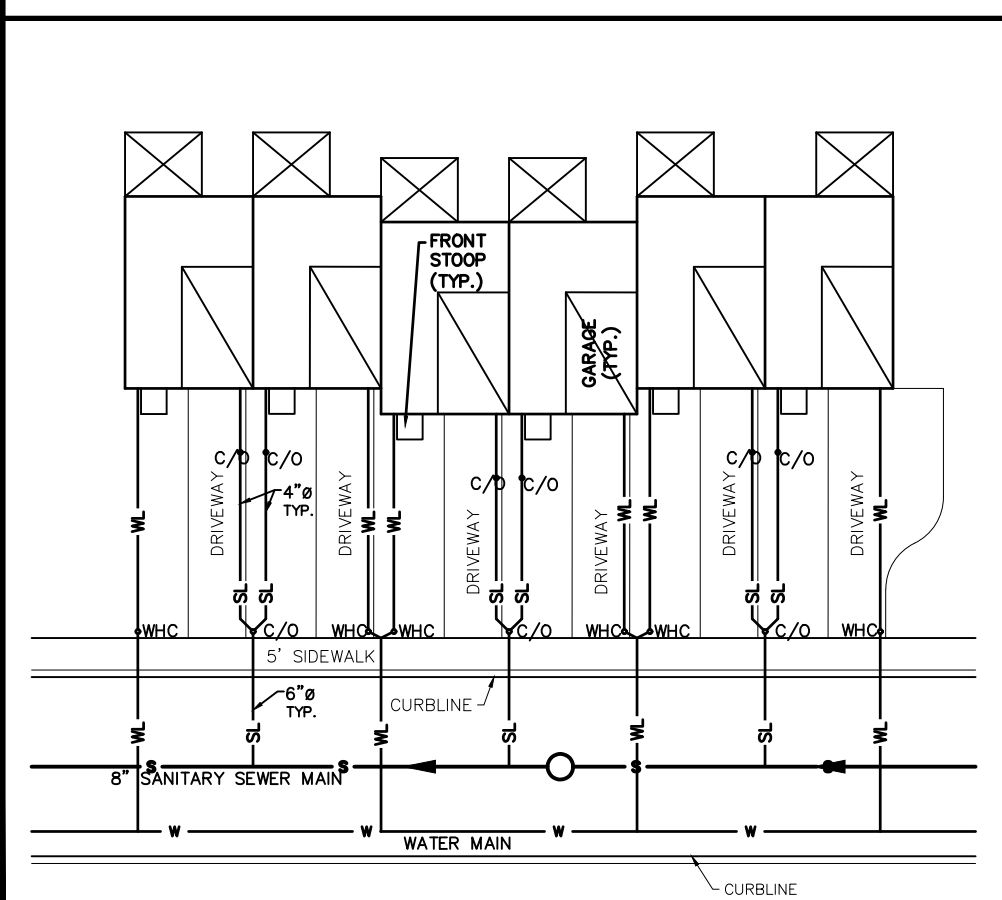
SEE SHEET 17



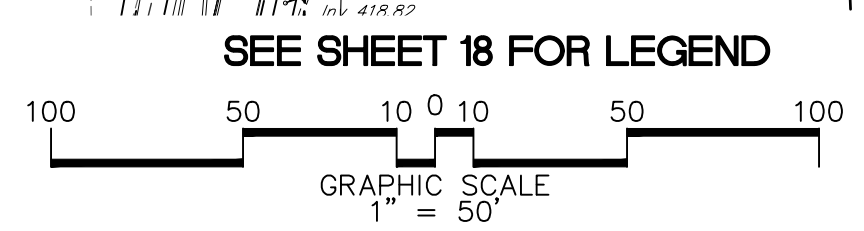
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DRAWN :	M.T.S.		
CHECKED :	J.K.M.		
DATE :	12/02/22		
NO.	DATE	DESCRIPTION	BY
4	9/20/23	PER REVIEW PAWC COMMENTS	SRR
5	5/31/23	PER REVIEW PAWC COMMENTS	SRR
6	4/18/23	PER REVIEW PAWC COMMENTS	SRR
7	3/22/23	PER REVIEW COMMENTS	BKK



SEE SHEET 18



TYPICAL GARAGE TOWNHOUSE PLAN FOR WATER AND SEWER LATERALS



DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22

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FAIRVIEW TOWNSHIP, PA 17017
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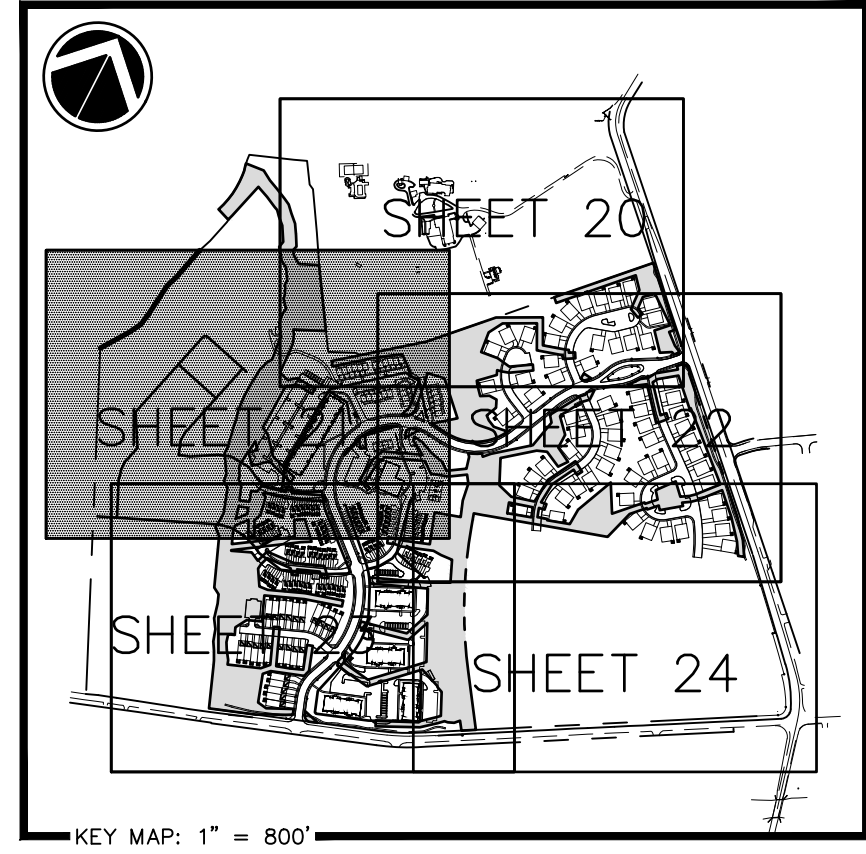
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
GRADING / UTILITIES PLAN
FOR
SIENNA - PHASE 1
FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.	319582
SURVEY BOOK :	2-2019-319582 sur 319582 sur 1/4
SCALE :	1" = 50'
DWG. NO.:	15-18-0000-0000-0000
FILE :	15-18-0000-0000-0000
SHEET	19 of 67

LEGEND

	Property Line
	Adjoiner Property Line
	Existing Right-of-way
	Easement Line
	Existing Curb
	Existing Edge Of Pavement
	Existing Light Pole
	Existing Utility Pole & Guy Wire
	Existing Storm Sewer Pipe & Inlet
	Existing Sanitary Line, Manhole
	Existing Overhead Electric Line
	Existing Underground Electric Line
	Existing Tree/brush Line
	Existing Gas Line/Valve/Pipeline
	PROPOSED STORM SEWER LINE, INLET, ID#
	ROOF DRAIN COLLECTION PIPE
	PROPOSED RIP RAP APRON
	PROPOSED SANITARY SEWER MAIN; MANHOLE
	PROPOSED SANITARY LATERAL
	PROPOSED WATER LINE; HYDRANT; VALVE
	PROPOSED WATER LATERAL
	PROPOSED WALK/PAVED PATH
	ACCESSIBLE RAMP LOCATION

	PROPOSED DRAINAGE EASEMENT
	PROPOSED PUBLIC WATER AND SEWER EASEMENT IN FAVOR OF PA AMERICAN WATER COMPANY
	EXISTING PIPELINE RIGHT-OF-WAY



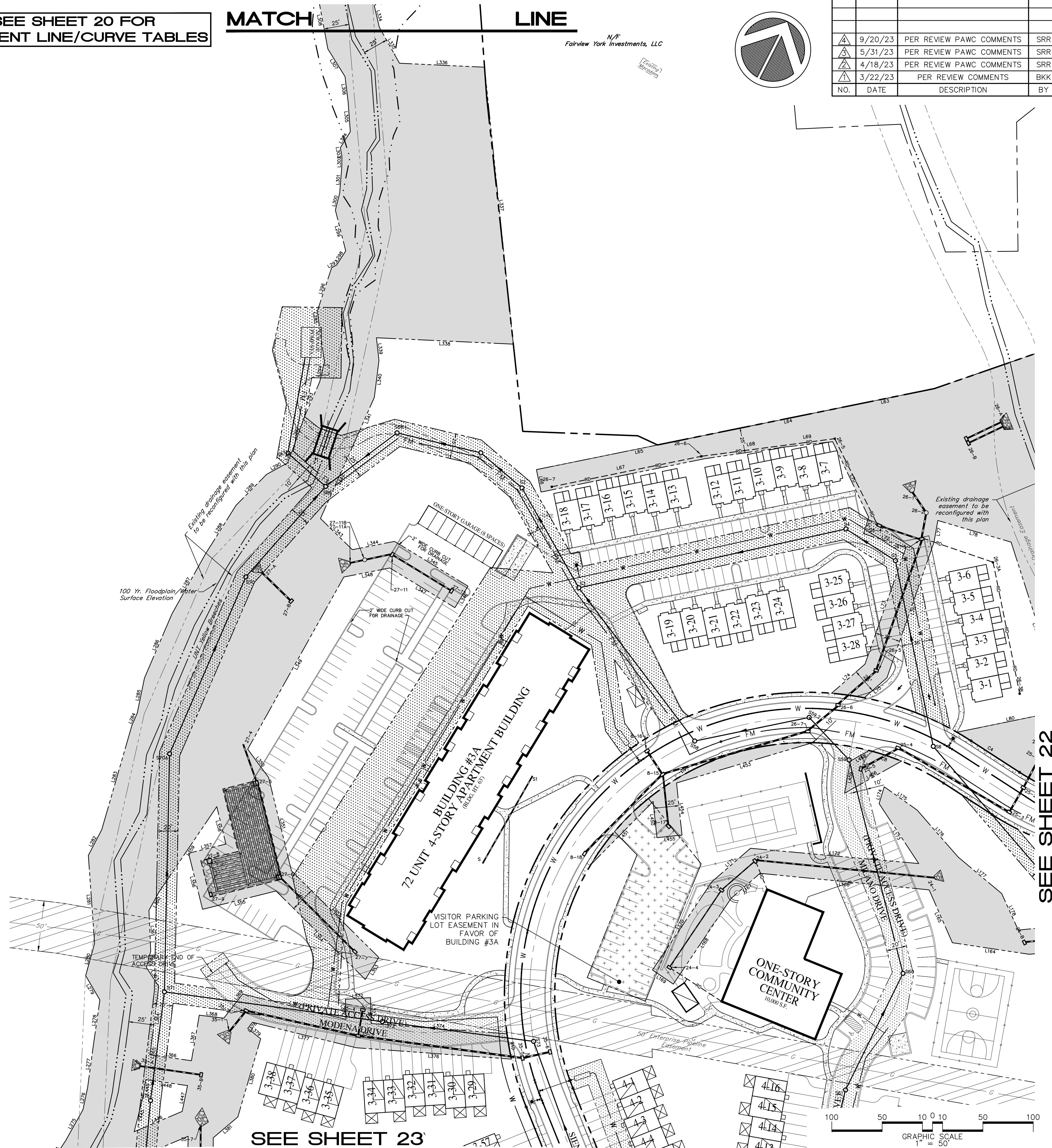
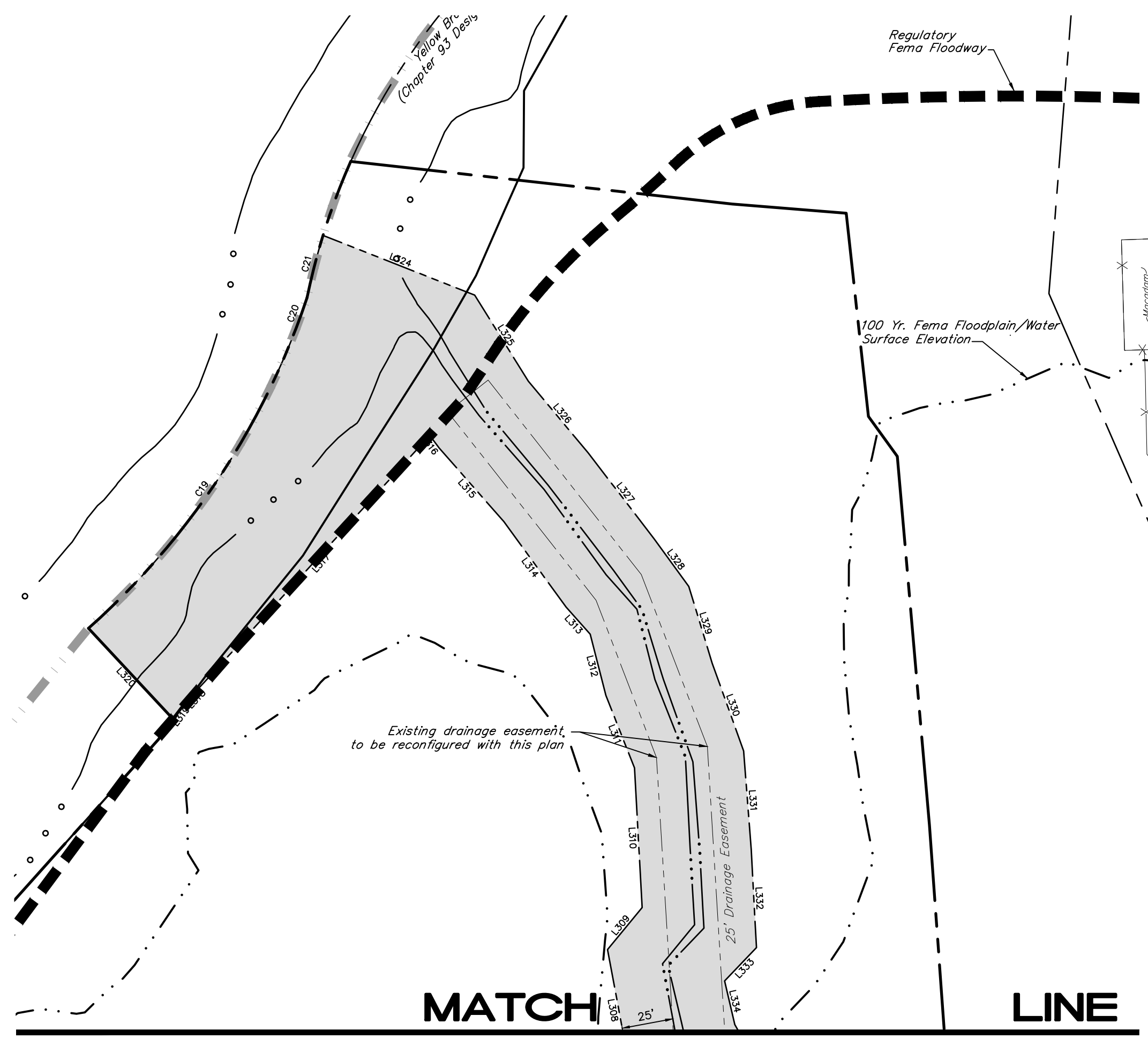
SEE SHEET 20 FOR EASEMENT LINE/CURVE TABLES

MATCH LINE

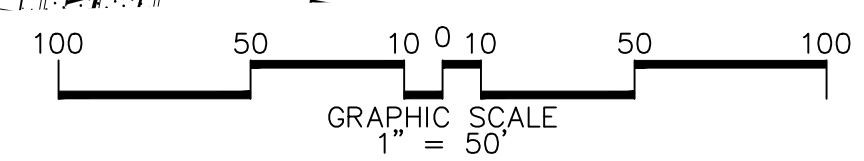
Fairview York Investments, LLC

NO.	DATE	DESCRIPTION	BY
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5/31/23	PER REVIEW PAWC COMMENTS	SRR	
4/18/23	PER REVIEW PAWC COMMENTS	SRR	
3/22/23	PER REVIEW COMMENTS	BKK	

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22



SEE SHEET 23



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NEW GUMBERLAND, PA 17070
PHONE: 717.770.2600
FAX: 717.770.2400
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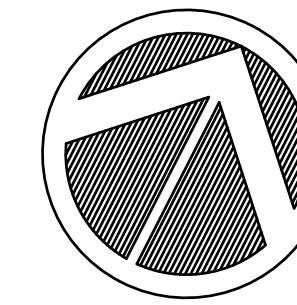
SEE SHEET 22

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
EASEMENT PLAN
FOR
SIENNA - PHASE 1
FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.	319582
SURVEY BOOK :	2: 2019/319582.dwg/319582sur/field
SCALE :	1" = 50'
DWG. :	19-22_PAW-P22(1A) - part.dwg
FILE :	19-22_PAW-P22(1A) - part.dwg

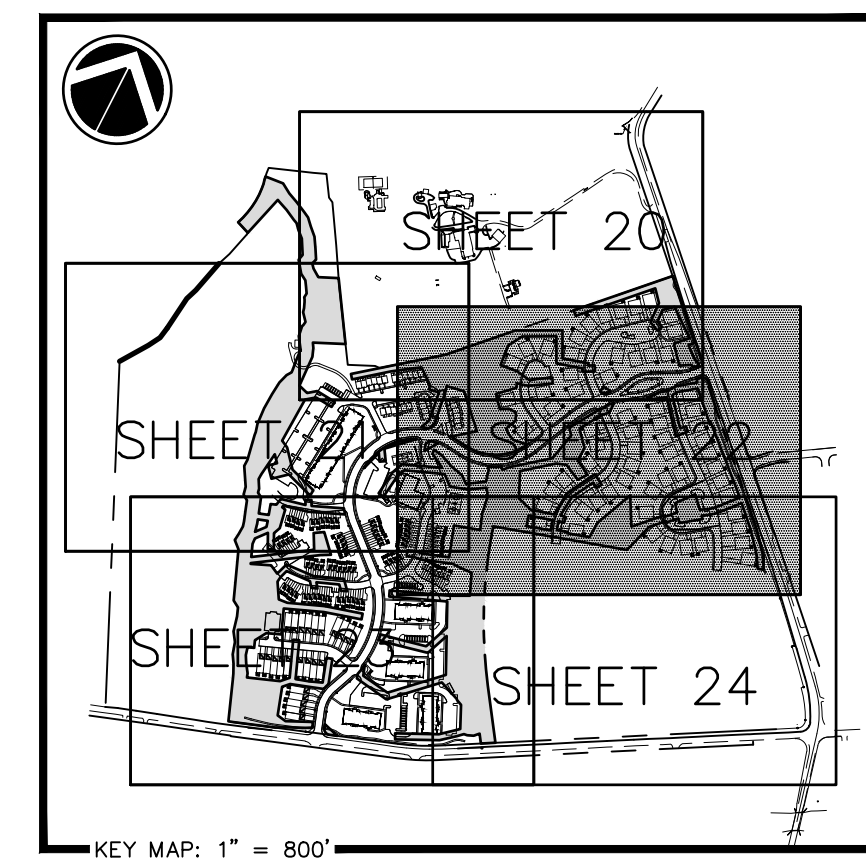
SEE SHEET 20

Homer S. & J. Deed Book 104 Tax Parcel 27-1



NO.	DATE	DESCRIPTION	BY
9/20/23		PER REVIEW PAWC COMMENTS	SRR
5/31/23		PER REVIEW PAWC COMMENTS	SRR
4/18/23		PER REVIEW PAWC COMMENTS	SRR
3/22/23		PER REVIEW COMMENTS	BKK

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M.
DATE :	12/02/22



SEE SHEET 20 FOR EASEMENT LINE/CURVE TABLES AND LEGENDS

(T-676) Pin Oak Drive

Spangler's Mill Road S.R. 4027

SEE SHEET 21

SEE SHEET 24

PLANNING ENGINEERING & SURVEYING
 115 LIMEKILN RD., P.O. BOX 37
 NEW GUMBLIN RD., PA 17070
 PHONE: 717.770.2600
 FAX: 717.770.2400
 WWW.ALPHAENGINE.COM

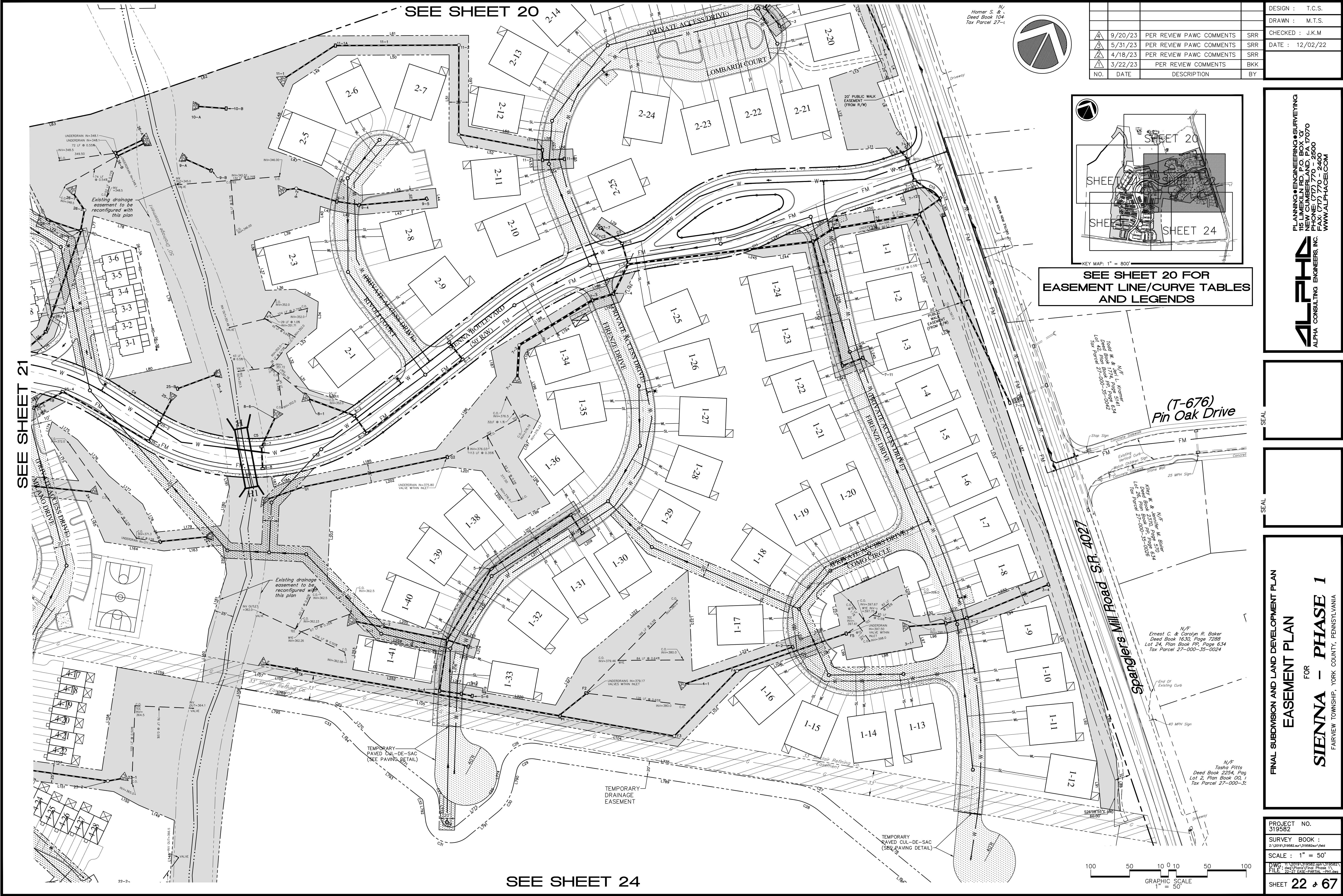
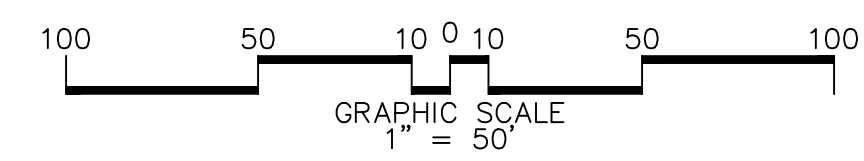


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FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 EASEMENT PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
319582
 SURVEY BOOK :
2/2019/319582.dwg/319582.dwg
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 SHEET 22 of 67



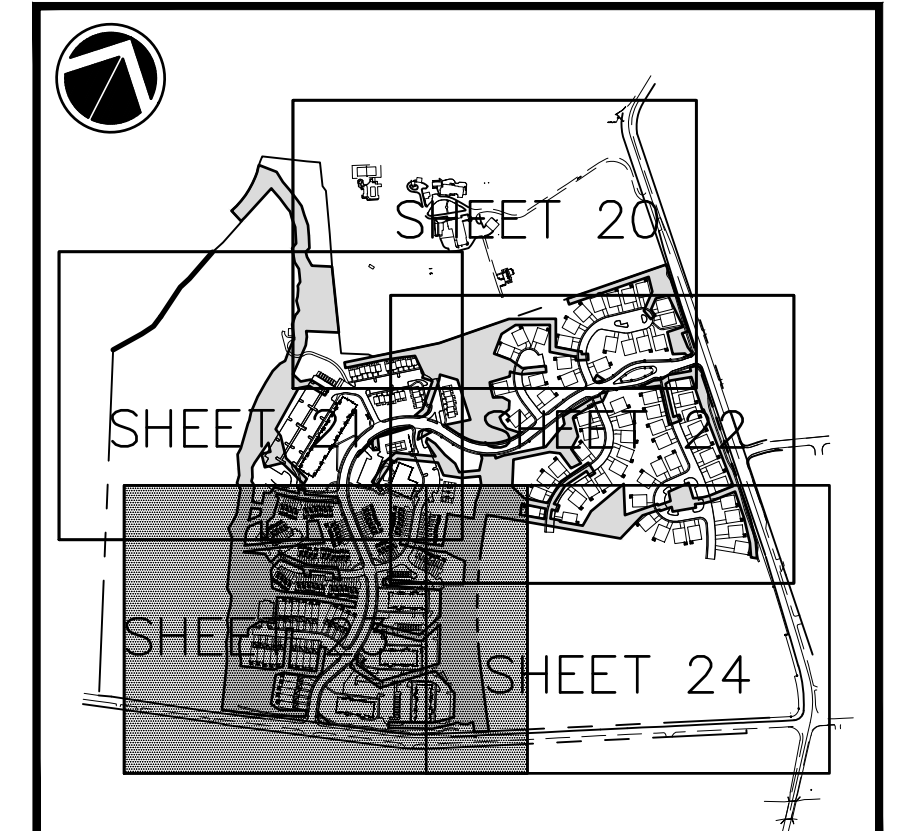
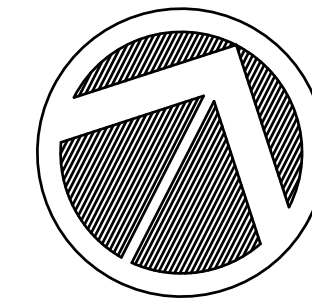
SEE SHEET 21

DESIGN :	T.C.S.		
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CHECKED :	J.K.M.		
DATE :	12/02/22		
NO.	DATE	DESCRIPTION	BY
▲	9/20/23	PER REVIEW PAWC COMMENTS	SRR
▲	5/31/23	PER REVIEW PAWC COMMENTS	SRR
▲	4/18/23	PER REVIEW PAWC COMMENTS	SRR
▲	3/22/23	PER REVIEW COMMENTS	BKK

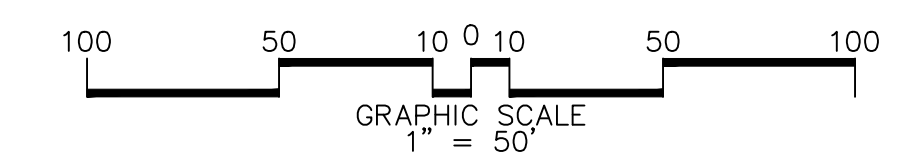
LEGEND

	Property Line
	Adjoinder Property Line
	Existing Right-of-way
	Easement Line
	Existing Curb
	Existing Edge Of Pavement
	Existing Light Pole
	Existing Utility Pole & Guy Wire
	Existing Storm Sewer Pipe & Inlet
	Existing Sanitary Line, Manhole
	Existing Overhead Electric Line
	Existing Underground Electric Line
	Existing Tree/brush Line
	Existing Gas Line/Valve/Pipeline
	PROPOSED STORM SEWER LINE, INLET, ID#
	ROOF DRAIN COLLECTION PIPE
	PROPOSED RIP RAP APRON
	PROPOSED SANITARY SEWER MAIN; MANHOLE
	PROPOSED SANITARY LATERAL
	PROPOSED WATER LINE; HYDRANT; VALVE
	PROPOSED WATER LATERAL
	PROPOSED WALK/PAVED PATH
	ACCESSIBLE RAMP LOCATION

	PROPOSED DRAINAGE EASEMENT
	PROPOSED PUBLIC WATER AND SEWER EASEMENT IN FAVOR OF PA AMERICAN WATER COMPANY
	EXISTING PIPELINE RIGHT-OF-WAY

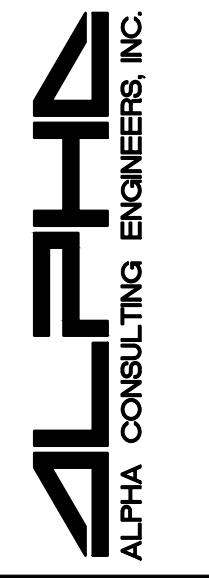


SEE SHEET 20 FOR EASEMENT LINE/CURVE TABLES



SEE SHEET 24

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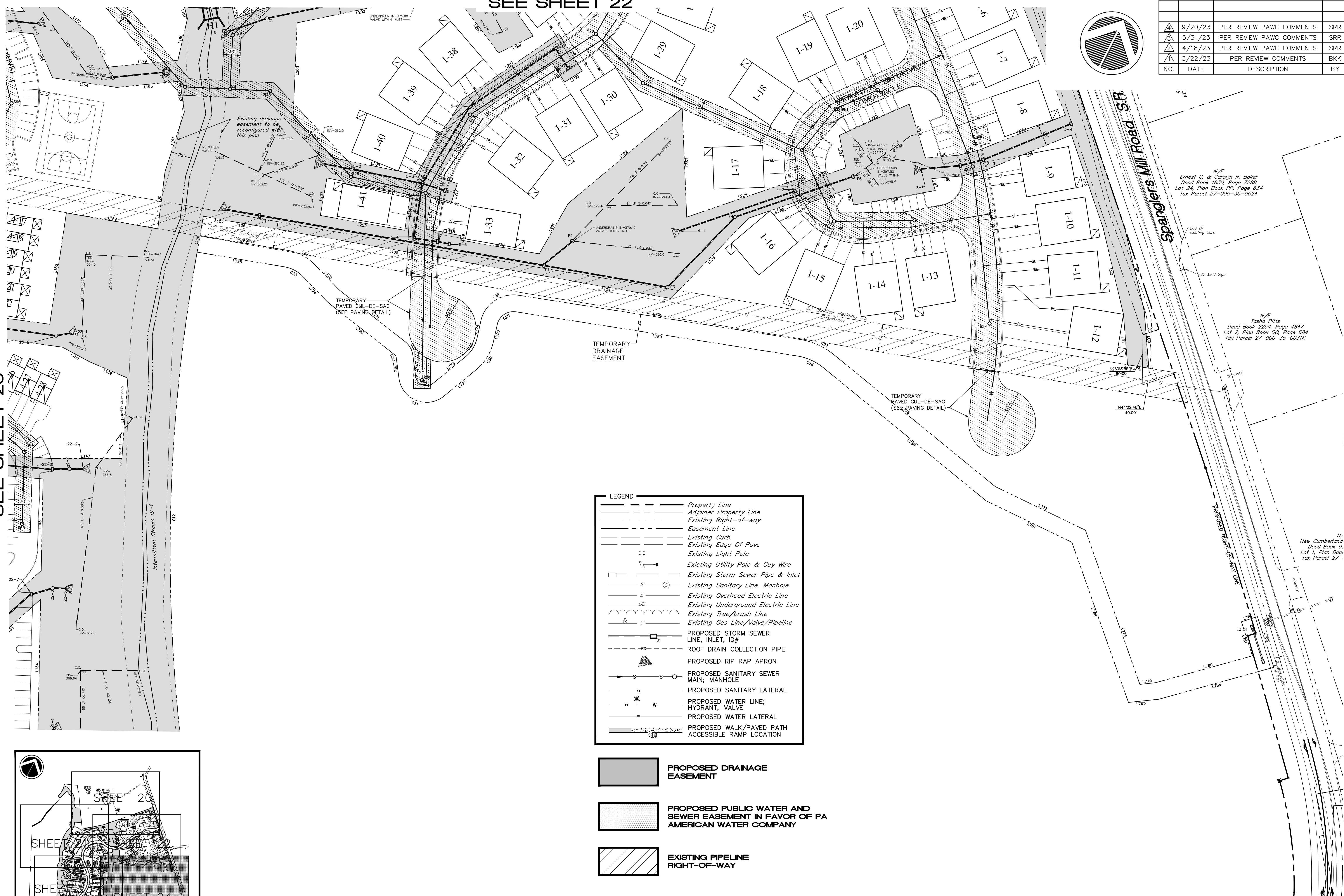
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 EASEMENT PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
319582
 SURVEY BOOK :
21-2019-319582-001-319582-001-001
 SCALE : 1" = 50'
 DWG : Y:\319582\319582.dwg
 FILE : 19-23_EASE-PARTIAL.dwg
 SHEET 23 of 67

SEE SHEET 22

DESIGN :	T.C.S.		
DRAWN :	M.T.S.		
CHECKED :	J.K.M.		
DATE :	12/02/22		
NO.	DATE	DESCRIPTION	BY
▲	9/20/23	PER REVIEW PAWC COMMENTS	SRR
▲	5/31/23	PER REVIEW PAWC COMMENTS	SRR
▲	4/18/23	PER REVIEW PAWC COMMENTS	SRR
▲	3/22/23	PER REVIEW COMMENTS	BKK

SEE SHEET 23

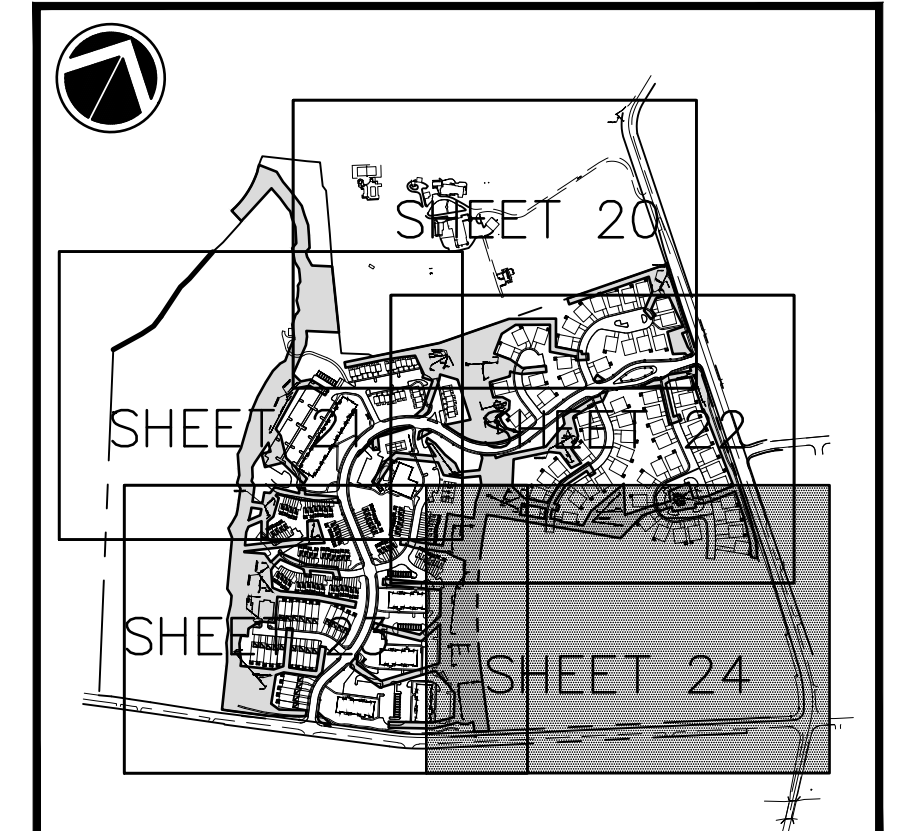
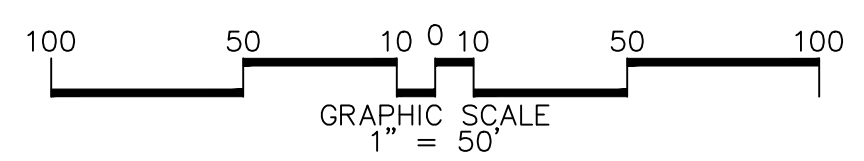
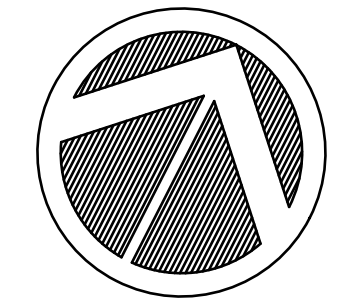


LEGEND

	Property Line
	Adjoiner Property Line
	Existing Right-of-way
	Easement Line
	Existing Curb
	Existing Edge Of Pave
	Existing Light Pole
	Existing Utility Pole & Guy Wire
	Existing Storm Sewer Pipe & Inlet
	Existing Sanitary Line, Manhole
	Existing Overhead Electric Line
	Existing Underground Electric Line
	Existing Tree/brush Line
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	PROPOSED STORM SEWER LINE, INLET, ID#
	ROOF DRAIN COLLECTION PIPE
	PROPOSED RIP RAP APRON
	PROPOSED SANITARY SEWER MAIN; MANHOLE
	PROPOSED SANITARY LATERAL
	PROPOSED WATER LINE; HYDRANT; VALVE
	PROPOSED WATER LATERAL
	PROPOSED WALK/PAVED PATH
	ACCESSIBLE RAMP LOCATION

	PROPOSED DRAINAGE EASEMENT
	PROPOSED PUBLIC WATER AND SEWER EASEMENT IN FAVOR OF PA AMERICAN WATER COMPANY
	EXISTING PIPELINE RIGHT-OF-WAY

SEE SHEET 20 FOR EASEMENT LINE/CURVE TABLES



DESIGN : T.C.S.
 DRAWN : M.T.S.
 CHECKED : J.K.M.
 DATE : 12/02/22

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FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
EASEMENT PLAN
 FOR
SIENNA - PHASE I
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
319582
 SURVEY BOOK :
212019\319582.dwg\319582.dwg
 SCALE : 1" = 50'
 DWG : J.K.M./319582.dwg/319582.dwg
 FILE : 19-23 EASE-PARTIAL -PHASE I
 SHEET 24 of 67

MEADOW SEEDING SCHEDULE

NATIVE SPECIES RE-VEGETATION MEADOW SEEDING

Scientific Name	Common Name	Qty
<i>Andropogon gerardii</i>	Turkey Foot Bluestem	20
<i>Chamaecrista fasciculata</i>	Partridge Pea	26
<i>Careopsis tinctoria</i>	Plains Coreopsis	22
<i>Desmodium canadense</i>	Showy Tick Trefoil	8
<i>Elymus virginicus</i>	Virginia Wild Rye	28
<i>Panicum virgatum</i>	Switchgrass	19
<i>Poa palustris</i>	Powd Bluegrass	
<i>Rudbeckia hirta</i>	Black Eyed Susan	
<i>Schizachyrium scapularum</i>	Little Bluestem	
<i>Scorphastrum nutans</i>	Indiangrass	
<i>Tripsacum dactyloides</i>	Eastern Ostrich Grass	

MEADOW ESTABLISHMENT GUIDE

DISTURBED SITES & STEEP SLOPES

DISTURBED SITES & STEEP SLOPES have variable soil types and conditions.

- Limestone
- Silica shales
- Poor soils
- Construction sites

SITE PREPARATION

Eliminate existing vegetation by using a bio-based spray technique (e.g. glyphosate herbicide). Manual weeding and addressing before establishment will be a difficult problem to remove. Wherever possible, remove the site to reduce stone, and build drainage which will reduce erosion and stabilize seed loss.

Seeding Method: Hand seed broadcast, hydroseed, or use seed. Check the seed has been broadcast, dragging with a light harrow to cover the seed (1/4" - 1/2" deep). Seeding in mounds with stone, hydroseed, or other aerial methods is recommended to protect the seed from drying out or washing away with subsequent temperature and moisture. The seed should be kept to germinate within approximately three weeks.

FIRST YEAR MAINTENANCE

Observation of the desired species' growth and weed competition is essential when making maintenance decisions. Minimum mowing (1/2" high) to top off aggressive weeds is recommended to give desirable plants an opportunity to develop roots. Most of the competition the first year will be annual weeds. Mowing too close encourages weedy grass species.

SECOND YEAR MAINTENANCE

Mow and control undesirable vegetation with spot spraying or mowing. Mowing the entire area (1/2" - 1" high) during the dormant season can enhance the appearance without jeopardizing wildlife habitat and erosion protection.

SPECIAL CONSIDERATIONS

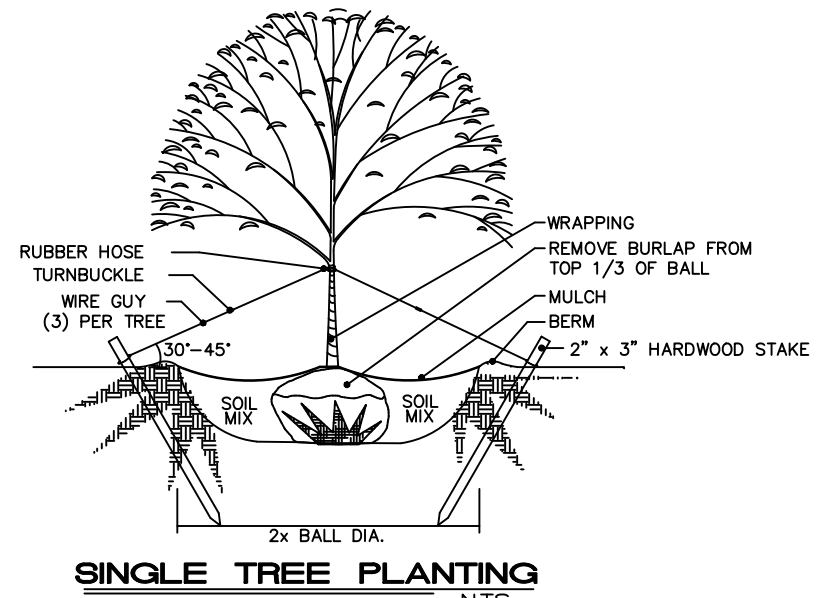
Vegetation allowed to grow without mowing provides more protection for wildlife and aids in erosion control.

1-800-873-3321 www.ernstseed.com FAX 614-336-5191

Symbol	Qty	Tag	Label	Lum. Lumens	LLF	Description
[Symbol]	20	P1A	OSQM-B-16L-40K7-4M-Ux-xxx-xxx-x-1	16098	0.900	CREE OSQ TYPE IV - 16L
[Symbol]	26	A1A	SRT-1-NL120W4KU3NNXX	11135	0.900	DUAL HEAD ACORN STYLE TYPE III POLE-TOP
[Symbol]	22	P1	OSQM-B-16L-40K7-4M-Ux-xxx-xxx-x-4	12349	0.900	CREE OSQ TYPE IV - 16L WITH BLS
[Symbol]	8	P2	OSQM-B-16L-40K7-2M-Ux-xxx-xxx-x-2	12349	0.900	CREE OSQ TYPE II - 16L WITH BLS
[Symbol]	28	A1	SRT-1-NL120W4KU3NNXX-1	11135	0.900	SINGLE HEAD ACORN STYLE TYPE III POLE-TOP
[Symbol]	19	P3	OSQM-B-16L-40K7-3M-Ux-xxx-xxx-x	12699	0.900	CREE OSQ TYPE III - 16L WITH BLS

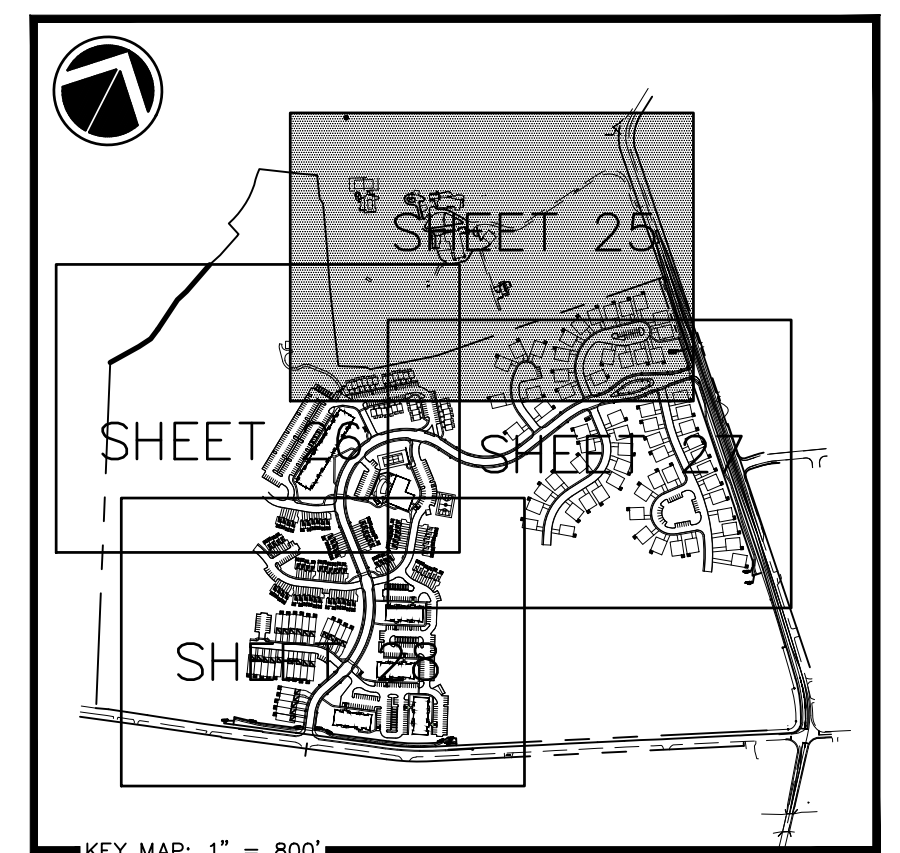
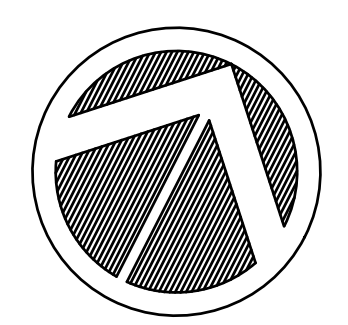
PLANT SCHEDULE FOR PARKING LOT TREES

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	MIN. SIZE AT PLANTING
DECIDUOUS TREES				
[Symbol]	<i>Acer rubrum</i> 'October Glory' or 'Red Sunset'	Red Maple	110	2.5" diameter at 4.5' above finish grade
[Symbol]	<i>Acer saccharum</i> 'Green Mountain'	Sugar Maple		
[Symbol]	<i>Lyonia carolinensis</i> 'Appalachian Red' or 'Forest Pony'	Redbud		
[Symbol]	<i>Gleditsia triacanthos</i> 'Skyline'	Skyline Thornless Honeylocust		
[Symbol]	<i>Malus 'Pruniflora'</i> or 'Tied Jewel'	Crabapple		
[Symbol]	<i>Nyssa sylvatica</i>	Black Gum		
[Symbol]	<i>Platanus x acerifolia</i> 'Morton Circle'	Exclamation London Planetree		
[Symbol]	<i>Prunus serrulata</i> 'Kwanzan'	Japanese Flowering Cherry		
[Symbol]	<i>Prunus yedoensis</i>	Japanese Flowering Cherry		
[Symbol]	<i>Quercus rubra</i>	Red Oak		
[Symbol]	<i>Zelkova serrata</i>	Japanese Zelkova		



LEGEND

- Property Line
- Adjoiner Property Line
- Existing Right-of-way
- Easement Line
- Existing Curb
- Existing Edge Of Pave
- Existing Gas Line
- Edge Of Stream
- BUILDING SETBACK LINE
- PROPOSED CURB
- PROPOSED EDGE OF PAVEMENT
- LOT LINE
- PROPOSED 4' WIDE PUBLIC SIDEWALK
- ACCESSIBLE RAMP LOCATION (SEE DETAIL)
- PROPOSED ASPHALT PATH/TRAIL (SEE DETAIL)
- REQUIRED PARKING AREA LANDSCAPE TREE CALCULATION ZONE
- REQUIRED PARKING AREA TREE SEE PLANTING SCHEDULE (THIS SHEET)
- EVERGREEN SCREENING CONCEPT (I.E., PINE, FIR OR SPRUCE TREES)
- SPECIMEN ORNAMENTAL PLANTING CONCEPT FOR DRAMATIC EFFECT (I.E., CHERRY, DOGWOOD, REDBUD TREES)
- APPROXIMATE AREA OF TREES/BRUSH TO REMAIN
- MANAGED MEADOW IN STORMWATER FACILITY SEE MEADOW SEEDING SCHEDULE (THIS SHEET)



NO.	DATE	DESCRIPTION	BY
9/20/23	PER REVIEW PAWC COMMENTS	SRR	
5/31/23	PER REVIEW PAWC COMMENTS	SRR	
4/18/23	PER REVIEW PAWC COMMENTS	SRR	
3/22/23	PER REVIEW COMMENTS	BKK	

DESIGN : T.C.S.
DRAWN : M.T.S.
CHECKED : J.K.M
DATE : 12/02/22

PLANNING ENGINEERING & SURVEYING
NEW CUMBERLAND, PA 17070
PHONE: (717) 770-2500
FAX: (717) 770-2400
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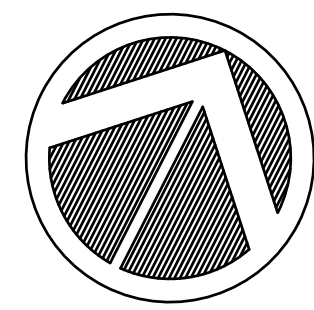


FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
LANDSCAPE AND LIGHTING PLAN
FOR
SIENNA - PHASE 1
FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO. 319582
SURVEY BOOK : Z:\2023\319582\sur\319582b.mxd
SCALE : 1" = 50'
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SHEET 25 of 67

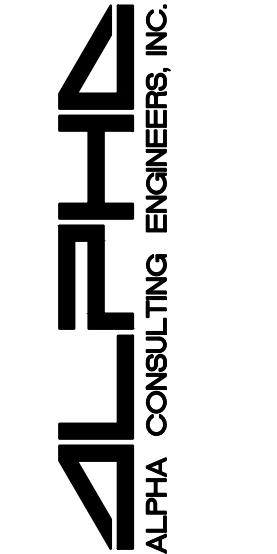
SEE SHEET 25 FOR LEGEND,
SCHEDULES AND DETAILS



NO.	DATE	DESCRIPTION	BY
9/20/23		PER REVIEW PAWC COMMENTS	SRR
5/31/23		PER REVIEW PAWC COMMENTS	SRR
4/18/23		PER REVIEW PAWC COMMENTS	SRR
3/22/23		PER REVIEW COMMENTS	BKK

DESIGN :	T.C.S.
DRAWN :	M.T.S.
CHECKED :	J.K.M
DATE :	12/02/22

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NEW CUMBERLAND, PA 17070
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FAX: (717) 770-2400
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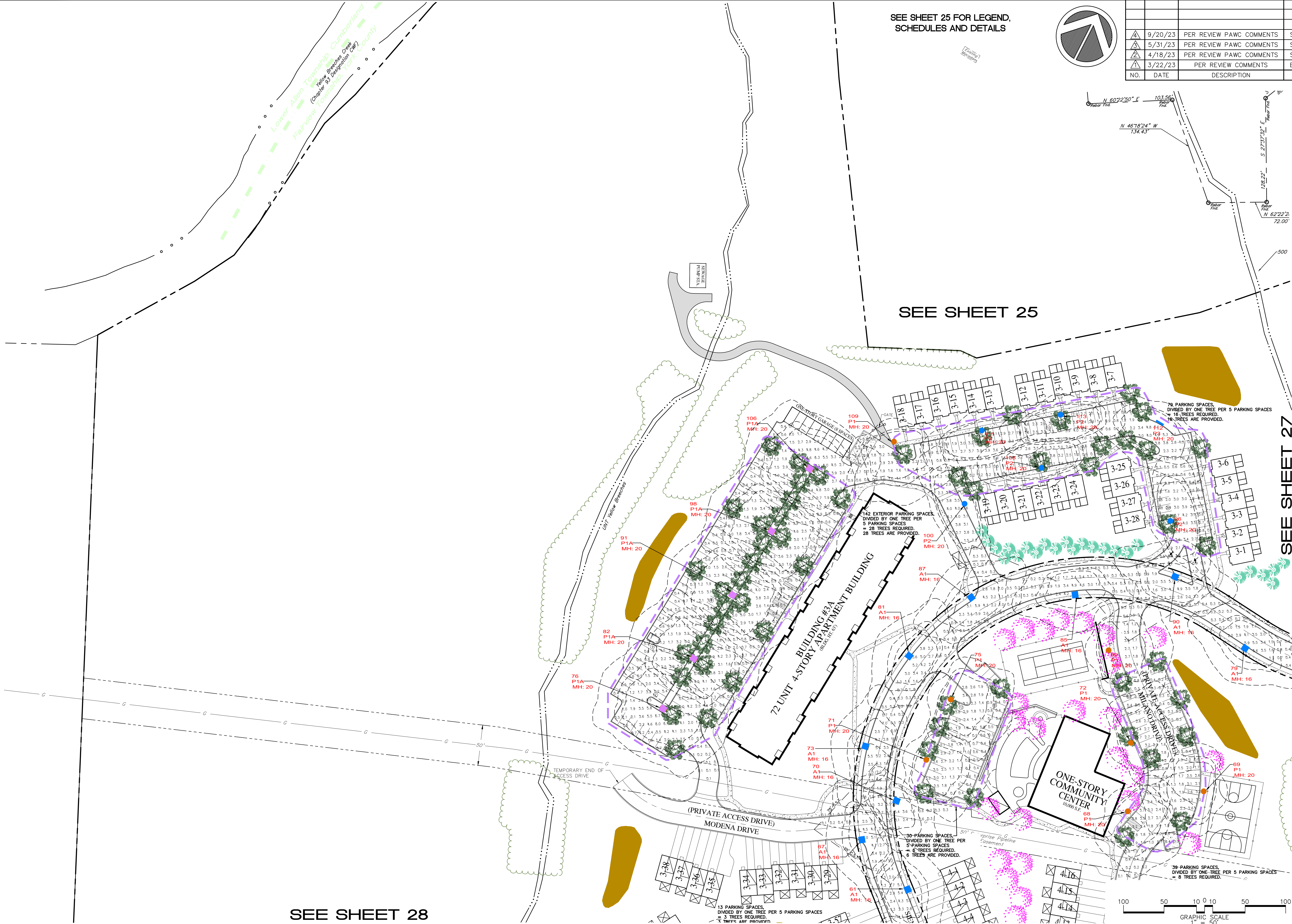


SEAL

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FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
LANDSCAPE AND LIGHTING PLAN
FOR
SIENNA - PHASE 1
FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

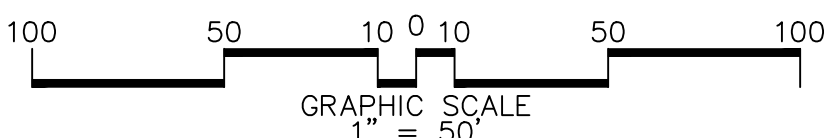
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319582
SURVEY BOOK :
SCALE : 1" = 50'
DWG :
FILE :
SHEET **26** of **67**



SEE SHEET 25

SEE SHEET 27

SEE SHEET 28

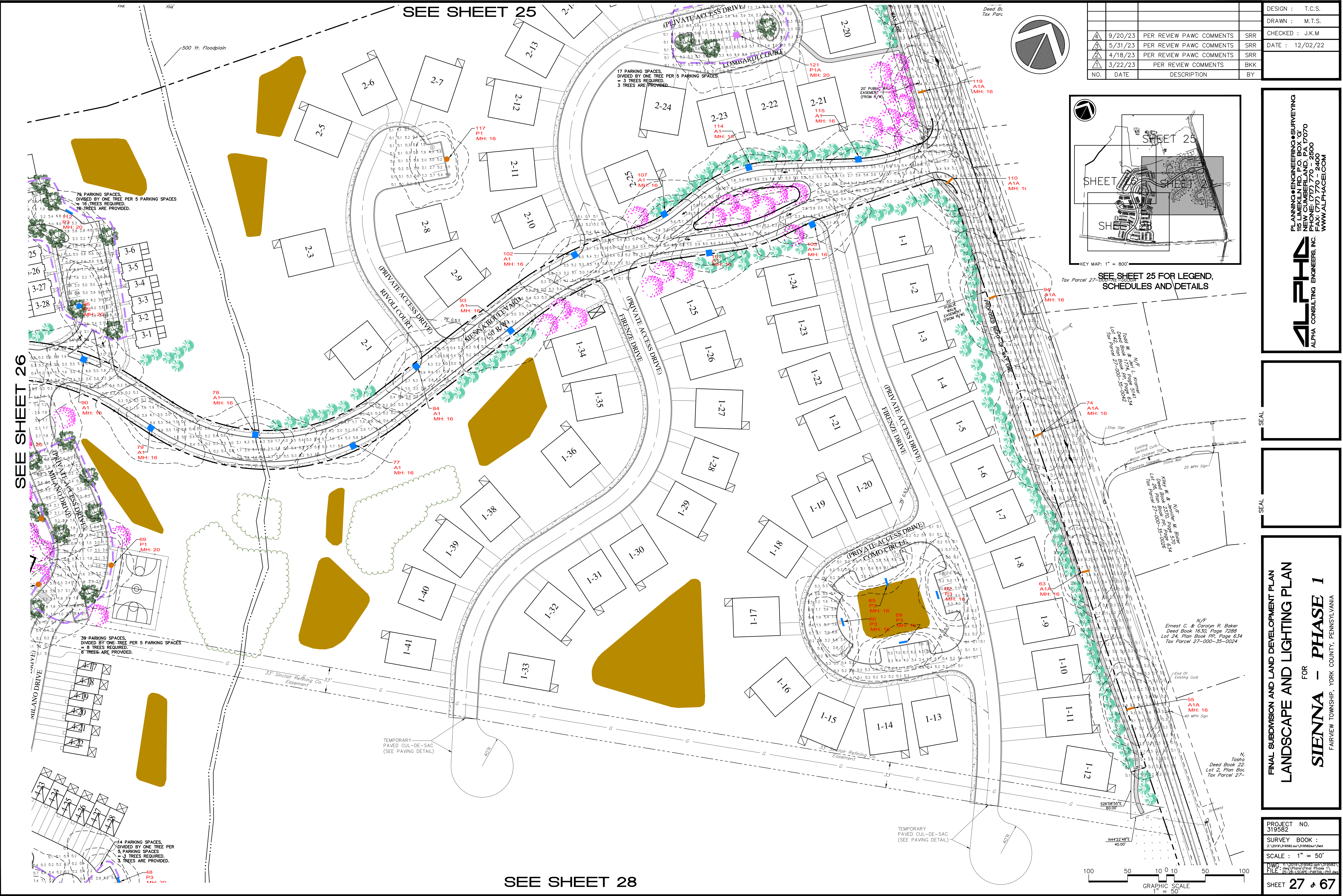


13 PARKING SPACES,
DIVIDED BY ONE TREE PER 5 PARKING SPACES
= 3 TREES REQUIRED.
3 TREES ARE PROVIDED.

30 PARKING SPACES,
DIVIDED BY ONE TREE PER 5 PARKING SPACES
= 6 TREES REQUIRED.
6 TREES ARE PROVIDED.

78 PARKING SPACES,
DIVIDED BY ONE TREE PER 5 PARKING SPACES
= 16 TREES REQUIRED.
16 TREES ARE PROVIDED.

142 EXTERIOR PARKING SPACES,
DIVIDED BY ONE TREE PER 5 PARKING SPACES
= 29 TREES REQUIRED.
28 TREES ARE PROVIDED.



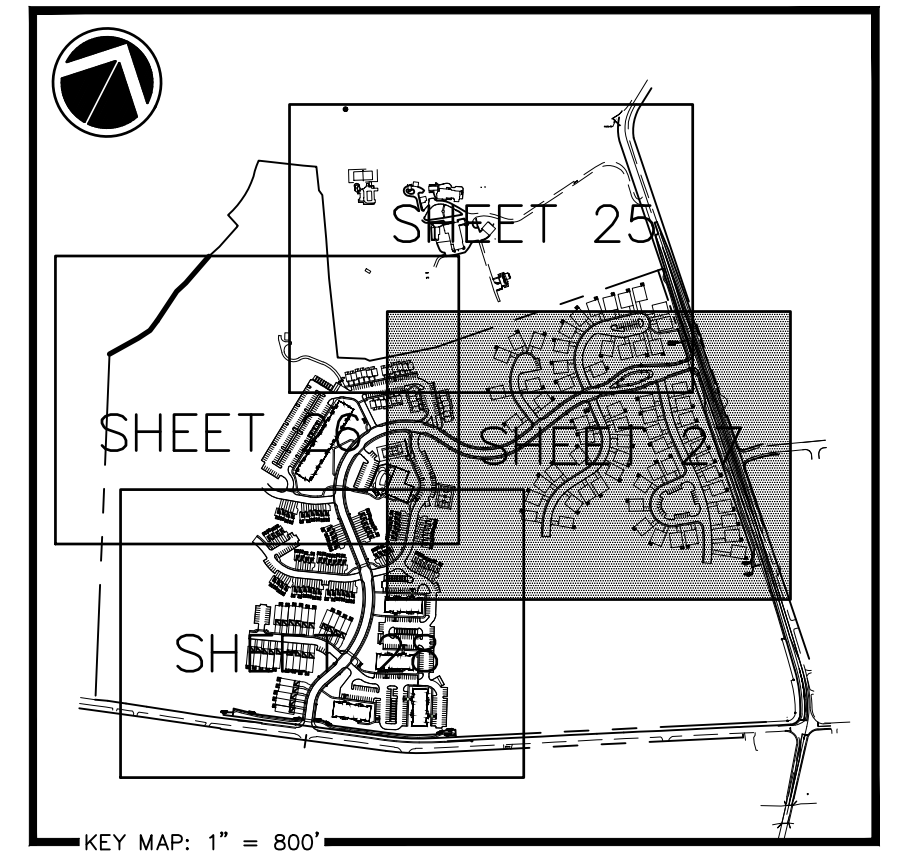
SEE SHEET 26

SEE SHEET 25

SEE SHEET 28

NO.	DATE	DESCRIPTION	BY
△	9/20/23	PER REVIEW PAWC COMMENTS	SRR
△	5/31/23	PER REVIEW PAWC COMMENTS	SRR
△	4/18/23	PER REVIEW PAWC COMMENTS	SRR
△	3/22/23	PER REVIEW COMMENTS	BKK

DESIGN : T.C.S.
 DRAWN : M.T.S.
 CHECKED : J.K.M.
 DATE : 12/02/22



SEE SHEET 25 FOR LEGEND, SCHEDULES AND DETAILS

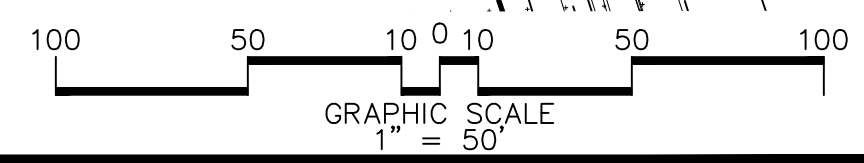
PLANNING & ENGINEERING & SURVEYING
 151 MILLIKEN RD., P.O. BOX 61
 MILLIKEN, CO. 80131-0061
 PHONE: (719) 770-2600
 FAX: (719) 770-2400
 WWW.ALPHACON.COM

ALPHA CONSULTING ENGINEERS, INC.

SEAL

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 LANDSCAPE AND LIGHTING PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
319582
 SURVEY BOOK :
212019319582.sur/319582.sur/1666
 SCALE : 1" = 50'
 DWG. : 212019319582.dwg/319582.dwg
 FILE : 212019319582-PARTIAL-PLAN.dwg
 SHEET 27 of 67

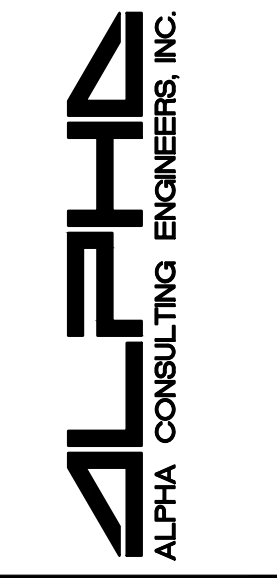


SEE SHEET 26

DESIGN :	T.C.S.		
DRAWN :	M.T.S.		
CHECKED :	J.K.M.		
DATE :	12/02/22		
NO.	DATE	DESCRIPTION	BY
△	9/20/23	PER REVIEW PAWC COMMENTS	SRR
△	5/31/23	PER REVIEW PAWC COMMENTS	SRR
△	4/18/23	PER REVIEW PAWC COMMENTS	SRR
△	3/22/23	PER REVIEW COMMENTS	BKK

SEE SHEET 27

PLANNING • ENGINEERING • SURVEYING
 1511 MCKINLEY RD., P.O. BOX 67
 SUITE 1000, WILKES BARRE, PA 18702
 PHONE: (717) 770-2500
 FAX: (717) 770-2400
 WWW.ALPHA-CE.COM

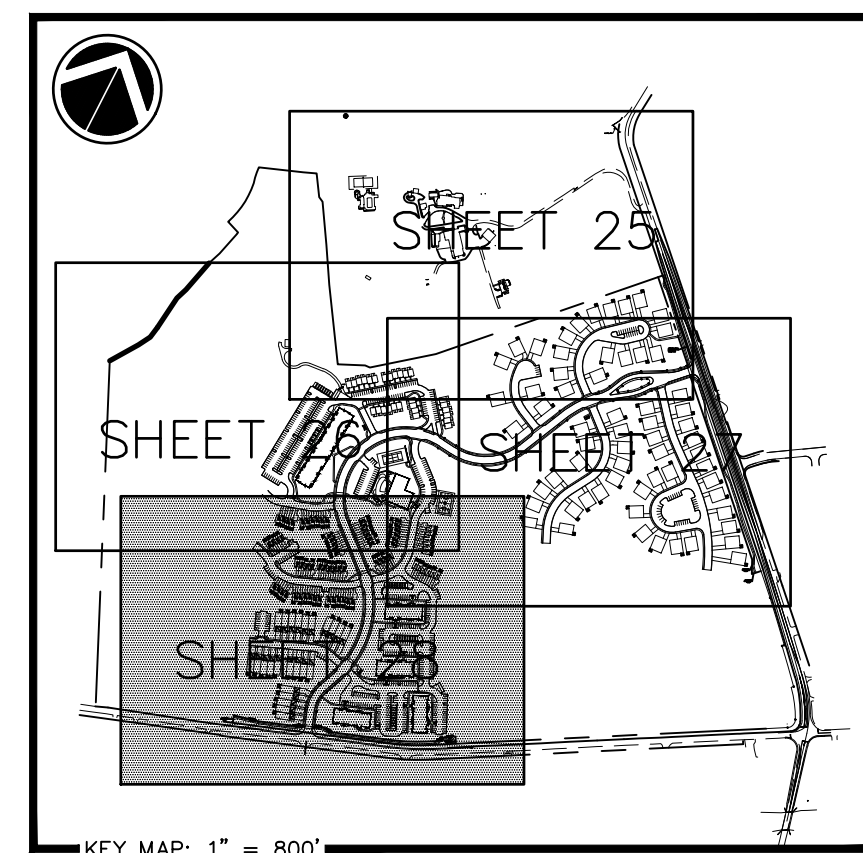
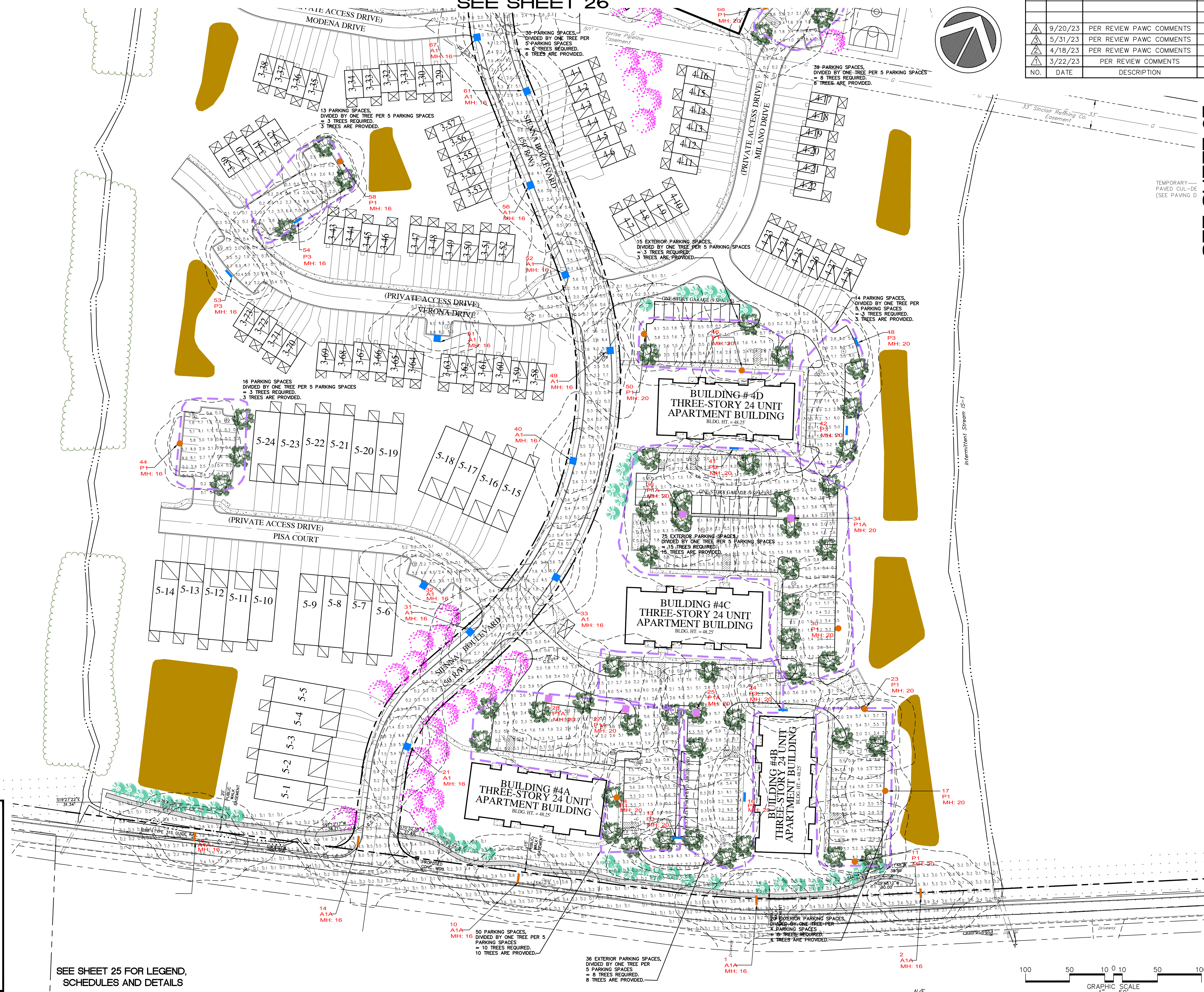


SEAL

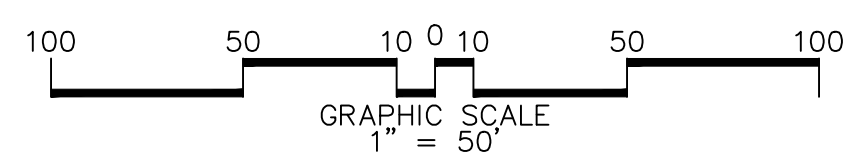
SEAL

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 LANDSCAPE AND LIGHTING PLAN
 FOR
SIENNA - PHASE 1
 FAIRVIEW TOWNSHIP, YORK COUNTY, PENNSYLVANIA

PROJECT NO.
319582
 SURVEY BOOK :
21-0219-319582-sur_319582-sur_1-1
 SCALE : 1" = 50'
 DWG : 21-0219-319582-011-01-01
 FILE : dwg\Phase1Final Phase 1\1-1-23-28-28-SCALE-PARTIAL-PLAN.dwg
 SHEET 28 of 67



SEE SHEET 25 FOR LEGEND,
 SCHEDULES AND DETAILS



N/T